



# PLANNING SUBMITTAL FORM

Permit info: \_\_\_\_\_  
 Application Date: \_\_\_\_\_ Rec'd by: \_\_\_\_\_  

FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921 (tel.)  
 208.472.2926 (FAX) ▪ [www.gardencityidaho.org](http://www.gardencityidaho.org) ▪ [planning@gardencityidaho.org](mailto:planning@gardencityidaho.org)

APPLICANT	PROPERTY OWNER
<b>Name:</b> Ben Semple	<b>Name:</b> Dan Russell
<b>Company:</b> Rodney Evans + Partners, PLLC	<b>Company:</b>
<b>Address:</b> 1014 S. La Pointe, Suite 3	<b>Address:</b> 1551 S. Cotterell Way
<b>City:</b> Boise	<b>City:</b> Boise
<b>State:</b> ID <b>Zip:</b> 83706	<b>State:</b> ID <b>Zip:</b> 83709
<b>Tel.:</b> (208) 514-3300	<b>Tel.:</b> (208) 794-2649
<b>FAX:</b>	<b>FAX:</b>
<b>E-mail:</b> ben@reandpartners.com	<b>E-mail:</b> dan@norbryhn.com

**ACTION REQUESTED (check all that apply)**

ALL BLUEPRINTS MUST BE FOLDED INTO 8 1/2" X 11" SIZE WITH THE TITLE BLOCK/PANEL FACE UP  
 SO AS TO FIT WITHIN A LEGAL SIZE FILE FOLDER

- |                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                        |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> Appeal<br><input type="checkbox"/> Lot Line Adjustment<br><input type="checkbox"/> City Code Text Amendment<br><input type="checkbox"/> Sign Permit<br><input type="checkbox"/> Specific Area Plan<br><input type="checkbox"/> Conditional (special) Use Permit<br><input type="checkbox"/> Temporary Use Permit<br><input type="checkbox"/> Easement/Vacation of Easement | <input type="checkbox"/> Design Review<br><input checked="" type="checkbox"/> Final Plat<br><input type="checkbox"/> Flood Plain Dev<br><input type="checkbox"/> Variance<br><input type="checkbox"/> MFH Installation<br><input type="checkbox"/> Minor PUD<br><input type="checkbox"/> Minor Land Division<br><input type="checkbox"/> Ability to Serve-CUP, DSR or SUB if applicable | <input checked="" type="checkbox"/> Preliminary Plat<br><input checked="" type="checkbox"/> Preliminary PUD<br><input type="checkbox"/> Re-zone<br><input type="checkbox"/> Zoning Certificate<br><input type="checkbox"/> MFH Removal |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

**PROPERTY INFORMATION**

**Site address:** 204 E. 43rd ST., Garden City, ID 83714

<b>Subdivision Name:</b> Fairview Acres Sub No 1	<b>Lot:</b> 9	<b>Block:</b> 3
<b>Tax Parcel Number:</b> R2734500776	<b>Zoning:</b> R-3	<b>Total Acres:</b> 0.69
<b>Proposed Use:</b> single-family residential	<b>Floodplain:</b> yes	<b>no</b>

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

\_\_\_\_\_ 12/9/19  
 signature of the applicant (date)

\_\_\_\_\_  
 Signature of the Owner (date)



# PLANNED UNIT DEVELOPMENT APPLICATION

Permit info: \_\_\_\_\_

Application Date: \_\_\_\_\_ Rec'd by: \_\_\_\_\_

FOR OFFICE USE ONLY

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APPLICANT	PROPERTY OWNER
<b>Name:</b> Ben Semple	<b>Name:</b> Dan Russell
<b>Company:</b> Rodney Evans + Partners, PLLC	<b>Company:</b>
<b>Address:</b> 1014 S. La Pointe St., Suite 3	<b>Address:</b> 1551 S. Cotterell Way
<b>City:</b> Boise	<b>City:</b> Boise
<b>State:</b> ID <b>Zip:</b> 83706	<b>State:</b> ID <b>Zip:</b> 83709
<b>Tel.:</b> (208) 514-3300	<b>Tel.:</b> (208) 794-2649
<b>E-mail:</b> ben@reandpartners.com	<b>E-mail:</b> dan@norbryhn.com

**PROPERTY INFORMATION**

**Site address:** 204 E. 43rd St., Garden City, ID 83714

<b>Subdivision Name:</b> Fairview Acres Sub No1	<b>Lot:</b> 9	<b>Block:</b> 3
<b>Tax Parcel Number:</b> R2734500776	<b>Zoning:</b> R-3	<b>Total Acres:</b> 0.69
<b>Proposed Use:</b> single-family residential	<b>Floodplain:</b> YES	<b>NO</b> <span style="border: 1px solid red; border-radius: 50%; padding: 2px;">NO</span>

**I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.**

\_\_\_\_\_  
Signature of the Applicant (date)

\_\_\_\_\_  
Signature of the Owner (date)

**APPLICATION INFORMATION**

If final plat have there been any changes since the preliminary plat? Y **(N)**

Number of residential lots 5 Number of commercial lots 0 Number of mixed use lots 0

Number of common lots 1 Square feet of common open space 12,670.92

Are any improvements planned within the common open space area? If so, specify. common/shared access drive, stormwater (subsurface), parking, landscaping

What public services and facilities are required for this development? \_\_\_\_\_ Fire Protection \_\_\_\_\_ Police Protection  Water  Sewer  Drainage \_\_\_\_\_ Streets \_\_\_\_\_ Schools

What housing types are proposed? MARK ALL THAT APPLY

Single Family  Condos \_\_\_\_\_ Townhomes \_\_\_\_\_ Live/Work \_\_\_\_\_ Manufactured/ Mobile Homes \_\_\_\_\_ N/A \_\_\_\_\_

Is this plat a portion of a larger land holding intended for subsequent development? If yes, please explain. No.

Is the project within the Floodplain? No.

Are there any proposed uses not allowed in the zoning district where the project is located? If so, specify. If so, what is the gross land area devoted to such uses? No.

What is the effect of this site development on roadways and traffic conditions? No impact.

Are there new roads proposed/required? Shared access drive.

Are there new ingress/egress being proposed? Utilization of the existing access point.

How has off-street parking and loading been arranged and sized to prevent traffic congestion? All homes have garages and on-site guest parking.

How has vehicular and pedestrian circulation been arranged with respect to adjacent facilities and internal circulation? Shared access drive connects to 43rd St. Internal sidewalk connects to the existing public sidewalk along 43rd St.

Has there been connection to or access provided for future connections to bicycle and pedestrian pathways or regional transit? N/A

What neighborhood characteristics exist or are planned which make this development compatible with the neighborhood and adjoining properties? Smaller homes are proposed, along with the owner's private residence.

What is the effect of this site development on the adequacy of storm and surface water facilities? Stormwater will be handled on-site by subsurface stormwater facilities. No impact to existing storm or surface water facilities are anticipated.

How will the design create a sense of place (usable open space, public art, visual focus points)? Utilization of permeable pavers to create a "plaza" within the development for use by future residents.

How has landscaping been used to protect existing trees, utilize existing features, create harmony with adjacent development and prevent erosion and dust?

Existing large trees on western boundary retained. Proposed landscaping will create positive addition to the area.

What type of water will be used for landscaping? \_\_\_\_\_ Irrigation - Non-Potable \_\_\_\_\_ Irrigation - Potable  City Water System

**Have native or drought resistant plants been utilized in the landscaping plan? If so what types and what percentage of the overall landscape is dedicated to these plants?** All plants chosen are water conserving for this area, and have drought tolerant characteristics.

**What sustainable concepts have been incorporated into the design?**  
 Low water-use plants. Reduction in open turf areas. Maintenance of large existing trees along western property boundary to provide shading of homes, thereby reducing reliance on cooling systems.

**APPLICATION INFORMATION REQUIRED**

**NOTE:**

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED**  
**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

**FOUR (4) HARD COPIES OF EACH CHECKLIST ITEM REQUIRED**

- |     |                                     |                                                                  |                          |
|-----|-------------------------------------|------------------------------------------------------------------|--------------------------|
|     | <input checked="" type="checkbox"/> | Preliminary Title Report                                         | <input type="checkbox"/> |
|     | <input checked="" type="checkbox"/> | Neighborhood Map                                                 | <input type="checkbox"/> |
|     | <input checked="" type="checkbox"/> | Subdivision Map                                                  | <input type="checkbox"/> |
| N/A | <input type="checkbox"/>            | Master Plan                                                      |                          |
|     | <input checked="" type="checkbox"/> | Site Plan                                                        |                          |
|     | <input checked="" type="checkbox"/> | Landscape Plan                                                   |                          |
|     | <input checked="" type="checkbox"/> | Schematic Drawings                                               |                          |
|     | <input checked="" type="checkbox"/> | Topographic Survey                                               |                          |
|     | <input checked="" type="checkbox"/> | Grading Plan                                                     |                          |
|     | <input checked="" type="checkbox"/> | Hydrology Report *calculations on plan                           |                          |
| N/A | <input type="checkbox"/>            | Natural Hazard and Resources Analysis                            |                          |
|     | <input checked="" type="checkbox"/> | Dedications and Easements                                        |                          |
| N/A | <input type="checkbox"/>            | Covenants and Deed Restrictions                                  |                          |
|     | <input checked="" type="checkbox"/> | Ability to Serve/Will Serve Letter                               |                          |
|     | <input type="checkbox"/>            | Approved Addresses                                               |                          |
| N/A | <input type="checkbox"/>            | Waiver Request of Application Materials                          |                          |
| N/A | <input type="checkbox"/>            | Lighting Plan                                                    |                          |
|     | <input checked="" type="checkbox"/> | Neighborhood Meeting Verification                                |                          |
|     | <input checked="" type="checkbox"/> | Affidavit of Legal Interest                                      |                          |
| N/A | <input type="checkbox"/>            | Affidavit of Posting and Photos (Due 10 days before the hearing) |                          |
| N/A | <input type="checkbox"/>            | Irrigation/Ditch Company Information Form                        |                          |
|     | <input checked="" type="checkbox"/> | Statement of Intent                                              |                          |
|     | <input checked="" type="checkbox"/> | Compliance Statement                                             |                          |
|     | <input checked="" type="checkbox"/> | Legal Description                                                |                          |

** PLEASE CHECK THE FOLLOWING:**

**INFORMATION FOR PRELIMINARY TITLE REPORT:**

- Document confirming property has been purchased contingent to approvals by city and other agencies
- Document should confirm if there are liens on property and if there are other issues with title
- Document typically generated by lender or title company

**INFORMATION REQUIRED ON NEIGHBORHOOD MAP:**

- 8 ½" x 11" size minimum

- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

**INFORMATION REQUIRED ON SUBDIVISION MAP:**

- 30" x 42" minimum size
- Scale no less than one inch (1") to one hundred feet (100')
- The names, addresses, and telephone numbers of the planners, engineers, surveyors or other persons who designed the subdivision and prepared the plat
- The legal description of the proposed subdivision, and a topographical map showing the proposed subdivision at a scale of not less than one inch (1") to one hundred feet (100')
- The intended use of the lot such as: residential single-family, duplex, townhouse and multiple housing, commercial, industrial or recreational;
- A proposed building envelope shall be designated and dimensioned on each lot to demonstrate that a building can comply with the required setbacks. This building footprint is not binding on future building on the lot.
- Streets and public rights of way, including proposed street names and dimensions
- Blocks, if any, building envelopes and lot lines as required by subsection 10-4-4F of this Title, showing the dimensions and numbers of each. In addition to providing this information on the plat or supporting addenda, the applicant shall stake the perimeters of each lot and the center of its building envelope sufficiently to permit the Commission to locate the same when inspecting the site of the proposed subdivision
- Contour lines, shown at two foot (2') intervals, reference to an established bench mark, including location and elevation
- Location of any proposed or existing utilities, including, but not limited to, domestic water supply, storm and sanitary sewers, irrigation laterals, ditches, drainages, bridges, culvers, water mains, fire hydrants, and their respective profiles
- Location of bicycle parking
- Location of existing and proposed street lights
- Location of existing and proposed pedestrian and bicycle pathways

**INFORMATION REQUIRED ON MASTER PLAN:**

- The master plan is a plan that includes narrative information and illustrations about the proposal
- The required narrative information shall be as follows:
  - a. Description of the vision for the Master Plan area, including design guidelines, land uses and phasing of development
  - b. A range of square footage, density, site coverage, and locational distribution of land uses;
  - c. Description of a circulation plan for autos, bicycles, transit, and pedestrians within the site and to other off site systems including the Boise River Greenbelt and other waterways
  - d. Description of the amenities within the site including both natural and manmade
  - e. Description of the general mass, scale, and character of the buildings
  - f. Summary of general public facility requirements to serve the development; and
  - g. Proposal for incorporation of existing structures in future development plans

- The required illustrative plans shall be as follows:
  - a. A map showing property dimensions and legal description
  - b. A map showing existing and proposed building footprints
  - c. A map showing the circulation system including streets, alleys, parking, pedestrian walkways and linkages both within and outside the district.
  - d. A diagram showing development parcels, maximum unit densities, site ingress and egress, and relationship of development to public amenities, public facilities, and/or open site area
- A section showing the relationship of the buildings, public spaces and the street edge to adjacent properties

**INFORMATION REQUIRED ON SITE PLAN:**

- 24" x 36" size minimum
- Scale not less than 1" = 20'), legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- Sidewalks, bike and pedestrian paths.
- Berms, walls, screens, hedges and fencing.
- Location and width of easements, canals, ditches, drainage areas.
- Location, dimensions and type of signs.
- Trash storage and mechanical equipment and screening.
- Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- Log depicting square footage of impervious surface, building and landscaping
- Location and height of fences and exterior walls
- Location and dimensions of outdoor storage areas
- Location of utilities and outdoor serviced equipment and areas
- Location of any proposed public art
- Location of any proposed exterior site furniture
- Location of any exterior lighting
- Location of any existing or proposed signage

**INFORMATION REQUIRED ON LANDSCAPE PLAN:**

- 24" x 36" size minimum
- Scale the same as the site plan.
- Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- Size, location and species of existing vegetation labeled to remain or to be removed.
- All areas to be covered by automatic irrigation, including location of proposed irrigation lines.

- Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location
- Proposed storm water systems
- Locations and dimensions of open space

**INFORMATION REQUIRED ON SCHEMATIC DRAWINGS :**

- 11" x 17" size minimum
- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color
- Sample materials (as determined by the staff)

**INFORMATION FOR TOPOGRAPHIC SURVEY:**

- The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20'). If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site.

**INFORMATION REQUIRED ON GRADING PLAN:**

- 11" x 17" size minimum
- Scale not less than one inch equals twenty feet (1" = 20')
- Two foot (2') contours for the entire proposal site
- One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- Existing easement and utility locations
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surfaces
- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- Proposed storm water systems

**INFORMATION FOR HYDROLOGY REPORT:**

- Prepared by a licensed engineer
- Description of the hydrological conditions existing within the proposed site, the adequacy of the existing conditions for the proposed project and the design criteria for any recommended corrective measures
- Map or drawing showing existing surface drainage patterns in the proposed site and identifying any anticipated changes in those patterns due to the project development

- For preliminary plat: Preliminary plans and approximate locations of all surface and subsurface drainage devices or other devices to be employed in controlling drainage water within the project site, including proposed, existing, and natural drainage swales, culverts, catch basins, and subsurface drain piping
- For final plat: A storm drainage plan shall be submitted showing compliance with the standards of section 8-4B-1. The storm drainage plan shall include:
  - a. A map indicating the on-site and off-site drainage applicable to the site
  - b. Detailed engineering plans of all subsurface drainage improvements to be constructed as a part of the proposed development
  - c. Location of all drainage easements, or drainage rights of way
- For a subdivision within a floodplain, documentation shall be provided that will show and explain at the following to demonstrate conformance with Chapter 3, Article B. Flood Hazard. Location of all planned improvements:
  - a. The location of the floodway and the floodway fringe per engineering practices as specified by the Army Corp of Engineers
  - b. The location of the present water channel
  - c. Any planned re-routing of waterways
  - d. All major drainage ways
  - e. Areas of frequent flooding
  - f. Means of flood proofing buildings, and means of insuring loans for improvements within the floodplain

**INFORMATION FOR NATURAL HAZARD AND RESOURCES ANALYSIS:**

- Prepared by a licensed engineer
- The natural hazards and resources analysis shall provide an inventory and recommendation regarding natural conditions existing on the site.
- The analysis shall include: significant natural resources existing on the site shall be indentified including vegetation; fish and wildlife habitat; and water, including streams and riparian zones. A plan for preservation and/or mitigation of significant resources should be prepared by a qualified professional.
- For subdivisions within a floodplain: Detained information on the nature, source, and extent of the hazard and the proposed actions to minimize or eliminate danger to public health, safety or property. The analysis shall include the following information:
  - a. The location of existing water channels and drainage ways, floodway, flood plain and base flood elevation
  - b. The location of all planned improvements including dams, dikes, and similar structures
  - c. All planned diversions, alterations or rerouting of channels and drainage ways.

**INFORMATION FOR DEDICATIONS AND EASEMENTS:**

- The statement of intent for dedications and/or easements shall include the location, size, dimensions, and purpose.

**INFORMATION FOR COVENANTS AND DEED RESTRICTIONS:**

- The draft of any proposed covenants and deed restrictions to be recorded with the plat or plat amendment.

**INFORMATION FOR WILL SERVE LETTER:**

- A document from the City Engineer certifying that a property has adequate access to city services.

**INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:**

- Statement must include a list of the application materials to be waived and an explanation for the request.

**INFORMATION REQUIRED ON COMPLIANCE STATEMENT:**

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application

**INFORMATION FOR STATEMENT OF INTENT:**

- Should include purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

**INFORMATION FOR LEGAL DESCRIPTION:**

- A document legally describing the property.
- Must have Ada County instrument number or county seal inscribed.

**INFORMATION FOR SKETCH PLAT:**

- A plat preliminary to the preparation of a preliminary plat that show the basic outline of the plat, including lots, roads, and dedicated sites.
- Required for subs with 4 or more proposed lots

**INFORMATION REQUIRED ON NEIGHBORHOOD MAP:**

- 8 ½" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

**INFORMATION REQUIRED ON LIGHTING PLAN:**

- 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- Location of municipal street lights

**INFORMATION FOR NEIGHBORHOOD MEETING VERIFICATION:**

- Copy of notice sent to property owners within 300' of an applicable property
- List of notice recipients with names and addresses
- Sign-up sheet from meeting

**INFORMATION FOR AFFIDAVIT OF LEGAL INTEREST:**

- A signed affidavit indicating legal interest in a property and application

**INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:**

- Required if irrigation canal/irrigation ditch runs through property or along property lines

**INFORMATION FOR AFFIDAVIT OF PROPERTY POSTING AND PHOTOS:**

- A signed affidavit affirming that the required sign has been posted on the property ten (10) days before the hearing**
- Photos (digital or print) of posted sign**
- Photos of posted sign must be clear enough to read the text**



**LAND DIVISION**

Permit info: \_\_\_\_\_  
 Application Date: \_\_\_\_\_ Rec'd by: \_\_\_\_\_  
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**CONTACT INFORMATION**

**APPLICANT**

**Name:** Ben Semple, Rodney Evans + Partners, PLLC      **Address:** 1014 S. La Pointe St., Suite 3  
**Email:** ben@reandpartners.com      Boise, ID 83706  
**Phone:** (208) 514-3300

**OWNER**

**Name:** Dan Russell      **Address:** 1551 S. Cotterell Way  
**Email:** dan@norbryhn.com      Boise, ID 83709  
**Phone:** (208) 794-2649

**PROPERTY INFORMATION**

**Subdivision/Project Name:** Life Tree Village Subdivision

**Site address:** 204 E. 43rd St., Garden City, ID 83714

**Description of Existing Use(s):** vacant

**Description of Surrounding Uses:** residential

**APPLICATION INFORMATION**

- Minor Land Division       Preliminary Plat       Planned Unit Development  
 Combined Preliminary/Final Plat       Final Plat       Condominium

If final plat have there been any changes since the preliminary plat? Y/(N)

Number of residential lots 5      Number of commercial lots 0      Number of mixed use lots 0

Number of common lots 1      Square feet of common open space 12,670.92

Are any improvements planned within the common open space area? If so, specify.  
common/shared access drive, stormwater (subsurface), parking, landscaping

What public services and facilities are required for this development? \_\_\_\_\_ Fire Protection \_\_\_\_\_ Police Protection X Water X Sewer X Drainage \_\_\_\_\_ Streets \_\_\_\_\_ Schools

What housing types are proposed? MARK ALL THAT APPLY

Single Family X      Condos \_\_\_\_\_      Townhomes \_\_\_\_\_      Live/Work \_\_\_\_\_  
 Manufactured/ Mobile Homes \_\_\_\_\_      N/A \_\_\_\_\_

Is this plat a portion of a larger land holding intended for subsequent development? If yes, please explain. No.

Is the project within the Floodplain? No.

Are there any proposed uses not allowed in the zoning district where the project is located? If so, specify. If so, what is the gross land area devoted to such uses? No.

**What is the effect of this site development on roadways and traffic conditions?** No impact.

**Are there new roads proposed/required?** Shared access drive.

**Are there new ingress/egress being proposed?** Utilization of the existing access point.

**How has off-street parking and loading been arranged and sized to prevent traffic congestion?** All homes have garages and on-site guest parking.

**How has vehicular and pedestrian circulation been arranged with respect to adjacent facilities and internal circulation?** Shared access drive connects to 43rd St. Internal sidewalk connects to the existing public sidewalk along 43rd St.

**Has there been connection to or access provided for future connections to bicycle and pedestrian pathways or regional transit?** N/A

**What neighborhood characteristics exist or are planned which make this development compatible with the neighborhood and adjoining properties?**

Smaller "starter" homes are proposed, along with the owner's private residence.

**What is the effect of this site development on the adequacy of storm and surface water facilities?** Stormwater will be handled on-site by subsurface stormwater facilities.

No impact to existing storm or surface water facilities are anticipated.

**How will the design create a sense of place (usable open space, public art, visual focus points)?** Utilization of permeable pavers to create a "plaza" within the development for use by future residents.

**How has landscaping been used to protect existing trees, utilize existing features, create harmony with adjacent development and prevent erosion and dust?**

No existing landscape of value. Proposed landscaping will create positive addition to the area.

**What type of water will be used for landscaping?** \_\_\_\_\_Irrigation - Non-Potable  
\_\_\_\_\_Irrigation - Potable      \_\_\_\_\_<sup>X</sup>\_\_\_\_\_City Water System

**Have native or drought resistant plants been utilized in the landscaping plan? If so what types and what percentage of the overall landscape is dedicated to these plants?** All plants chosen are water conserving for this area, and have drought tolerant characteristics.

**What sustainable concepts have been incorporated into the design?**

Low water-use plants. Reduction in open turf areas. Maintenance of large existing trees along western property boundary to provide shading of homes, thereby reducing reliance on cooling systems.

**APPLICATION INFORMATION REQUIRED**

**NOTE:**

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED**  
**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

**TWO (2) HARD COPIES OF EACH CHECKLIST ITEM REQUIRED**

- |                                     |                                                                                                       |                                     |                                               |
|-------------------------------------|-------------------------------------------------------------------------------------------------------|-------------------------------------|-----------------------------------------------|
| <input checked="" type="checkbox"/> | Planning Submittal Form                                                                               | <input checked="" type="checkbox"/> | Compliance Statement                          |
| <input checked="" type="checkbox"/> | Preliminary Title Report                                                                              | <input checked="" type="checkbox"/> | Statement of Intent                           |
| <input checked="" type="checkbox"/> | Legal Description*on pre-plat                                                                         | N/A                                 | <input type="checkbox"/> Approved Sketch Plat |
| <input checked="" type="checkbox"/> | Neighborhood Map                                                                                      |                                     |                                               |
| <input checked="" type="checkbox"/> | Sketch Map (Required for subs with 4 or more proposed lots)                                           |                                     |                                               |
| <input checked="" type="checkbox"/> | Subdivision Map                                                                                       |                                     |                                               |
| <input checked="" type="checkbox"/> | Site Plan                                                                                             |                                     |                                               |
| <input checked="" type="checkbox"/> | Landscape Plan                                                                                        |                                     |                                               |
| <input checked="" type="checkbox"/> | Schematic Drawings                                                                                    |                                     |                                               |
| N/A                                 | <input type="checkbox"/> Lighting Plan                                                                |                                     |                                               |
| <input checked="" type="checkbox"/> | Topographic Survey                                                                                    |                                     |                                               |
| <input checked="" type="checkbox"/> | Grading Plan                                                                                          |                                     |                                               |
| <input checked="" type="checkbox"/> | Soils Report                                                                                          |                                     |                                               |
| <input checked="" type="checkbox"/> | Hydrology Report *calculations shown on plans                                                         |                                     |                                               |
| <input checked="" type="checkbox"/> | Engineering Drawings and Specifications                                                               |                                     |                                               |
| N/A                                 | <input type="checkbox"/> Natural Hazard and Resources Analysis                                        |                                     |                                               |
| <input checked="" type="checkbox"/> | Dedications and Easements                                                                             |                                     |                                               |
| N/A                                 | <input type="checkbox"/> Covenants and Deed Restrictions                                              |                                     |                                               |
| <input checked="" type="checkbox"/> | Ability to Serve Letter                                                                               |                                     |                                               |
| <input checked="" type="checkbox"/> | Neighborhood Meeting Verification                                                                     |                                     |                                               |
| <input checked="" type="checkbox"/> | Affidavit of Legal Interest                                                                           |                                     |                                               |
| <input type="checkbox"/>            | Affidavit of Posting and Photos (Due 7 days before the hearing)                                       |                                     |                                               |
| N/A                                 | <input type="checkbox"/> Irrigation/Ditch Company Information Form                                    |                                     |                                               |
| N/A                                 | <input type="checkbox"/> Locations, elevations, and materials of proposed signage or Master Sign Plan |                                     |                                               |
| N/A                                 | <input type="checkbox"/> Waiver Request of Application Materials                                      |                                     |                                               |

**FOR CONDOMINIUM SUBDIVISIONS:**

**IN ADDITION TO THE ABOVE REQUIRED DOCUMENTS AND INFORMATION, THE FOLLOWING MUST BE SUBMITTED:**

- Diagrammatic floor plans of the building or buildings built or to be built in sufficient detail to identify each unit, its relative location and approximate dimensions, showing elevations where multi-level or multi-story structures are diagrammed
- A declaration and by-laws consistent with the provisions contained in Idaho Code 15-1505

**INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS (PLEASE CHECK):**

- Statement must include a list of the application materials to be waived and an explanation for the request.

**INFORMATION REQUIRED ON COMPLIANCE STATEMENT (PLEASE CHECK):**

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application

**INFORMATION FOR STATEMENT OF INTENT(PLEASE CHECK):**

- Should include purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

**INFORMATION FOR PRELIMINARY TITLE REPORT (PLEASE CHECK):**

- Document confirming property has been purchased contingent to approvals by city and other agencies
- Document should confirm if there are liens on property and if there are other issues with title
- Document typically generated by lender or title company

**INFORMATION FOR LEGAL DESCRIPTION (PLEASE CHECK):**

- A document legally describing the property.
- Must have Ada County instrument number or county seal inscribed.

**INFORMATION FOR SKETCH PLAT (PLEASE CHECK):**

- A plat preliminary to the preparation of a preliminary plat that show the basic outline of the plat, including lots, roads, and dedicated sites.
- Required for subs with 4 or more proposed lots

**INFORMATION REQUIRED ON NEIGHBORHOOD MAP (PLEASE CHECK):**

- 8 ½" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

**INFORMATION REQUIRED ON PRELIMINARY SUBDIVISION MAP (PLEASE CHECK):**

- 30" x 42" minimum size
- Scale no less than one inch (1") to one hundred feet (100')
- The names, addresses, and telephone numbers of the planners, engineers, surveyors or other persons who designed the subdivision and prepared the plat
- The legal description of the proposed subdivision, and a topographical map showing the proposed subdivision at a scale of not less than one inch (1") to one hundred feet (100')
- The intended use of the lot such as: residential single-family, duplex, townhouse and multiple housing, commercial, industrial or recreational;
- A proposed building envelope shall be designated and dimensioned on each lot to demonstrate that a building can comply with the required setbacks. This building footprint is not binding on future building on the lot.
- Streets and public rights of way, including proposed street names and dimensions
- Blocks, if any, building envelopes and lot lines as required by subsection 10-4-4F of this Title, showing the dimensions and numbers of each. In addition to providing this information on the plat or supporting addenda, the applicant shall stake the perimeters of each lot and the center of its building envelope sufficiently to permit the Commission to locate the same when inspecting the site of the proposed subdivision
- Contour lines, shown at two foot (2') intervals, reference to an established bench mark, including location and elevation

- Location of any proposed or existing utilities, including, but not limited to, domestic water supply, storm and sanitary sewers, irrigation laterals, ditches, drainages, bridges, culvers, water mains, fire hydrants, and their respective profiles
- Location of bicycle parking
- Location of existing and proposed street lights
- Location of existing and proposed pedestrian and bicycle pathways

**INFORMATION REQUIRED ON SITE PLAN(PLEASE CHECK):**

- 24" x 36" size minimum
- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- Sidewalks, bike and pedestrian paths.
- Berms, walls, screens, hedges and fencing.
- Location and width of easements, canals, ditches, drainage areas.
- Location, dimensions and type of signs.
- Trash storage and mechanical equipment and screening.
- Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- Log depicting square footage of impervious surface, building and landscaping
- Location and height of fences and exterior walls
- Location and dimensions of outdoor storage areas
- Location of utilities and outdoor serviced equipment and areas
- Location of any proposed public art
- Location of any proposed exterior site furniture
- Location of any exterior lighting
- Location of any existing or proposed signage

**INFORMATION REQUIRED ON LANDSCAPE PLAN (PLEASE CHECK):**

- 24" x 36" size minimum
- Scale the same as the site plan.
- Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- Size, location and species of existing vegetation labeled to remain or to be removed.
- All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location

- Proposed storm water systems
- Locations and dimensions of open space

**INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (PLEASE CHECK):**

- 11" x 17" size minimum
- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color
- Sample materials (as determined by the staff)

**INFORMATION REQUIRED ON LIGHTING PLAN (PLEASE CHECK):**

- 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- Location of municipal street lights

**INFORMATION FOR TOPOGRAPHIC SURVEY (PLEASE CHECK):**

- The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20'). If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site.

**INFORMATION REQUIRED ON GRADING PLAN (PLEASE CHECK):**

- 11" x 17" size minimum
- Scale not less than one inch equals twenty feet (1" = 20')
- Two foot (2') contours for the entire proposal site
- One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- Existing easement and utility locations
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surfaces
- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- Proposed storm water systems

**INFORMATION FOR SOILS REPORT (PLEASE CHECK):**

- Prepared by a licensed engineer
- Report showing the nature, distribution, and strength of existing soil;
- Conclusions and recommendations for grading procedures

- Opinions and recommendations regarding the adequacy of the soil for the proposed development
- The design criteria for any corrective measures which are recommended

**INFORMATION FOR HYDROLOGY REPORT(PLEASE CHECK):**

- Prepared by a licensed engineer
- Description of the hydrological conditions existing within the proposed site, the adequacy of the existing conditions for the proposed project and the design criteria for any recommended corrective measures
- Map or drawing showing existing surface drainage patterns in the proposed site and identifying any anticipated changes in those patterns due to the project development
- For preliminary plat: Preliminary plans and approximate locations of all surface and subsurface drainage devices or other devices to be employed in controlling drainage water within the project site, including proposed, existing, and natural drainage swales, culverts, catch basins, and subsurface drain piping
- For final plat: A storm drainage plan shall be submitted showing compliance with the standards of section 8-4B-1. The storm drainage plan shall include:
  - a. A map indicating the on-site and off-site drainage applicable to the site
  - b. Detailed engineering plans of all subsurface drainage improvements to be constructed as a part of the proposed development
  - c. Location of all drainage easements, or drainage rights of way
- For a subdivision within a floodplain, documentation shall be provided that will show and explain at the following to demonstrate conformance with Chapter 3, Article B. Flood Hazard. Location of all planned improvements:
  - a. The location of the floodway and the floodway fringe per engineering practices as specified by the Army Corp of Engineers
  - b. The location of the present water channel
  - c. Any planned re-routing of waterways
  - d. All major drainage ways
  - e. Areas of frequent flooding
  - f. Means of flood proofing buildings, and means of insuring loans for improvements within the floodplain

**INFORMATION FOR ENGINEERING DRAWINGS AND SPECIFICATIONS (PLEASE CHECK):**

- Prepared by a licensed engineer
- The engineering drawings and specifications are for streets, water systems, sewers, and other required public improvements to support the proposal
- The plans shall contain sufficient information and detail to enable the Planning Official to make a determination as to conformance of the proposed improvements to applicable regulations, ordinances, and standards
- For a sexually oriented business: The applicant shall provide evidence certified by a professional land surveyor licensed in the State of Idaho that the proposed adult entertainment establishment conforms to the separation requirements as set forth in Section 8-2C-33 of this Title

**INFORMATION FOR NATURAL HAZARD AND RESOURCES ANALYSIS (PLEASE CHECK):**

- Prepared by a licensed engineer
- The natural hazards and resources analysis shall provide an inventory and recommendation regarding natural conditions existing on the site.
- The analysis shall include: significant natural resources existing on the site shall be identified including vegetation; fish and wildlife habitat; and water, including streams and riparian zones. A plan for preservation and/or

mitigation of significant resources should be prepared by a qualified professional.

- For subdivisions within a floodplain: Detained information on the nature, source, and extent of the hazard and the proposed actions to minimize or eliminate danger to public health, safety or property. The analysis shall include the following information:
  - a. The location of existing water channels and drainage ways, floodway, flood plain and base flood elevation
  - b. The location of all planned improvements including dams, dikes, and similar structures
  - c. All planned diversions, alterations or rerouting of channels and drainage ways.

**INFORMATION FOR DEDICATIONS AND EASEMENTS (PLEASE CHECK):**

- The statement of intent for dedications and/or easements shall include the location, size, dimensions, and purpose.

**INFORMATION FOR COVENANTS AND DEED RESTRICTIONS (PLEASE CHECK):**

- The draft of any proposed covenants and deed restrictions to be recorded with the plat or plat amendment.

**INFORMATION FOR WILL SERVE LETTER(PLEASE CHECK):**

- A document from the City Engineer certifying that a property has adequate access to city services.

**INFORMATION FOR NEIGHBORHOOD MEETING VERIFICATION (PLEASE CHECK):**

- Copy of notice sent to property owners within 300' of an applicable property
- List of notice recipients with names and addresses
- Sign-up sheet from meeting

**INFORMATION FOR AFFIDAVIT OF LEGAL INTEREST (PLEASE CHECK):**

- A signed affidavit indicating legal interest in a property and application

**INFORMATION FOR AFFIDAVIT OF PROPERTY POSTING AND PHOTOS(PLEASE CHECK):**

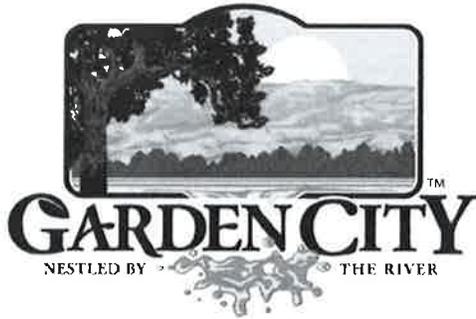
- A signed affidavit affirming that the required sign has been posting on the property ten days before the hearing
- Photos (digital or print) of posted sign

**INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM (PLEASE CHECK):**

- Required if irrigation canal/irrigation ditch runs through property or along property lines

**INFORMATION REQUIRED FOR MASTER SIGN PLAN (PLEASE CHECK):**

- Required for commercial or mixed-use developments of two or more buildings
- Location, elevations, and materials of proposed signage



6015 Glenwood Street Garden City, Idaho 83714  
Phone 208 - 472-2921 Fax 208 - 472-2926  
www.gardencityidaho.org

### Affidavit of Legal Interest

State of Idaho )  
                          )SS  
County of Ada )

I, DANIEL C RUSSELL, 1551 S COTTERELL WAY  
Name Address  
BOISE ID 83709  
City State and Zip

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission Ben Semple @ to Rodney Evans + Partners, PLLC, 1014 S. La Pointe St., Suite 3, Boise, ID 83706 to submit the accompanying application pertaining to that property.  
Name Address
2. I agree to indemnify, defend and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.

Dated this 10<sup>th</sup> day of December, 2019

Daniel C. Russell  
Signature

Subscribed and sworn to before me the day and year first above written



Melissa Vasquez  
Notary Public for Idaho  
Residing at: Canyon County  
My Commission expires 10-29-2024



## CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714  
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais  
Boise Fire Department  
333 Mark Stall Place  
Boise, Idaho 83704-0644

June 27, 2019

Subject: Ability to Provide Fire Flows

### **Fire Flow Information:**

Address fire flow requested for: 204 E 43rd

Fire hydrant serving this address: Hydrant #3020

Fire flow Garden City is able to provide is 1500 gpm at 20 psi residual for 2 hours.

### **Sprinkler System Design Information:**

Static pressure: 60 psi

Residual pressure: 20 psi

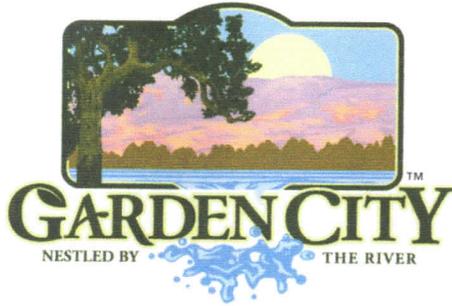
Minimum flow at residual pressure: 1500 gpm

For questions please contact the Garden City permitting desk at 472-2921.

Sincerely,

Garden City Public Works Water Division

cc:  
Applicant  
File



## CITY OF GARDEN CITY

6015 Glenwood Street • Garden City, Idaho 83714

Phone 208/472-2900 • Fax 208/472-2996

22 November 2019

Building Department  
City of Garden City  
6015 North Glenwood Street  
Garden City, Idaho 83714

Subject: **38<sup>th</sup> and Adams  
204 East 43<sup>rd</sup> Street  
Parcel Number R2734500776  
Water and Sanitary Sewer Ability to Serve  
ATSFY2020-06**

I am a consultant (employed by B & A Engineers, Inc.) appointed by the city council as the engineer for the city of Garden City. The referenced project is eligible to receive water and sewer service from the city of Garden City from existing infrastructure.

The city water system in the area provided a minimum fire flow of 1,500 gallons per minute with a residual pressure of 20 pounds per square inch for two hours based upon a letter dated 27 July 2019 (fire hydrant 3020) from the Garden City Public Works Water Division. Said system is capable of providing adequate fire protection capacity to serve a proposed facility if the North Ada County Fire and Rescue District determines that the project does not require more fire protection water than what is available from the city system. Should the District require more fire protection water than the current system is capable of providing, the owner of the project may be required to modify and propose construction to comply with the District's flow requirements and/or upgrade the city's water system. The District may also require additional fire hydrants.

New water mainline extensions and water service connections must be coordinated, reviewed and approved by the city prior to installation. Design and installation is the responsibility of the applicant.

The existing city sanitary sewer system is capable of serving the property if flows are reasonable in volume. New sewer mainline extensions and service connections are required. The applicant must verify location and available grade

to the city sewer system. New sewer appurtenance connections to Garden City sewer lines to serve the facility must be coordinated with Garden City Public Works. Design and installation is the responsibility of the applicant.

Special uses on the site may require pretreatment of wastewater based upon review of use by Garden City Environmental.

As water and sewer mainlines will be required to serve the development as planned, construction plans must be approved by either the Idaho Department of Environmental Quality or via a Qualified License Professional Engineer review performed by the city and paid for by the applicant.

Sincerely,



J. D. Canning, PE/PLS  
B & A Engineers, Inc.  
Garden City Engineer

ec. Mr. Colin Schmidt  
Public Works Director  
City of Garden City

Mr. Chad Vaughn  
Garden City Water Manager  
City of Garden City

Mr. Troy Vaughn  
Garden City Collections/Construction Manager  
City of Garden City

Rodney Evans + Partners, PLLC  
1014 S. La Pointe St., Suite 3  
Boise, Idaho 83706  
p: 208-514-3300  
[www.reandpartners.com](http://www.reandpartners.com)



Landscape Architecture + Urban Design + Land Use and Site Planning + Entitlements + Project Management

November 18, 2019

Development Services  
Garden City Hall  
6015 N. Glenwood Street  
Garden City, ID 83714

Subject: Application for Life Tree Village Subdivision – Preliminary/Final Plat and Planned Unit Development

To whom it may concern,

On behalf of the owner and developer of the subject property, Dan Russell, I am pleased to submit an application and support materials for the Life Tree Village Subdivision. The proposed development includes 5 single-family residential lots and associated site and landscape improvements. A Planned Unit Development application is being submitted concurrently due to the subject parcel being located within a TOD development node, but the proposed development contains less than the required density.

The proposed structures are compliant with the standards of review for the proposed application. The Design Review committee has preliminarily reviewed the application materials and deemed them adequate for the size and type of development. Once the subdivision and PUD are approved, a final Design Review application will be submitted to obtain the final Design Review approval of the final designs of the homes.

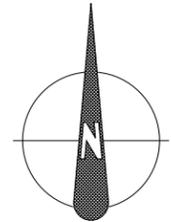
The purpose of this project is to develop a currently vacant property with 5 single-family homes. The owner/developer is building their personal residence on Lot 1 of the subdivision, and 4 additional homes on the property for sale. These homes are designed to be smaller and appeal to a wide range of income levels. The 5 total homes and site and landscape improvements are the extent of the scope of the project, with no phasing or future expansion planned, although the project is designed in a way that it could be added to in the future by adjacent land owners through a cross-access agreement, and upon approval of future planning applications by others. The intent of the project is to not only provide the owner/developer with their personal residence, but to provide additional housing in the area. As this is a single-family residential project, no noxious uses, noise, vibration, or other uses or structures are proposed with this application, and none are anticipated that may impact any of the surrounding community. Landscape improvements are designed to take into account some of the existing trees on the western property boundary, and supplement and enhance the rest of the site that currently contains some trees in extremely bad shape, as well as weeds, grasses, and shrubs that have grown with little to no maintenance. All plants currently on the site have grown wildy, and were not planted by any owner. Pedestrian improvements are proposed in order to facilitate safe movement of pedestrians from interior to the site to the existing public sidewalk along 43<sup>rd</sup> St.

A neighborhood meeting was held on Monday, September 5, 2019. It was attended by myself, the owner/developer, and one additional neighboring land owner. A sign-up sheet is included in our application package. There have been no concerns voiced by any neighbor that was notified.

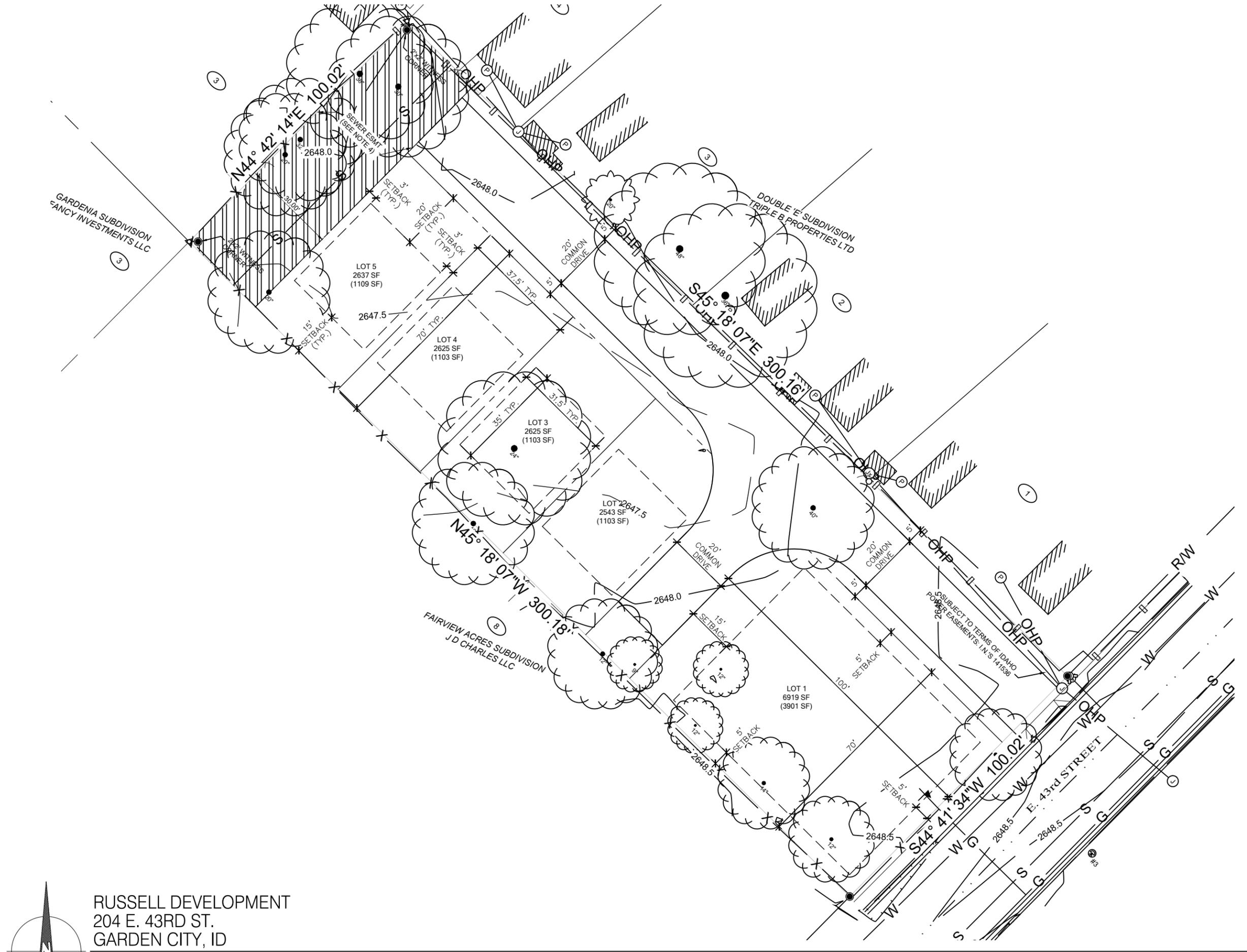
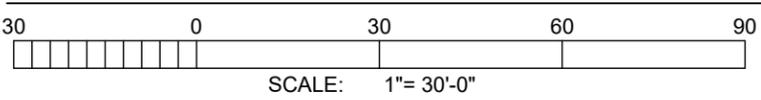
We look forward to working with you and the City on approval of the Life Tree Village Subdivision. Please do not hesitate to contact me with questions about the development or our application.

Sincerely,

Ben Semple  
Rodney Evans + Partners, PLLC  
Partner, Senior Landscape Architect



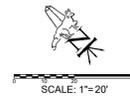
RUSSELL DEVELOPMENT  
 204 E. 43RD ST.  
 GARDEN CITY, ID



**RODNEY EVANS + PARTNERS**  
 reandpartners.com + 208-514-3300 + 1014 S. La Pointe, Boise, Idaho 83706

LANDSCAPE ARCHITECTURE  
 + URBAN DESIGN  
 + LAND PLANNING  
 + GRAPHIC COMMUNICATION  
 + PROJECT MANAGEMENT

**PRELIMINARY PLAT SHOWING  
LIFE TREE VILLAGE SUBDIVISION**  
LOCATED IN LOT 9, BLOCK 3, PLAT OF FAIRVIEW ACRES SUBDIVISION No. 1,  
WITHIN SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32,  
TOWNSHIP 4 NORTH, RANGE 2 EAST, BOISE MERIDIAN, GARDEN CITY, ADA COUNTY, IDAHO  
2019



**LEGEND**

---	BOUNDARY
---	LOT LINE
---	SECONDARY BOUNDARY
---	RIGHT-OF-WAY
---	BUILDING SETBACK
---	EXISTING WIRE FENCE
---	EXISTING WOOD FENCE
---	EXISTING CHAIN-LINK FENCE
---	EXISTING GAS LINE
---	EXISTING WATER LINE
---	EXISTING OVERHEAD POWER
---	EXISTING SEWER LINE
---	PROPOSED WATER LINE
---	PROPOSED SEWER LINE

○	FOUND 12" REBAR, NO CAP UNLESS NOTED
○	FOUND 5/8" REBAR, NO CAP UNLESS NOTED
○	SET 12" REBAR, PLASTIC CAP, FLSI PLS 12464
○	SURVEY CONTROL POINT (AS NOTED)
○	CALCULATION POINT, NOTHING FOUND OR SET
○	UTILITY POLE
○	JOINT POLE
○	JOINT POLE WITH TRANSFORMER
○	WATER VALVE
○	FIRE HYDRANT
○	SANITARY SEWER MANHOLE
○	GAS MARKER

XX	LOT NUMBER
▨	ASPHALT
▨	CONCRETE
▨	SEWER EASEMENT
▨	BRICK PAVERS

**CONTROL POINT TABLE**

Point #	Description	Elevation	Northing	Easting
2	CPT.MAGSPK	2647.74	717679.24	2492232.98
3	CPT.MAGSPK	2648.66	717472.30	2492448.41

**CURVE TABLE**

CURVE	RADIUS	DELTA	LENGTH	CH. BEARING	CH. LENGTH
C1	28.00'	055°13'22"	26.59'	N17°04'33"E	25.90'
C2	28.00'	055°14'00"	26.59'	S72°14'34"W	25.90'

**UTILITY REPRESENTATIVES**

UTILITY	REPRESENTATIVE	PHONE
GAS	INTERMOUNTAIN GAS	(208) 377-6839
ELECTRICITY	IDAHO POWER	(208) 388-6320
TELEPHONE	CENTURY LINK	(208) 385-2144
SEWER	GARDEN CITY	(208) 472-2900
WATER	GARDEN CITY	(208) 472-2900
ROADS	ADA COUNTY HIGHWAY	(208) 454-8135
IRRIGATION	FAIRVIEW ACRES LATERAL	(208) 658-1263
	WATER USERS ASSOCIATION	
FIRE	BOISE FIRE DEPARTMENT	(208) 570-6555

**SITE DATA**

ADDRESS:	204 E. 43rd STREET
TOTAL ACRES:	0.689 ACRES
TOTAL LOTS:	6
BUILDABLE LOTS:	5
LOT USAGE:	RESIDENTIAL SINGLE FAMILY
EXISTING ZONING:	R-3 (GARDEN CITY)
PROPOSED ZONE:	R-3
MINIMUM R-3 RESIDENTIAL LOT SIZE:	1,245 S.F.
MINIMUM PROPOSED LOT SIZE:	2625 S.F.
AVERAGE RESIDENTIAL LOT SIZE:	3469 S.F.

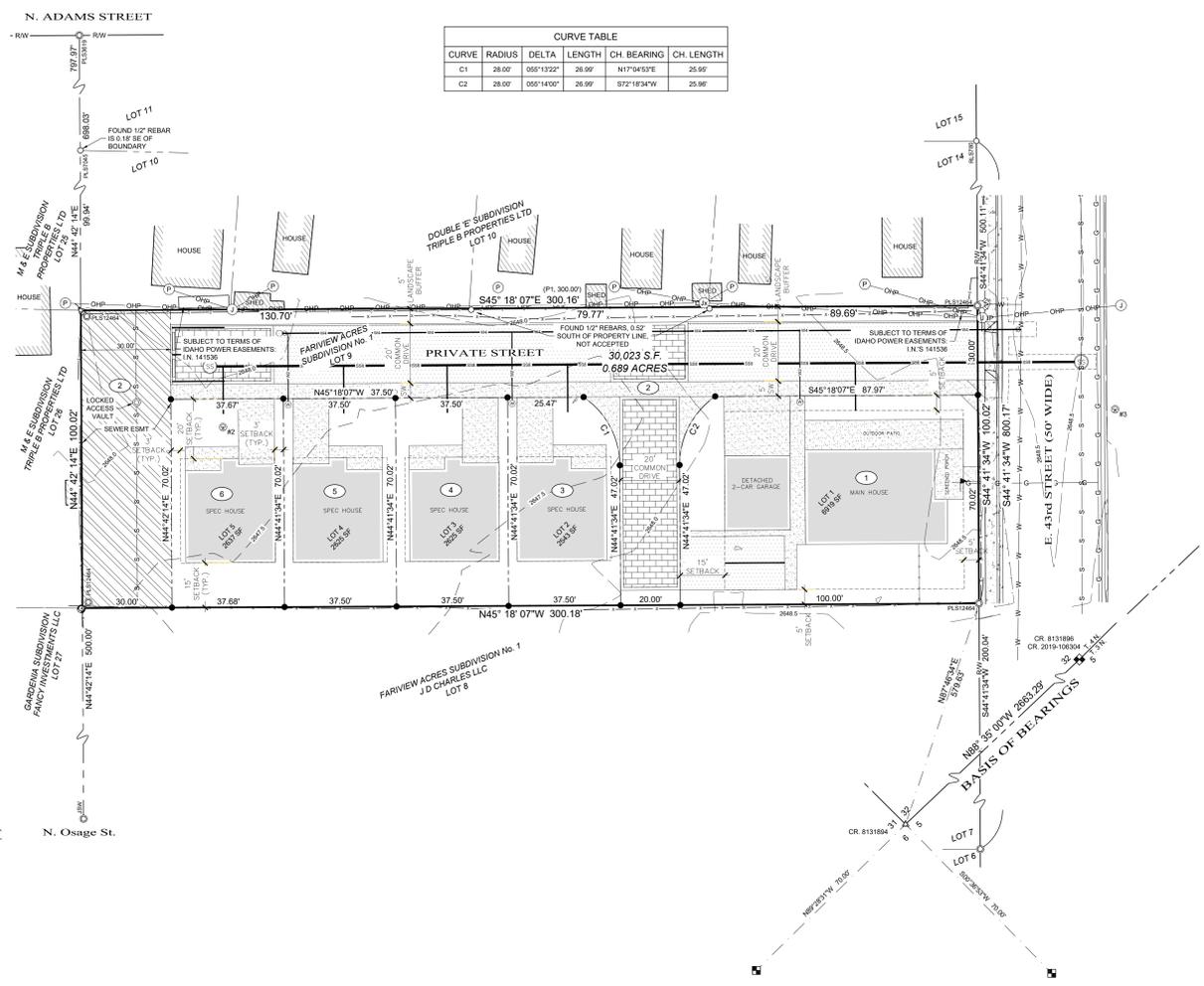
**SET BACKS**

**EXTERNAL SETBACKS**  
FRONT (SOUTHEAST) = 5' (43rd STREET)  
BACK (SOUTHWEST OF LOTS 2-5) = 10'  
SIDE (SOUTHWEST OF LOT 1) = 5'  
SIDE (NORTHEAST) = 5'

**INTERNAL SETBACKS**  
FRONT (LOTS 2-5) = 20'  
BACK = 15'  
SIDE (LOT 1) = 5'  
SIDE (LOTS 2-5) = 5'

- NOTES**
- PRIVATE DRIVE AISLE WILL BE 2.5" OF ASPHALT, 4" OF CRUSHED AGGREGATE BASE AND 6" OF STRUCTURAL SUBBASE (PIT RUN).
  - ALL LOTS SHALL HAVE A 4" SEWER SERVICE, CONNECTION WILL BE TO GARDEN CITY PUBLIC SEWER 8" SEWER MAIN.
  - ALL LOTS SHALL HAVE A 1" WATER SERVICE, CONNECTION WILL BE TO GARDEN CITY PUBLIC WATER MAIN.
  - STORM WATER WILL BE CONVEYED AND DISPOSED OF BELOW PAVED DRAIN BLOCK IN THE DRIVE AISLE AND IN YARD SWALES.
  - A BLANKET EASEMENT WILL EXIST ON LOT 2 FOR THE BENEFIT OF GARDEN CITY FOR SEWER AND WATER MAINTENANCE.

<b>OWNER</b> DANIEL C. & RACHEL R. RUSSELL 1551 S. COTTERELL WAY BOISE, ID 83709	<b>LAND SURVEYOR</b> TIMOTHY J. FOX FOX LAND SURVEYS 1515 S. SHOSHONE STREET BOISE, ID 83705 (208) 342-7507	<b>CIVIL ENGINEER</b> MIKE LIMAKKA, PE ALPHA OMEGA ENGINEERING 818 LA CASSIA DRIVE, SUITE 102 BOISE, ID 83705 (208) 322-5250	<b>LANDSCAPE ARCHITECT</b> BEN SEMPLE, PLA, ASLA ROONEY EVANS & PARTNERS 1014 S. LA POINTE STREET, SUITE 3 BOISE, ID 83706 (208) 514-3300
-------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------



**PARCEL DESCRIPTION**

All of Lot 9, Block 3, Fairview Acres Subdivision No. 1, recorded in Book 10 at Page 532, within the Southwest Quarter of the Southwest Quarter of Section 32, Township 4 North, Range 2 East, Boise Meridian, Garden City, Ada County, Idaho, more particularly described as follows:

Commencing at the Quarter corner common to Section 32, Township 4 North, Range 2 East and Section 5, Township 3 North, Range 2 East, monumented by a found aluminum cap as described in corner record instrument No. 8131896;

thence North 88°35'00" West, a distance of 2663.29 feet to a point at the Section corner common to Sections 31 and 32, Township 4 North, Range 2 East and Sections 5 and 6, Township 3 North, Range 2 East witnessed by two found aluminum cap monuments, one bearing South 00°36'53" West a distance of 70.00 feet and the other bearing North 89°26'31" West a distance of 70.00 feet as described in corner record instrument No. 8131894;

thence North 87°46'34" East a distance of 579.63 feet to a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 12464" at the easterly corner common to Lots 8 and 9, Block 3 of the Fairview Acres Subdivision No. 1, and the westerly right-of-way of East 43rd Street, the **TRUE POINT OF BEGINNING**;

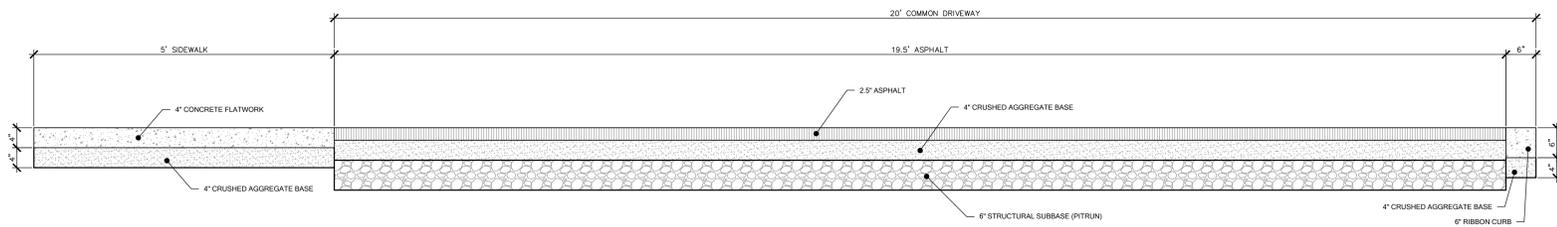
thence along the line common to said Lots 8 and 9, North 45°18'07" West a distance of 300.16 feet to the corner common to Lots 8, 9, 26 and 27 of said Fairview Acres Subdivision from which a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 12464" bears South 89°53'53" East a distance of 2.84 feet;

thence along the line common to said Lots 9 and 26, North 44°42'14" East a distance of 100.02 feet to the corner common to Lots 9, 10, 25 and 26 of said Fairview Acres Subdivision from which a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 12464" bears South 00°03'57" West a distance of 2.84 feet;

thence along the line common to said Lots 9 and 10, South 45°18'07" East a distance of 300.16 feet to a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 12464" on the westerly right-of-way of East 43rd Street;

thence along said right-of-way South 44°41'34" West a distance of 100.02 feet to the **TRUE POINT OF BEGINNING**.

Containing 0.689 acres, more or less.



**1 PRIVATE DRIVEWAY CROSS-SECTION**

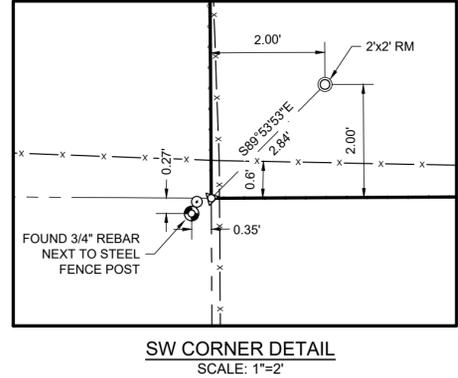
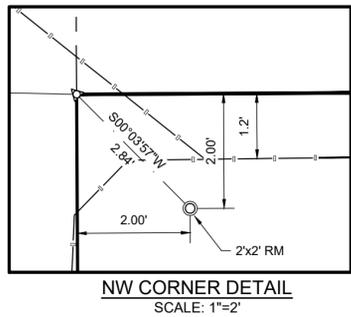
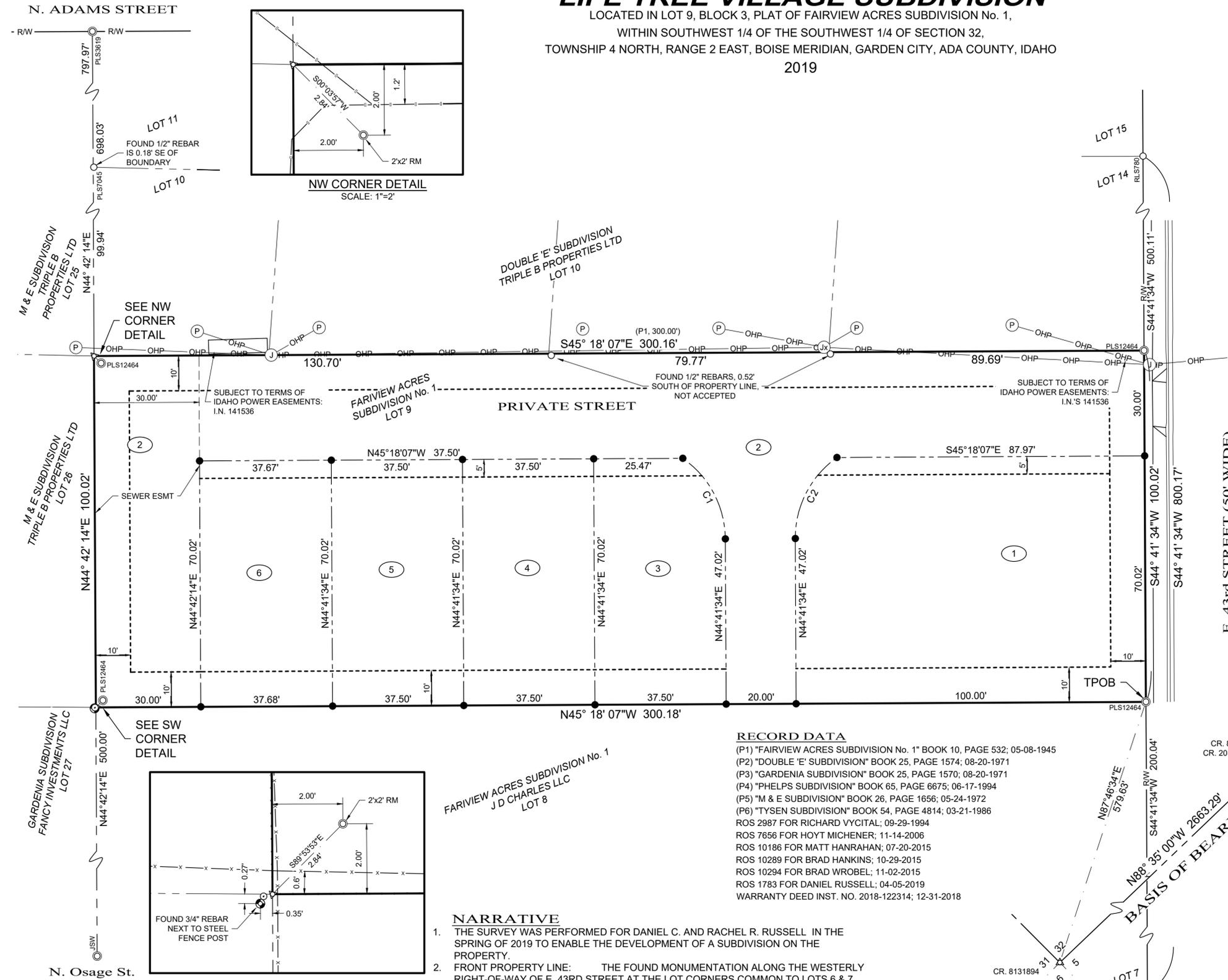
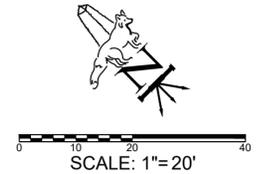


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**FOX LAND SURVEYS, INC.**  
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208-342-7507 www.foxlandsurveys.com  
INDEX# 421-32-3-3-0-10-532  
ACAD.DWG FILE 19034PP SHEET 1 OF 1

# FINAL PLAT SHOWING LIFE TREE VILLAGE SUBDIVISION

LOCATED IN LOT 9, BLOCK 3, PLAT OF FAIRVIEW ACRES SUBDIVISION No. 1,  
WITHIN SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32,  
TOWNSHIP 4 NORTH, RANGE 2 EAST, BOISE MERIDIAN, GARDEN CITY, ADA COUNTY, IDAHO  
2019

BOOK \_\_\_\_\_ PAGES \_\_\_\_\_  
THRU \_\_\_\_\_



**LEGEND**

	EXTERIOR BOUNDARY
	LOT LINE
	SECONDARY BOUNDARY
	RECORD BOUNDARY
	RECORD EASEMENT
	PUDIE EASEMENT
	RIGHT-OF-WAY
	EXISTING OVERHEAD POWER
	EXISTING WIRE FENCE
	EXISTING WOOD FENCE
	FOUND 5/8" REBAR, NO CAP UNLESS OTHERWISE NOTED
	FOUND 1/2" REBAR, NO CAP UNLESS OTHERWISE NOTED
	SET 1/2" REBAR, PLASTIC CAP "FLSI PLS7612"
	FOUND FENCE POST
	FOUND 3/4" REBAR
	CALCULATION POINT, NOTHING FOUND OR SET
	LOT NUMBER OF LIFE TREE VILLAGE SUBDIVISION
	EASEMENT
	INSTRUMENT NUMBER
	PUBLIC UTILITIES, DRAINAGE & IRRIGATION EASEMENT
	REFERENCE MONUMENT
	RECORD OF SURVEY
	TRUE POINT OF BEGINNING

- NOTES**
- ALL LOTS SHALL BE SERVICED BY THE GARDEN CITY PUBLIC SEWER.
  - ALL LOTS SHALL BE SERVICED BY THE GARDEN CITY PUBLIC WATER.
  - STORM WATER WILL BE CONVEYED AND DISPOSED OF BELOW PAVEDRAIN BLOCK IN THE DRIVE AISLE AND IN YARD SWALES.
  - A BLANKET EASEMENT WILL EXIST ON LOT 2 FOR THE BENEFIT OF GARDEN CITY FOR SEWER AND WATER MAINTENANCE, PUBLIC UTILITIES AND PRIVATE STREET.
  - A PERMANENT PUBLIC UTILITY, DRAINAGE AND IRRIGATION EASEMENT IS HEREBY DESIGNATED AS FOLLOWS: 10' WIDE ALONG THE EXTERIOR SUBDIVISION BOUNDARY AND 5' WIDE ALONG THE NORTH SIDE OF LOTS 1, 3, 4, 5 & 6 AS SHOWN.
  - LOT 2 IS A SHARED DRIVEWAY WHICH SHALL BE MAINTAINED BY THE LIFE TREE VILLAGE HOMEOWNERS ASSOCIATION.
  - ANY RE-SUBDIVISION OF THIS PROPERTY SHALL BE IN COMPLIANCE WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION.
  - DEVELOPMENT OF THIS PROPERTY SHALL BE IN COMPLIANCE WITH GARDEN CITY ZONING ORDINANCE OR AS SPECIFICALLY APPROVE BY PUD.
  - MINIMUM BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE GARDEN CITY APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF INDIVIDUAL BUILDING PERMITS OR AS SPECIFICALLY SHOWN ON THIS PLAT.
  - COVENANTS, CONDITIONS AND RESTRICTIONS (CC&Rs) FOR THIS SUBDIVISION ARE RECORDED AS INSTRUMENT No. \_\_\_\_\_

- RECORD DATA**
- (P1) "FAIRVIEW ACRES SUBDIVISION No. 1" BOOK 10, PAGE 532; 05-08-1945
  - (P2) "DOUBLE 'E' SUBDIVISION" BOOK 25, PAGE 1574; 08-20-1971
  - (P3) "GARDENIA SUBDIVISION" BOOK 25, PAGE 1570; 08-20-1971
  - (P4) "PHELPS SUBDIVISION" BOOK 65, PAGE 6675; 06-17-1994
  - (P5) "M & E SUBDIVISION" BOOK 26, PAGE 1656; 05-24-1972
  - (P6) "TYSEN SUBDIVISION" BOOK 54, PAGE 4814; 03-21-1986
  - ROS 2987 FOR RICHARD VYCITAL; 09-29-1994
  - ROS 7656 FOR HOYT MICHENER; 11-14-2006
  - ROS 10186 FOR MATT HANRAHAN; 07-20-2015
  - ROS 10289 FOR BRAD HANKINS; 10-29-2015
  - ROS 10294 FOR BRAD WROBEL; 11-02-2015
  - ROS 1783 FOR DANIEL RUSSELL; 04-05-2019
  - WARRANTY DEED INST. NO. 2018-122314; 12-31-2018

**NARRATIVE**

- THE SURVEY WAS PERFORMED FOR DANIEL C. AND RACHEL R. RUSSELL IN THE SPRING OF 2019 TO ENABLE THE DEVELOPMENT OF A SUBDIVISION ON THE PROPERTY.
- FRONT PROPERTY LINE: THE FOUND MONUMENTATION ALONG THE WESTERLY RIGHT-OF-WAY OF E. 43RD STREET AT THE LOT CORNERS COMMON TO LOTS 6 & 7 AND LOTS 14 & 15 WERE ACCEPTED FOR THE LOT CORNERS AS SHOWN HEREON. THE POSITIONS FOR THE TWO CORNERS OF THE SUBJECT LOT 9 ALONG SAID RIGHT-OF-WAY WERE PLACED USING THE SINGLE PROPORTIONING METHOD.
- REAR PROPERTY LINE: I ACCEPTED THE FOUND PIN ON THE SOUTHERLY RIGHT-OF-WAY OF N. ADAMS STREET SET BY PLS 3619 AS THE NORTH MOST POINT OF THE REAR LINE WITHIN BLOCK 3 OF THE FAIRVIEW ACRES SUBDIVISION No. 1. I ACCEPTED THE FOUND PIN ON THE NORTHERLY RIGHT-OF-WAY OF N. OSAGE STREET SET BY PLS 780 AS THE SOUTH MOST POINT OF THE REAR LINE WITHIN BLOCK 3 OF THE FAIRVIEW ACRES SUBDIVISION No. 1. I SET THE SOUTHWESTERLY CORNER OF LOT 9 AT THE PLATTED DISTANCE FROM THE PIN ON OSAGE STREET, 500.00'. I THEN SET THE NORTHERLY PIN ON A LINE PARALLEL WITH THE SOUTHERLY LINE OF LOT 9 HOLDING THE LOCATION FOR THE EASTERLY CORNER COMMON TO LOTS 9 AND 10.

**CURVE TABLE**

CURVE	RADIUS	DELTA	LENGTH	CH. BEARING	CH. LENGTH
C1	28.00'	055°13'22"	26.99'	N17°04'53"E	25.95'
C2	28.00'	055°14'00"	26.99'	S72°18'34"W	25.96'



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INDEX# 421-32-3-3-0-10-532

**FINAL PLAT SHOWING**  
**LIFE TREE VILLAGE SUBDIVISION**  
 LOCATED IN LOT 9, BLOCK 3, PLAT OF FAIRVIEW ACRES SUBDIVISION No. 1,  
 WITHIN SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32,  
 TOWNSHIP 4 NORTH, RANGE 2 EAST, BOISE MERIDIAN, GARDEN CITY, ADA COUNTY, IDAHO  
 2019

BOOK \_\_\_\_\_ PAGES \_\_\_\_\_  
 THRU \_\_\_\_\_

CERTIFICATE OF OWNERS

Know all people by these presents:  
 That Daniel C. Russell and Rachel R. Russell do hereby certify that they are the owners of the real property to be known as Life Tree Village Subdivision, and that they intend to include said real property, as described below, in this plat.

All of Lot 9, Block 3, Fairview Acres Subdivision No. 1, recorded in Book 10 at Page 532, within the Southwest Quarter of the Southwest Quarter of Section 32, Township 4 North, Range 2 East, Boise Meridian, Garden City, Ada County, Idaho, more particularly described as follows:

**Commencing** at the Quarter corner common to Section 32, Township 4 North, Range 2 East and Section 5, Township 3 North, Range 2 East, monumented by a found aluminum cap as described in corner record instrument no. 8131896;

thence North 88°35'00" West, a distance of 2663.29 feet to a point at the Section corner common to Sections 31 and 32, Township 4 North, Range 2 East and Sections 5 and 6, Township 3 North, Range 2 East witnessed by two found aluminum cap monuments, one bearing South 00°36'53" West a distance of 70.00 feet and the other bearing North 89°28'31" West a distance of 70.00 feet as described in corner record instrument no. 8131894;

thence North 87°46'34" East a distance of 579.63 feet to a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 12464" at the easterly corner common to Lots 8 and 9, Block 3 of the Fairview Acres Subdivision No. 1, and the westerly right-of-way of East 43rd Street, the **TRUE POINT OF BEGINNING**;

thence along the line common to said Lots 8 and 9, North 45°18'07" West a distance of 300.18 feet to the corner common to Lots 8, 9, 26 and 27 of said Fairview Acres Subdivision from which a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 12464" bears South 89°53'53" East a distance of 2.84 feet;

thence along the line common to said Lots 9 and 26, North 44° 42'14" East a distance of 100.02 feet to the corner common to Lots 9, 10, 25 and 26 of said Fairview Acres Subdivision from which a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 12464" bears South 00°03'57" West a distance of 2.84 feet;

thence along the line common to said Lots 9 and 10, South 45°18'07" East a distance of 300.16 feet to a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 12464" on the westerly right-of-way of East 43rd Street;

thence along said right-of-way South 44°41'34" West a distance of 100.02 feet to the **TRUE POINT OF BEGINNING**.

Containing 0.689 acres, more or less.

The private street and easements shown on this plat are not dedicated to the public, however the right to use said easements is hereby perpetually reserved for the uses specifically depicted on the plat, and for any other purposes designated hereon. Other than for such uses and purposes, no permanent structures, are to be erected within the lines of said easements.

Lots 1 through 5 within this subdivision are eligible to receive water service from the City of Garden City and the City of Garden City has agreed in writing to serve all lots within the subdivision.

Irrigation water has been provided from Fairview Acres Lateral Water Users Association in compliance with Idaho code 31-3805(1)(b). All lots within this subdivision will be entitled to irrigation water rights, and will be obligated for assessments from Fairview Acres Lateral Water Users Association.

In witness whereof, we have hereunto set our hands:

\_\_\_\_\_  
 Daniel C. Russell

\_\_\_\_\_  
 Rachel R. Russell

HEALTH CERTIFICATE

"Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied according to the letter to be read on file with the County Recorder or his agent listing the conditions of approval. Sanitary restrictions may be reimposed, in accordance with 50-1326, Idaho Code, by the issuance of a Certificate of Disapproval."

\_\_\_\_\_  
 District Health Department, REHS

\_\_\_\_\_  
 Date

ACKNOWLEDGMENT

State of Idaho)  
 County of Ada) ss

On this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_ before me, the undersigned notary public in and for the State of Idaho, personally appeared Daniel C. Russell, known or identified to me to be the owner that executed the foregoing instrument, and acknowledged to me that he executed the same.

\_\_\_\_\_  
 Notary Public of Idaho

Residing at: \_\_\_\_\_

My commission expires: \_\_\_\_\_

ACKNOWLEDGMENT

State of Idaho)  
 County of Ada) ss

On this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_ before me, the undersigned notary public in and for the State of Idaho, personally appeared Rachel R. Russell, known or identified to me to be the owner that executed the foregoing instrument, and acknowledged to me that she executed the same.

\_\_\_\_\_  
 Notary Public of Idaho

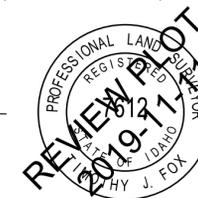
Residing at: \_\_\_\_\_

My commission expires: \_\_\_\_\_

CERTIFICATE OF SURVEYOR

I, Timothy J. Fox, do hereby certify that I am a Registered Land Surveyor licensed by the State of Idaho and that this plat of Life Tree Village Subdivision, as described in the Certificate of Owners and the attached plat, was drawn from an actual survey made on the ground under my direct supervision and accurately represents the points platted thereon, and is in conformity with the State of Idaho codes relating to Plats, Surveys and the Corner Perpetuation and Filing Act, Idaho Code 55-1601 through 55-1612.

\_\_\_\_\_  
 Timothy J. Fox, PLS 7612



**FINAL PLAT SHOWING**  
**LIFE TREE SUBDIVISION**  
LOCATED IN LOT 9, BLOCK 3, PLAT OF FAIRVIEW ACRES SUBDIVISION No. 1,  
WITHIN SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32,  
TOWNSHIP 4 NORTH, RANGE 2 EAST, BOISE MERIDIAN, GARDEN CITY, ADA COUNTY, IDAHO  
2019

BOOK \_\_\_\_\_ PAGES \_\_\_\_\_  
THRU \_\_\_\_\_

ADA COUNTY HIGHWAY DISTRICT COMMISSIONER'S ACCEPTANCE

The foregoing plat was accepted and approved by the Board of Ada County Highway District commissioners on the \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
President

\_\_\_\_\_  
Date

APPROVAL OF CITY COUNCIL

I, \_\_\_\_\_, city clerk in and for the city of Garden City, Ada County, Idaho, do hereby certify that at a regular meeting of the city council held on the \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, this plat was duly accepted and approved.

\_\_\_\_\_  
City Clerk

\_\_\_\_\_  
Date

APPROVAL OF CITY ENGINEER

I, \_\_\_\_\_, City Engineer in and for the City of Garden City, Ada County, Idaho, hereby approve this plat.

\_\_\_\_\_  
City Engineer

\_\_\_\_\_  
Date

CERTIFICATE OF COUNTY SURVEYOR

I, the undersigned, Professional Land Surveyor in and for Ada County, Idaho, do hereby certify that I have checked this plat and find that it complies with the State of Idaho Code relating to Plats and Surveys.

\_\_\_\_\_  
County Surveyor

\_\_\_\_\_  
Date

CERTIFICATE OF COUNTY TREASURER

I, \_\_\_\_\_, County Treasurer in and for Ada County, Idaho, per the requirements of I.C. 50-1308, do hereby certify that any and all current and/or delinquent county property taxes for the property included in this subdivision have been paid in full. This certification is valid for the next thirty (30) days only.

\_\_\_\_\_  
County Treasurer

\_\_\_\_\_  
Deputy Treasurer

\_\_\_\_\_  
Date

COUNTY RECORDER'S CERTIFICATE

State of Idaho )

County of Ada ) ss

I hereby certify that this instrument was filed for record at the request of Daniel C. and Rachel R. Russell at \_\_\_\_\_ minutes past

\_\_\_\_\_ o'clock \_\_\_\_\_ m., on this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, in

Book \_\_\_\_\_ of Plats at Pages \_\_\_\_\_ thru \_\_\_\_\_, as Instrument No. \_\_\_\_\_.

\_\_\_\_\_  
By Deputy Recorder

Phil McGrane  
Ex-Officio Recorder

Fee: \_\_\_\_\_



PREPARED BY  
**FOX LAND SURVEYS, INC.**  
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INDEX# 421-32-3-0-10-532

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**PLANNED UNIT DEVELOPMENT SITE PLAN**  
 SCALE: 1"= 20'-0"

**SITE REQUIREMENTS**

TOTAL PROPERTY SIZE= 30.022 ± S.F. - 0.69 ACRES  
 ZONING DISTRICT = R-3

PARKING PROVIDED:  
 2 PER HOME  
 3 GUEST  
 TOTAL: 13

EXTERNAL SETBACKS  
 FRONT (SOUTHWEST) = 5' (43RD ST.)  
 BACK (SOUTHWEST OF LOTS 2-5) = 15'  
 SIDE (SOUTHWEST OF LOT 1) = 5'  
 SIDE (NORTHEAST) = 5'

INTERNAL SETBACKS  
 FRONT (LOTS 2-5) = 20'  
 BACK = 15'  
 SIDE (LOT 1) = 5'  
 SIDE (LOTS 2-5) = 3'

**CALLOUT NOTES**

1. DRIVEWAY
2. GUEST PARKING
3. SEWER EASEMENT
4. 6' HT. WOOD PRIVACY FENCING
5. EXISTING TREES TO BE REMOVED - TREES TO BE REMOVED ARE IN EXTREMELY POOR HEALTH AND/OR DAMAGED AND ARE CREATING A HAZARD TO THIS AND SURROUNDING PROPERTIES
6. EXISTING TREES TO REMAIN - SAVE AND PROTECT
7. EXISTING 6' WOOD PRIVACY FENCING - SAVE AND PROTECT
8. EXISTING ACCESS GATE FOR SEWER MAINTENANCE - SAVE AND PROTECT
9. PERMEABLE PAVER AREA

NO.	REVISION/ISSUE	DATE

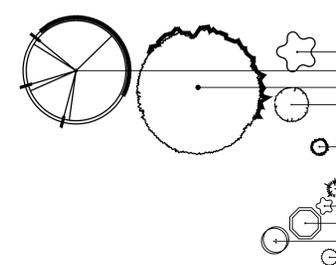
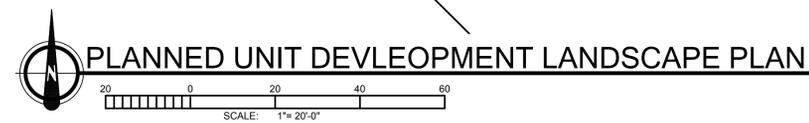
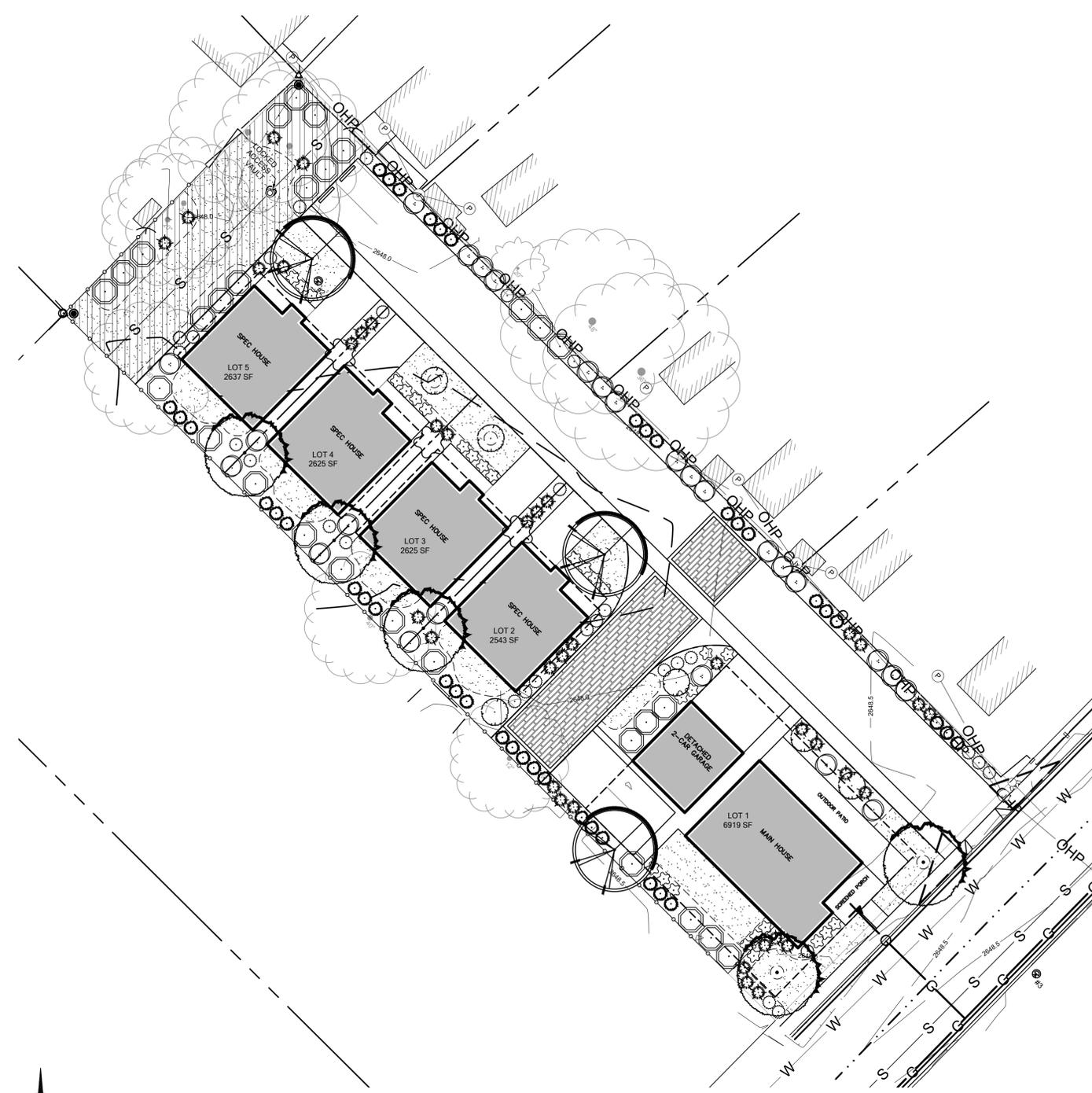


RUSSELL DEVELOPMENT  
 204 E. 43RD ST.  
 GARDEN CITY, ID 83714  
 PLANNED UNIT DEVELOPMENT

SITE PLAN	
PROJECT 19009	SHEET L1.0
DATE 7/10/19	L1.0
DRAWN BY BSS	
CHECKED BY BSS	

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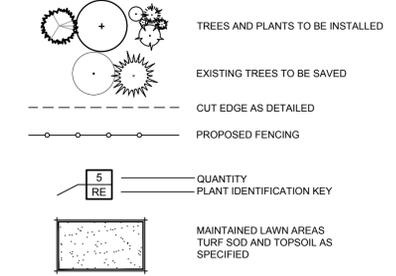
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**PLANT SCHEDULE**

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
<b>DECIDUOUS SHADE TREES</b>					
3	AP	Acer palmatum 'Twombly's Red Sentinel'	Twombly's Red Sentinel Japanese Maple	2" CAL. B&B	Class I - 10' H x 8' W
3	CC	Cercis canadensis	Eastern Redbud	2" CAL. B&B	Class I - 20' H x 25' W
5	GT	Gleditsia triacanthos f. inermis 'Skycole'	Skyline Honeylocust	2" CAL. B&B	Class II - 40' H x 30' W
4	LS	Liquidambar styraciflua 'Slender Silhouette'	Slender Silhouette Sweetgum	2" CAL. B&B	Class II - 40' H x 8' W
<b>CONIFEROUS TREES</b>					
41	JS	Juniperus scopulorum 'Blue Arrow'	Blue Arrow Juniper	6-7' HGT. B&B	12' H x 2-3' W
<b>SHRUBS/PERENNIALS/ORNAMENTAL GRASSES</b>					
37	BG	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama Grass	#1	2' H x 2' W
29	ET	Echinacea 'Tomato Soup'	Tomato Soup Coneflower	#1	18" H x 18" W
29	PL	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	#5	4' H x 6' W
26	PO	Physocarpus opulifolius 'Hoog018'	Angel Ninebark	#5	4' H x 4' W
29	SS	Salvia x sylvestris 'May Night'	May Night Salvia	#1	18" H x 18" W

**LANDSCAPE LEGEND**



NO.	REVISION/ISSUE	DATE

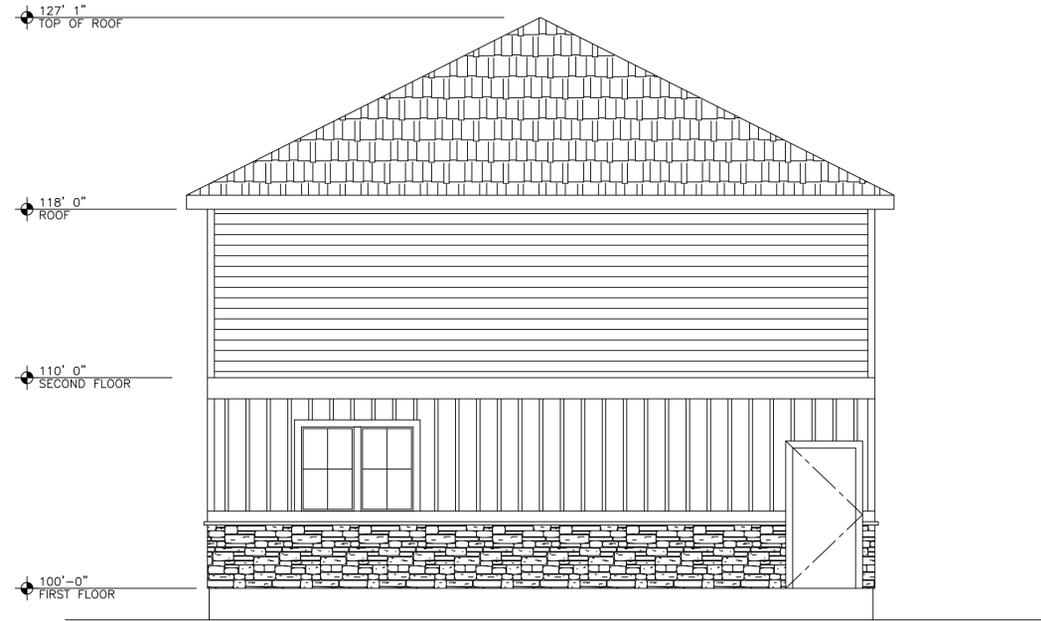
PRE/FINAL PLAT  
204 E. 43RD ST.  
GARDEN CITY, ID 83714  
PLANNED UNIT DEVELOPMENT

PROJECT		SHEET	
PROJECT	19009	SHEET	L1.2
DATE	7/10/19		
DRAWN BY	BSS	CHECKED BY	BSS

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# RUSSELL



**1 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

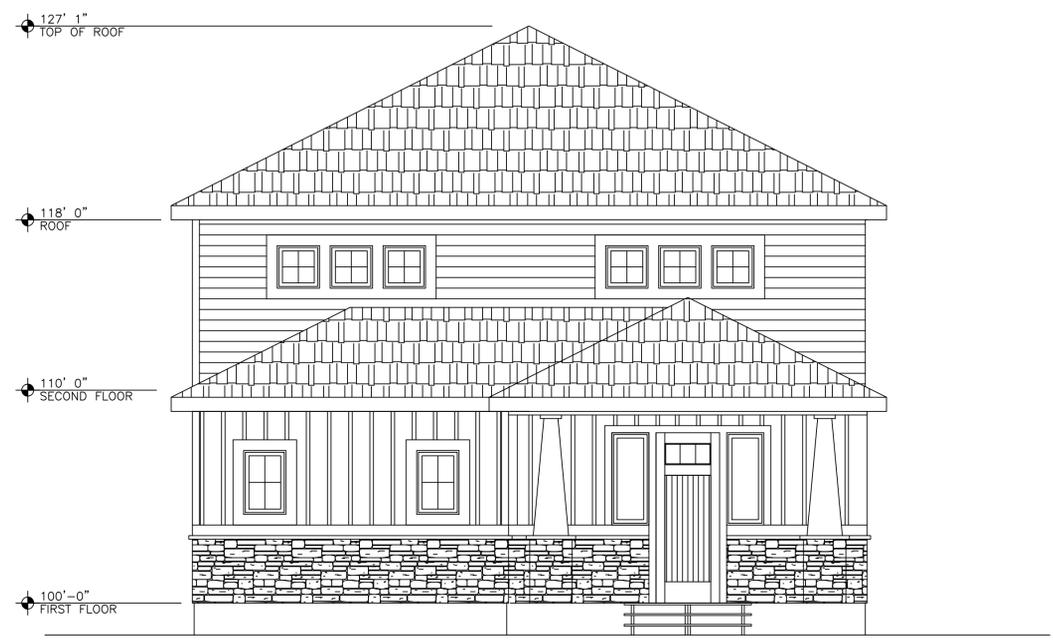
NO.	DATE	REMARKS
△	JAN. 14/00	GEN. REVISIONS

DRAWING TITLE:  
**EXTERIOR ELEVATIONS**

DRAWN BY: JPT  
 CHECKED BY: JPT  
 DATE: 25 APRIL 19  
 SCALE: AS NOTED  
 JOB NO.: 19-100

SHEET NO.:  
**A6.2**

# RUSSELL



**1 FRONT ELEVATION RUSSELL**  
 SCALE: 1/4" = 1'-0"



**2 FRONT ELEVATION SPEC**  
 SCALE: 1/4" = 1'-0"

NO.	DATE	REMARKS
△	JAN.14/00	GEN. REVISIONS

DRAWING TITLE:  
**EXTERIOR ELEVATIONS**

DRAWN BY: JPT  
 CHECKED BY: JPT  
 DATE: 25 APRIL 19  
 SCALE: AS NOTED  
 JOB NO: 19-100

SHEET NO:  
**A6.1**



# RUSSELLS PEC



**3 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



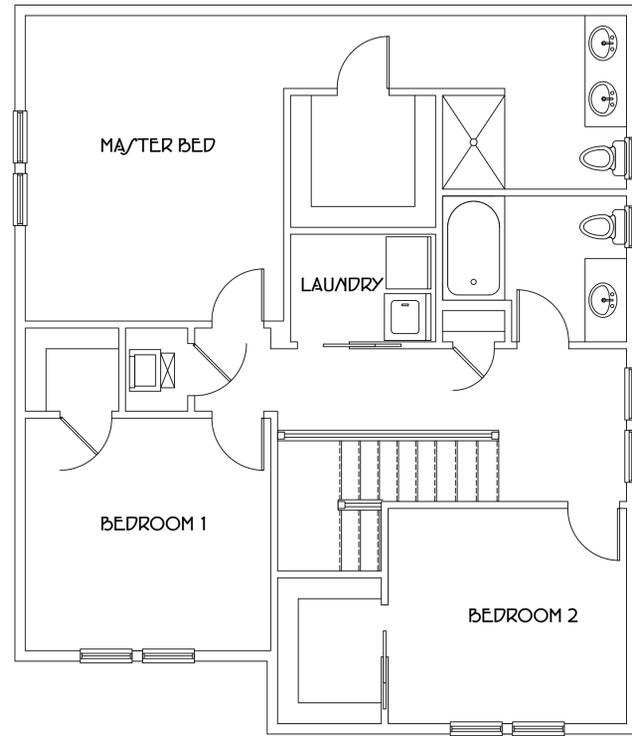
**2 RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

NO.	DATE	REMARKS
△	JAN.14/00	GEN. REVISIONS

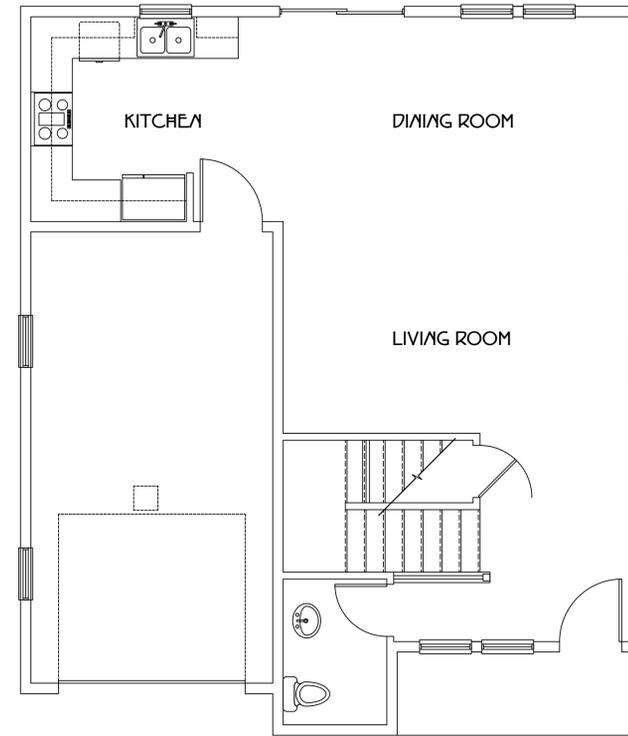
DRAWING TITLE:  
**EXTERIOR ELEVATIONS**

DRAWN BY: JPT  
 CHECKED BY: JPT  
 DATE: 31 MAR 16  
 SCALE: AS NOTED  
 JOB NO: 16-100

SHEET NO:  
**A6.1**



**2 FLOOR PLAN - SECOND LEVEL**  
SCALE: 1/4" = 1'-0"



**1 FLOOR PLAN - MAIN LEVEL**  
SCALE: 1/4" = 1'-0"



**RUSSELLS** SPEC

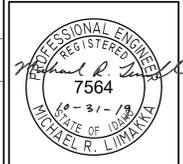
NO.	DATE	REMARKS

DRAWING TITLE:  
**FLOOR PLAN - MAIN LEVEL**

DRAWN BY: WJL  
 CHECKED BY: WJL  
 DATE: 31 MAR 16  
 SCALE: AS NOTED  
 JOB NO.: 16-100

SHEET NO.:  
**A2.0**

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**Russell Development P.U.D.**  
204 E. 43RD ST., GARDEN CITY, IDAHO

REVISIONS		
NO.	DATE	DESCRIPTION

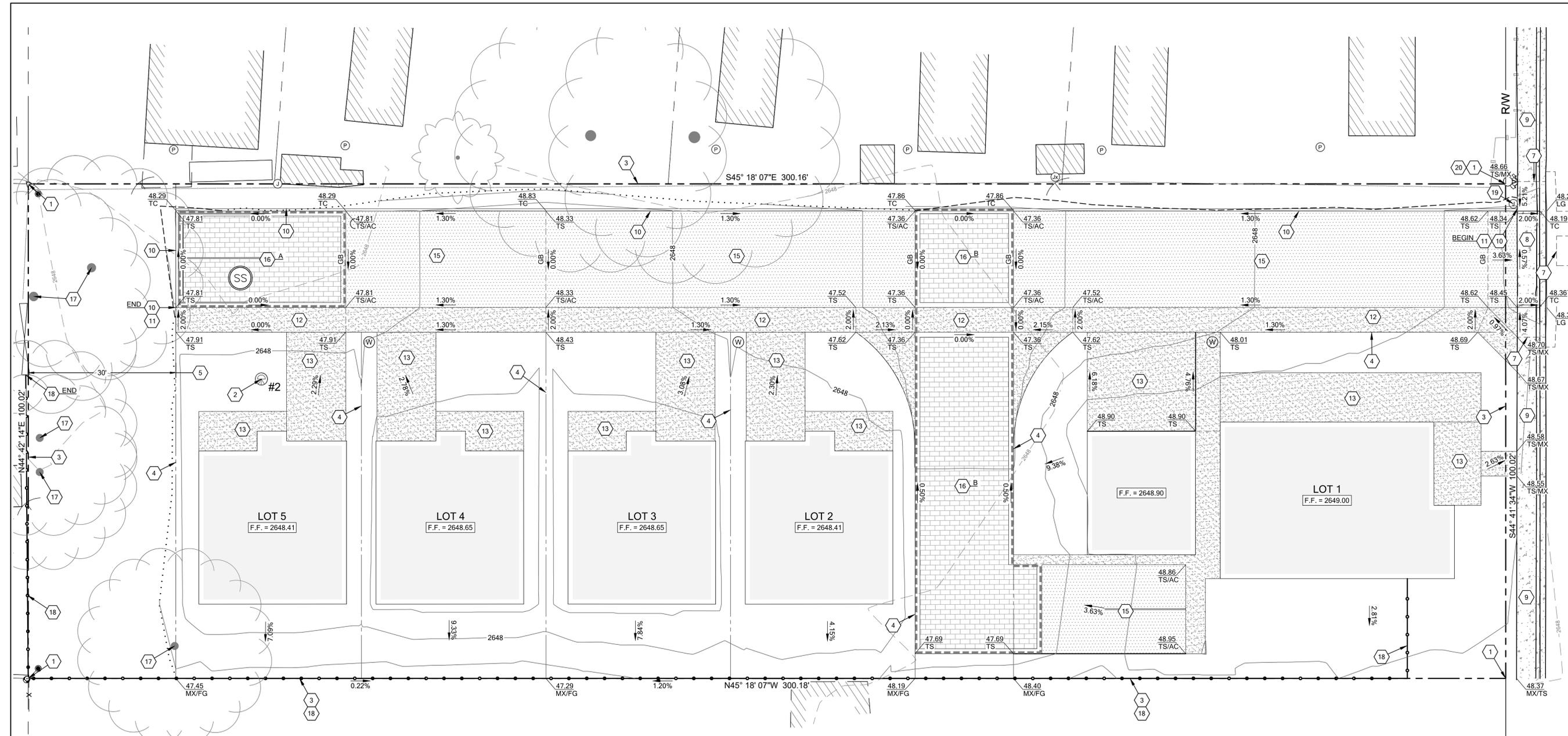
PROJECT #: 19004  
DATE: 10-16-19  
DRAWN BY: ABR

SHEET TITLE:  
**PRELIMINARY GRADING PLAN**

SHEET NO.:



REVIEW SET - NOT FOR CONSTRUCTION - 10/31/19



**1 PRELIMINARY GRADING PLAN**  
SCALE: 1" = 10'

**LEGEND:**

AC	ASPHALT	IE	INVERT ELEV.
BW	BOTTOM OF WALL	LG	LIP OF GUTTER
CR	CROWN	LP	LOW POINT
EX	EXISTING	MX	MATCH EXISTING
FF	FINISHED FLOOR	RIM	RIM ELEVATION
FG	FINISHED GRADE	TC	TOP OF CURB
FL	FLOW LINE	TS	TOP OF SLAB
GB	GRADE BREAK	TW	TOP OF WALL
HP	HIGH POINT		

PROPERTY LINE	---
EXISTING CONTOUR (1.0' INTERVALS)	--- 2525 ---
PROPOSED CONTOUR (0.5' INTERVALS)	— 2525 —
GRADE BREAK	--- GB ---
EXIST. CONCRETE	[Pattern]
PROP. CONCRETE	[Pattern]
PROP. ASPHALT	[Pattern]
PROP. PAVERS	[Pattern]
PAVER BASE AREA	--- ---

- KEYNOTES:**
- 1 EXISTING SURVEY MONUMENTS TO BE RETAINED AND PROTECTED. CONTRACTOR SHALL HAVE A LICENSED SURVEYOR LOCATE AND MARK ALL EXISTING MONUMENTS PRIOR TO CONSTRUCTION. ANY MONUMENT DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
  - 2 BENCHMARKS:  
2: MAG SPIKE - ELEV. 2647.74  
3: MAG SPIKE - ELEV. 2648.66 (SOUTH OF 43RD ST. - NOT SHOWN ON THIS SHEET)
  - 3 PROPERTY LINE.
  - 4 PROPOSED PARCEL PROPERTY LINES.
  - 5 EXISTING SEWER EASEMENT.
  - 6 NOT USED.
  - 7 SAWCUT LINE.
  - 8 REMOVE EXISTING DRIVEWAY. REPLACE WITH CONCRETE DRIVEWAY WITH RAMPED SIDEWALK PER ACHD SD-710B.
  - 9 EXISTING SIDEWALK. RETAIN AND PROTECT.
  - 10 PROPOSED 6" VERTICAL CURB. SEE DETAIL 1 ON SHEET C1.1.
  - 11 TRANSITION VERTICAL CURB TO FLUSH OVER 2' AT ENDS OF CURB.
  - 12 PROPOSED 5' FLUSH SIDEWALK. SEE DETAIL 3 ON SHEET C1.1.
  - 13 PROPOSED RESIDENCE CONCRETE DRIVEWAY/PATIO BY OTHERS.
  - 14 NOT USED.
  - 15 PROPOSED ASPHALT PAVEMENT. SEE DETAIL 2 ON SHEET C1.1.
  - 16 PROPOSED PERMEABLE PAVERS. SEE DETAIL 4 ON SHEET C1.1.
  - 17 RETAIN AND PROTECT EXISTING TREES.
  - 18 PROPOSED FENCE. SEE ARCH. PLANS.
  - 19 PROPOSED TELEPHONE POLE. RETAIN AND PROTECT.
  - 20 PROPOSED FIRE HYDRANT. RETAIN AND PROTECT.

**GENERAL NOTES:**

- COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS FOR PROTECTION FROM EROSION BY STORM WATER IS REQUIRED FOR THIS PROJECT. A RESPONSIBLE PARTY (RP) SHALL BE RESPONSIBLE TO COMPLY WITH THE EPA REQUIREMENTS. IF THE OWNER HAS NOT DESIGNATED A RP, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE A RP. THE RP IS REQUIRED TO PREPARE, FILE AND COMPLY WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THIS PROJECT. THE RP IS RESPONSIBLE TO FILE A NOTICE OF INTENT (NOI) TO CONSTRUCT WITH EPA. EPA MUST OFFICIALLY ACCEPT THE NOI PRIOR TO BEGINNING ANY SITE DISTURBANCE ACTIVITIES. THE SWPPP IS A DOCUMENT/PLAN THAT IS REQUIRED TO BE UPDATED AND AMENDED TO BEST FIT THE SITE AS CONSTRUCTION OCCURS. THE RP IS RESPONSIBLE TO KEEP THE PLAN CURRENT. AT COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND AFTER THE PROJECT SITE IS STABILIZED FOR EROSION CONTROL, THE RP IS REQUIRED TO PREPARE AND SUBMIT A NOTICE OF TERMINATION OF THE SWPPP WITH EPA.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR UTILITIES CONNECTIONS AND ACHD ROW PERMIT FEES.
- ALL CONSTRUCTION MATERIALS, APPURTENANCES AND TESTING SHALL COMPLY WITH THE REQUIREMENTS OF THE 2017 EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), UNLESS SPECIFICALLY MODIFIED BY THESE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR, ALL APPLICABLE SUB-CONTRACTORS, DEVELOPER/OWNER, UTILITY COMPANY REPRESENTATIVES, A GARDEN CITY DEPARTMENT OF PUBLIC WORKS REPRESENTATIVE AND AN ADA COUNTY HIGHWAY DISTRICT REPRESENTATIVE SHALL ATTEND A PRE-CONSTRUCTION CONFERENCE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN A CONSTRUCTION PERMIT FROM THE ADA COUNTY HIGHWAY DISTRICT AT LEAST 24 HOURS PRIOR TO COMMENCING CONSTRUCTION OF ANY OF THE IMPROVEMENTS SHOWN HEREON LOCATED WITHIN PUBLIC RIGHT-OF-WAY. CONSTRUCTION INSPECTION SHALL BE PERFORMED BY THE PROJECT ENGINEER, THE ADA COUNTY HIGHWAY DISTRICT AND/OR THE GARDEN CITY DEPARTMENT OF PUBLIC WORKS. INSPECTION BY THE GARDEN CITY DEPARTMENT OF PUBLIC WORKS WILL BE FOR DEPARTMENT PURPOSES ONLY TO SPOT CHECK WORK COMPLIANCE WITH THE CITY'S REQUIREMENTS. IT IS THE PROJECT ENGINEER'S RESPONSIBILITY TO ASSURE COMPLIANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING WORK. ANY DEVIATIONS, OMISSIONS OR ERRORS SHALL BE PRESENTED TO THE PROJECT ENGINEER FOR RESOLUTION. ANY CHANGES TO THE PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO AND APPROVED BY THE GARDEN CITY DEPARTMENT OF PUBLIC WORKS PRIOR TO IMPLEMENTATION OF THE CHANGE. SAID CHANGE MAY ALSO NEED TO BE SUBMITTED TO THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY FOR APPROVAL.
- THE CONTRACTOR SHALL CONTACT DIGLINE (811) AND OTHER APPROPRIATE UTILITY PROVIDERS FOR UTILITY LOCATIONS AT LEAST 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION.
- ANY WATERS CREATED BY DEWATERING SHALL NOT BE PERMITTED TO DIRECTLY DISCHARGE TO ANY EXISTING SURFACE WATER FACILITY. PRIOR TO DISCHARGING TO WATERS OF THE STATE OF IDAHO, THE CONTRACTOR SHALL SECURE A SHORT-TERM ACTIVITY EXEMPTION FROM THE APPLICABLE REGIONAL OFFICE OF THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY.
- HORIZONTAL AND VERTICAL SEPARATION OF POTABLE AND NON-POTABLE PIPELINES SHALL MEET THE REQUIREMENTS OF ISPCW SECTION 405 AND ISPCW DRAWING NO. 407.

**SANITARY SEWER NOTES**

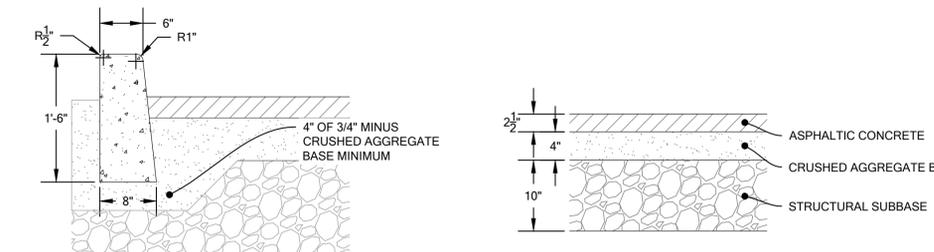
- ALL SEWER PIPE AND FITTINGS WITH COVER GREATER THAN 3 FEET, SHALL BE POLYVINYL CHLORIDE (PVC) CONFORMING TO THE REQUIREMENTS OF ASTM D-3034, SDR-35 FOR SIZES 4-INCH THROUGH 15-INCH; ASTM F-679, SDR-35, T-1 WALL FOR SIZES 18-INCH THROUGH 27-INCH; OR ASTM F-794, T-46 FOR SIZES 18-INCH THROUGH 36-INCH. THE MINIMUM COVER FOR ALL PVC SEWER LINES SHALL BE 3 FEET. SEWER PIPE AND FITTINGS WITH COVER LESS THAN 3 FEET SHALL BE DUCTILE IRON (DI) CONFORMING TO ANSI A-21.51 OR AWWA C-151, MINIMUM CLASS 50.
- SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE PER THE ISPCW WITH A MAXIMUM OF 12 INCHES OF CONCRETE GRADE RINGS, A 24-INCH DIAMETER CAST IRON RING AND COVER AND A CONCRETE COLLAR PER ISPCW DRAWINGS SD-501, SD-505, SD-507, SD-508, SD-509. MANHOLES SHALL NOT HAVE STEPS. THE SEWER CONTRACTOR SHALL FIELD VERIFY THAT NO MORE THAN 12-INCHES OF GRADE RINGS ARE NECESSARY TO ADJUST THE MANHOLE TO FINAL GRADE. GRADE RINGS, RING AND COVERS SHALL BE PROVIDED BY THE SEWER CONTRACTOR. MANHOLE CONES SHALL BE ECCENTRIC FOR ALL MANHOLES 4 FEET AND DEEPER. THE VERTICAL WALL OF THE CONE SHALL BE PLACED UPSTREAM AND ROTATED 45°. CONCENTRIC CONES SHALL BE USED FOR MANHOLES LESS THAN 4 FEET DEEP.
- MANUFACTURED COMPRESSION BOOTS SHALL BE USED IN MANHOLES WHERE PIPELINES ENTER AND LEAVE THE MANHOLE.
- SEWER SERVICE LINES SHALL BE ISPCW TYPE "A" OR "B" AND CONSTRUCTED AND MARKED PER ISPCW DRAWING SD-511A. SERVICES SHALL NOT BE DEEPER THAN 5 FEET AT THE PROPERTY LINE, UNLESS SPECIFICALLY APPROVED BY THE CITY. SERVICES SHALL EXTEND HORIZONTALLY 10 FEET BEYOND THE PROPERTY LINE. SERVICE LINES SHALL INCLUDE AN INSPECTION CLEANOUT PLACED DIRECTLY ADJACENT TO AND INSIDE PUBLIC STREET RIGHT-OF-WAY OR THE SEWER EASEMENT LINE. THE CLEANOUT SHALL CONFORM TO SD-506A & SD-506B (BOLT DOWN COVER OPTION) WITH THE RISER BEING THE SAME SIZE AS THE SERVICE LINE.
- SERVICE LINE CONNECTIONS TO NEW MAINLINES SHALL USE A FULL SERVICE TEE. SERVICE LINE CONNECTIONS TO EXISTING MAINLINES THAT ARE CONCRETE OR A CONCRETE DERIVATIVE SHALL USE A TAPPING SADDLE. SERVICE CONNECTIONS TO EXISTING MAINLINES THAT ARE NOT CONCRETE OR A CONCRETE DERIVATIVE SHALL USE AN INSERTA-TEE OR A PRIOR APPROVED EQUAL.
- ALL SEWER MAINS AND SERVICES SHALL BE BEDDED PER THE REQUIREMENTS OF TYPE I BEDDING, EXCEPT THAT BEDDING MATERIAL SHALL BE SELECT 3/4-INCH MAXIMUM CRUSHED GRAVEL CHIPS. ALL BEDDING SHALL BE THOROUGHLY SHOVEL-SLICED UNDER THE PIPE.
- GROUNDWATER LEVELS SHALL BE MAINTAINED BELOW THE TRENCH BOTTOM AT ALL TIMES DURING CONSTRUCTION. GROUNDWATER SHALL NOT BE PERMITTED TO ENTER THE PIPELINE SYSTEM DURING CONSTRUCTION, AS SOON AS POSSIBLE THE CONTRACTOR SHALL INSTALL A REMOVABLE WATERTIGHT PLUG IN THE NEW PIPELINE AT THE POINT OF CONNECTION TO THE EXISTING SEWER SYSTEM.
- SEWERS SHALL BE CLEANED AND TESTED AFTER ALL UTILITIES ARE INSTALLED AND PRIOR TO PAVING. MATERIAL CLEANED FROM THE CONSTRUCTION SHALL NOT BE PERMITTED TO DISCHARGE TO THE DOWNSTREAM RECEIVING PIPELINE. ALL INSTALLED SEWER PIPES SHALL BE TESTED IN ACCORDANCE WITH DIVISION 500 OF THE ISPCW. A REPRESENTATIVE OF THE CITY MUST BE PRESENT MUST OBSERVE THE TESTING. MAINLINE PIPELINE TESTING SHALL INCLUDE AIR PRESSURE, DEFLECTION AND CLOSED CIRCUIT TELEVISION (CCTV) VISUAL INSPECTION. SERVICE LINE TESTING SHALL INCLUDE AIR PRESSURE AND CLOSED CIRCUIT TELEVISION (CCTV). THE CCTV REPORT SHALL BE IN THE FORM OF A VHS VIDEOTAPE OR DVD AND A WRITTEN LOG. MANHOLES SHALL BE VACUUM OR HYDROSTATICALLY TESTED FOR LEAKAGE. THE SEWER SYSTEM SHALL NOT ACCEPT ANY FLOWS UNTIL THE CITY ISSUES AN INITIAL ACCEPTANCE OF THE SYSTEM.
- THE CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF AT LEAST A ONE-YEAR FOLLOWING THE CITY'S INITIAL ACCEPTANCE.

**WATERLINE NOTES**

- ALL WATER MAINS SHALL BE POLYVINYL CHLORIDE (PVC) CONFORMING TO THE REQUIREMENTS OF AWWA C-900, CLASS 235, DR-18. ALL FITTINGS SHALL BE MECHANICAL JOINT OR FLANGED DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF AWWA C-110. ALL PLASTIC PIPE SHALL BE INSTALLED WITH A #12 DIRECT BURIAL TRACER WIRE PLACED ALONG THE NORTH AND EAST SIDE OF THE MAIN. THE TRACER WIRE WILL NOT BE EXTENDED UP IN TO OR ALONG VALVE BOXES, BUT SHALL CONTINUE ALONG THE MAINLINE, UNINTERRUPTED. MINIMUM BURIAL DEPTHS FOR WATER MAINS SHALL BE 4 FEET FROM FINISH GRADE TO THE TOP OF THE PIPE.
- INDIVIDUAL OR DUAL WATER SERVICE CONNECTIONS 1-INCH OR SMALLER SHALL BE POLYETHYLENE PIPE CONFORMING TO AWWA C-901, CLASS 200, DR-7.3. SERVICES SHALL BE CONSTRUCTED CONFORMING TO THE GARDEN CITY STANDARD DRAWING. SERVICE PIPELINES SHALL BE A MINIMUM 1-INCH, UNLESS OTHERWISE NOTED.
- INDIVIDUAL WATER SERVICE CONNECTIONS LARGER THAN 1-INCH SHALL BE POLYETHYLENE PIPE CONFORMING TO AWWA C-901, CLASS 200, DR-7.3. SERVICES SHALL BE CONSTRUCTED CONFORMING TO THE ISPCW SD-402. SERVICE PIPELINES SHALL BE A MINIMUM 2-INCH, UNLESS OTHERWISE NOTED.
- WATER VALVES SHALL BE RESILIENT-SEAT GATE VALVES CONFORMING TO AWWA C-509 OR AWWA C-515. ALL WATER VALVES SHALL BE INSTALLED WITH A STANDARD 5-1/4 INCH DIAMETER, TWO PIECE ADJUSTABLE CAST IRON VALVE BOX, TYLER/UNION SERIES 6855, OR EQUAL. THE CAST IRON COVER SHALL BE MARKED WITH THE WORD "WATER" AS AN INTEGRAL PART OF THE COVER.
- FIRE HYDRANTS SHALL CONFORM TO AWWA C-502 AND ISPCW DRAWING SD-404. THE PUMPER NOZZLE OUTLET SHALL BE EQUIPPED WITH A "STORZ" ADAPTER.
- ALL WATER MAINS AND SERVICES SHALL BE BEDDED PER THE REQUIREMENTS OF TYPE I BEDDING, EXCEPT THAT BEDDING MATERIAL SHALL BE SELECT 3/4-INCH MAXIMUM CRUSHED GRAVEL CHIPS FOR WATER MAINS AND 3/8-INCH MAXIMUM CRUSHED GRAVEL CHIPS FOR SERVICE LINES. ALL BEDDING SHALL BE THOROUGHLY SHOVEL-SLICED UNDER THE PIPE.
- ALL INSTALLED WATER LINES SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH SECTION 401.3.6 OF THE ISPCW FOLLOWING INSTALLATION OF ALL UTILITIES AND PRIOR TO PAVING. EACH METER SETTER SHALL BE OPENED TO BE SURE THAT THE SERVICE CORPORATION STOP IS OPEN AND THE SERVICE IS FUNCTIONAL PRIOR TO PAVING. A REPRESENTATIVE OF THE CITY MUST BE PRESENT MUST OBSERVE THE TESTING. ALL INSTALLED WATER LINES SHALL BE FLUSHED, DISINFECTED AND TESTED FOR BACTERIA IN ACCORDANCE WITH SECTION 401.3.9 OF THE ISPCW. THE WATER SYSTEM SHALL NOT BE OPENED TO THE CITY SYSTEM UNTIL THE CITY ISSUES AN INITIAL ACCEPTANCE OF THE SYSTEM.
- THE CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF AT LEAST A ONE-YEAR FOLLOWING THE CITY'S INITIAL ACCEPTANCE.

**DRAINAGE NOTES**

- ALL INSPECTIONS SHALL REQUIRE A 24-HOUR NOTICE PRIOR TO THE REQUESTED INSPECTION TIME. CALL THE INSPECTION HOT LINE AT 208-472-2920.
- PRIOR TO ANY EARTHWORK A 24-HOUR NOTICE TO BEGIN CONSTRUCTION IS REQUIRED. CALL INSPECTION HOT LINE AT 208-472-2920.
- DRAINAGE INSPECTIONS SHALL BE CONDUCTED AT ANY GIVEN TIME OR UPON REQUEST, DURING CONSTRUCTION, VERIFYING COMPLIANCE WITH THE CITY REQUIREMENTS AND CONSTRUCTION ACTIVITIES ARE FOLLOWED AS PER THE APPROVED PLANS.
- ALL DRAINAGE CONSTRUCTION OBSERVATIONS MUST BE PERFORMED BY THE APPLICANT'S DESIGN ENGINEER.
  - SUBMIT TO THE GARDEN CITY ENVIRONMENTAL DIVISION THE FOLLOWING DOCUMENTATION PRIOR SIGNATURE OF THE CITY ON A FINAL SUBDIVISION PLAT OR PRIOR TO THE FINAL INSPECTION FOR A CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST:
    - THE DESIGN ENGINEER'S DRAINAGE CONSTRUCTION OBSERVATION REPORTS.
    - A SIGNED, WRITTEN STATEMENT FROM THE DESIGN ENGINEER THAT ALL DRAINAGE STRUCTURES AND APPURTENANCES WERE CONSTRUCTED IN ACCORDANCE TO THE APPROVED PLANS.
  - THE DRAINAGE SYSTEM AND ANY FILTER FABRIC SHALL NOT BE COVERED PRIOR TO INSPECTION. CALL THE INSPECTION HOT LINE AT 208-472-2920.
  - THE SIZE AND LOCATION OF THE DRAINAGE SYSTEM SHALL CORRESPOND WITH THE APPROVED DRAINAGE SYSTEM PLAN AND SHALL BE INSPECTED.
  - FINAL INSPECTION OF THE STORM DRAINAGE SYSTEM SHALL BE CONDUCTED FOLLOWING THE PAVING AND FINAL LANDSCAPING.
  - ALL DRAINAGE CONVEYANCE ACCESS POINTS SHALL BE STENCILED OR MARKED WITH IDENTIFYING STATEMENT FOR THE PUBLIC "DO NOT DUMP - SYSTEM DRAINS TO GROUNDWATER" OR "RIVER", WHICHEVER IS RELEVANT TO THE SYSTEM DISPOSAL DESIGN.
  - TRAFFIC RATED MANHOLE LIDS SHALL BE USED.
  - ALL PARKING LOT GRADES SHALL BE AT LEAST 1% FOR ASPHALTIC-CONCRETE AND 0.4% FOR CONCRETE.

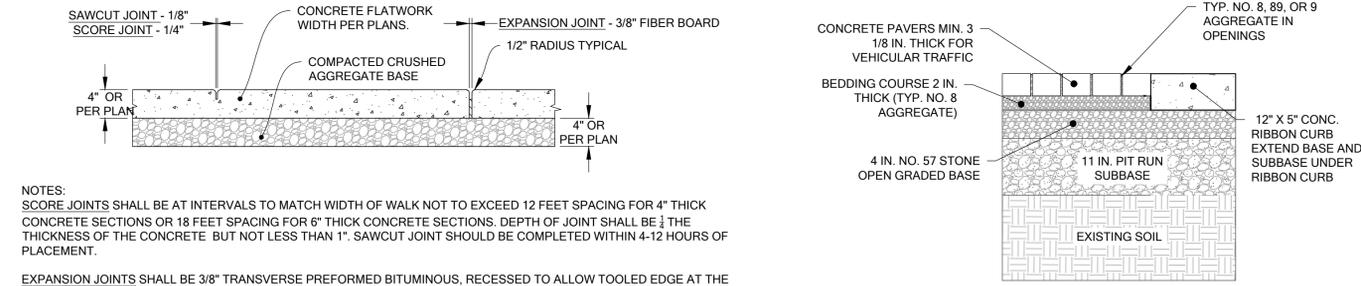


**1 6" VERTICAL CURB**

SCALE: NTS

**2 ASPHALT SECTION**

SCALE: NTS



**3 CONCRETE SIDEWALK**

SCALE: NTS

**4 PAVER SECTION**

SCALE: NTS

**BASIN "A" DRAINAGE CALCULATIONS**

IMPERVIOUS CONTRIBUTING AREA			
HOUSE ROOFS =	1954 SF	C=0.95	
CONCRETE DRIVEWAYS AND SIDEWALK =	1141 SF	C=0.95	
ASPHALT STREET AND PARKING =	846 SF	C=0.95	
<b>TOTAL AREA =</b>	<b>3941 SF</b>	<b>C=0.95</b>	

**50-YEAR STORM VOLUMES**

50 YR - 1 HOUR VSTORM = (CONTRIBUTING AREA * C) * (1"/12 INCHES/FT)	
<b>50 YR - 1 HOUR VSTORM =</b>	<b>312 CF</b>
<b>MAXIMUM DRAINAGE TIME =</b>	<b>48 HOURS</b>
MIN. REQ. PAVER AREA	657 SF
DESIGN PAVER AREA	663 SF
RUN-ON RATIO (6:1 MAX.) = IMPERVIOUS AREA / PAVER AREA	
RUN-ON RATIO (6:1 MAX.)	5.9:1
BASE COURSE DEPTH	0.33 FT 40% VOIDS
SUBBASE COURSE DEPTH	0.92 FT 40% VOIDS
<b>VOLUME PROVIDED</b>	<b>332 CF &gt; REQUIRED</b>

INFILTRATION RATE = 8 IN/HR OR 0.67 FT/HR  
 TOTAL BASIN DRAIN TIME = VSTORM / (PAVER AREA \* INFILTRATION RATE)  
**TOTAL BASIN DRAIN TIME = 1 HR < REQUIRED, OK**

**5 STORM CALCULATIONS**

SCALE: NTS

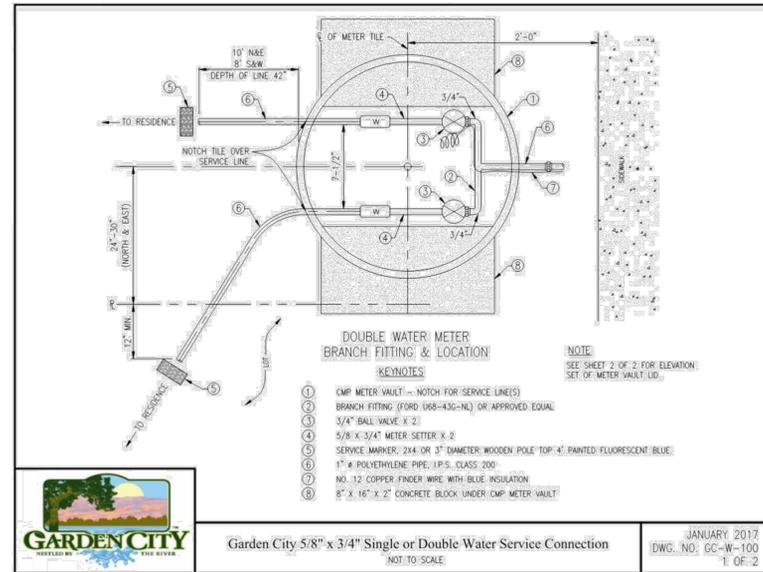
**BASIN "B" DRAINAGE CALCULATIONS**

IMPERVIOUS CONTRIBUTING AREA			
HOUSE ROOFS =	3944 SF	C=0.95	
CONCRETE DRIVEWAYS AND SIDEWALK =	3407 SF	C=0.95	
ASPHALT STREET AND PARKING =	4073 SF	C=0.95	
<b>TOTAL AREA =</b>	<b>11424 SF</b>	<b>C=0.95</b>	

**50-YEAR STORM VOLUMES**

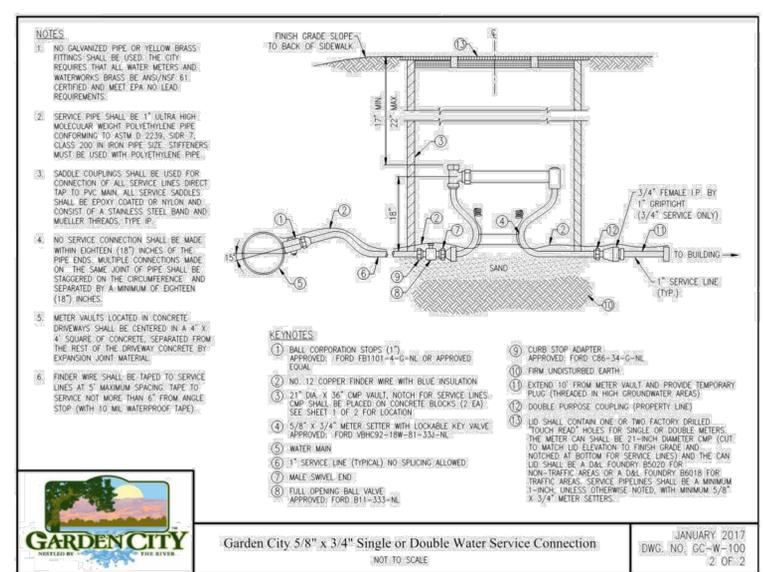
50 YR - 1 HOUR VSTORM = (CONTRIBUTING AREA * C) * (1"/12 INCHES/FT)	
<b>50 YR - 1 HOUR VSTORM =</b>	<b>904 CF</b>
<b>MAXIMUM DRAINAGE TIME =</b>	<b>48 HOURS</b>
MIN. REQ. PAVER AREA	1904 SF
DESIGN PAVER AREA	1904 SF
RUN-ON RATIO (6:1 MAX.) = IMPERVIOUS AREA / PAVER AREA	
RUN-ON RATIO (6:1 MAX.)	6.0:1
BASE COURSE DEPTH	0.33 FT 40% VOIDS
SUBBASE COURSE DEPTH	0.92 FT 40% VOIDS
<b>VOLUME PROVIDED</b>	<b>952 CF &gt; REQUIRED</b>

INFILTRATION RATE = 8 IN/HR OR 0.67 FT/HR  
 TOTAL BASIN DRAIN TIME = VSTORM / (PAVER AREA \* INFILTRATION RATE)  
**TOTAL BASIN DRAIN TIME = 1 HR < REQUIRED, OK**



**6 GARDEN CITY WATER SERVICE CONNECTION DETAILS**

SCALE: NTS



**Garden City 5/8" x 3/4" Single or Double Water Service Connection**

SCALE: NTS

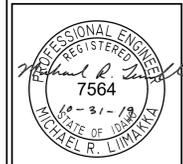


Garden City 5/8" x 3/4" Single or Double Water Service Connection  
 DWG. NO. GC-W-100  
 1 OF 2



Garden City 5/8" x 3/4" Single or Double Water Service Connection  
 DWG. NO. GC-W-100  
 2 OF 2

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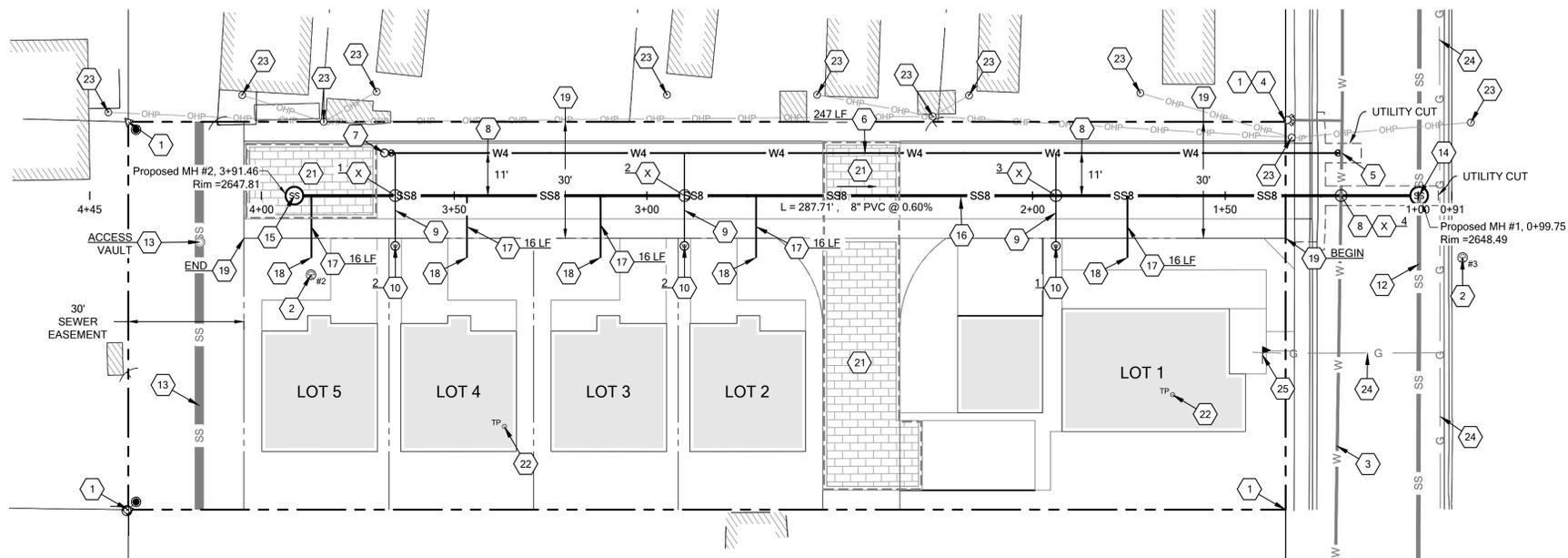
REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT #: 19004  
 DATE: 10-16-19  
 DRAWN BY: ABR

SHEET TITLE:  
**NOTES & DETAILS**

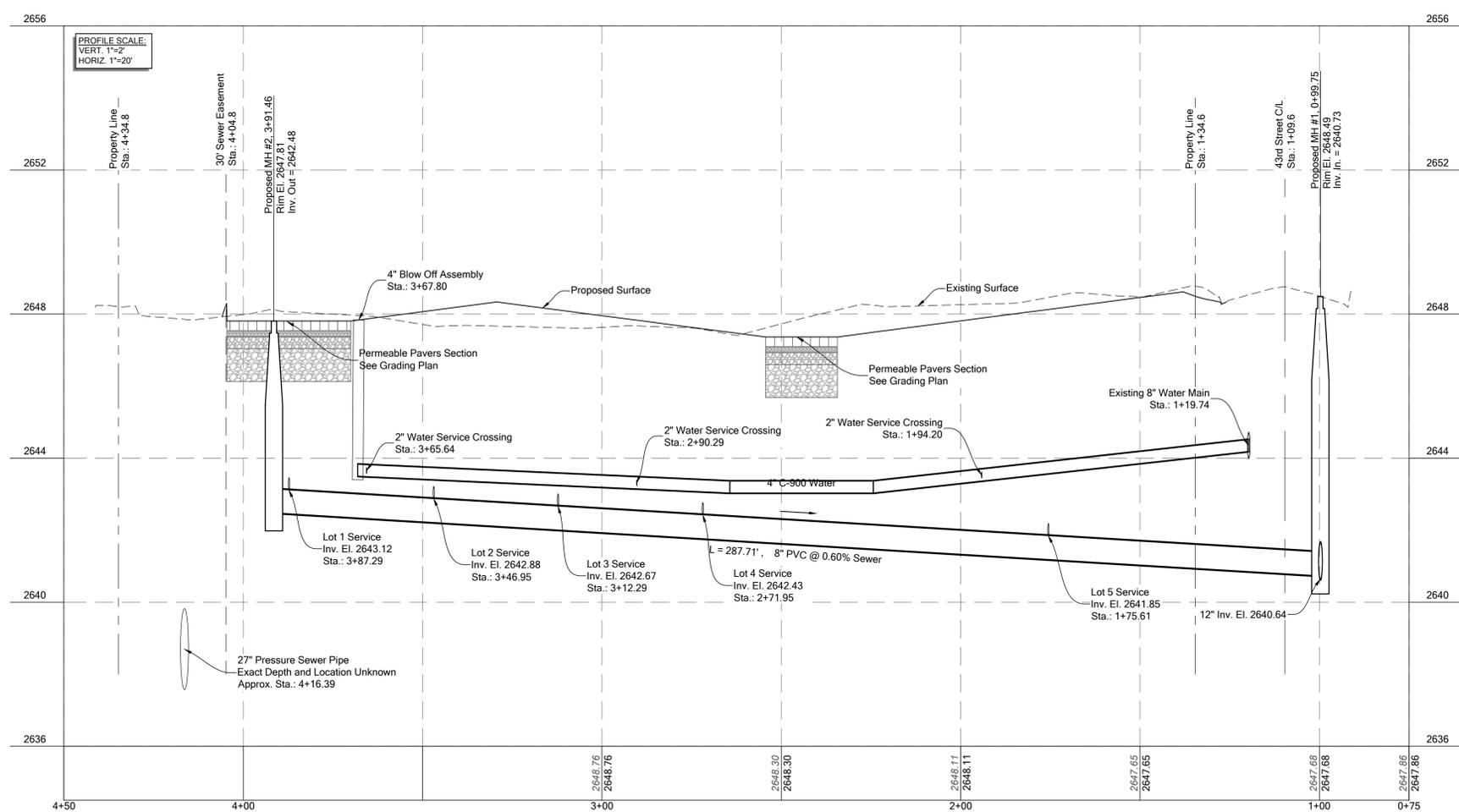
SHEET NO.:





**1 PRELIMINARY UTILITIES PLAN**

SCALE: 1" = 20'



**2 SEWER PROFILE**

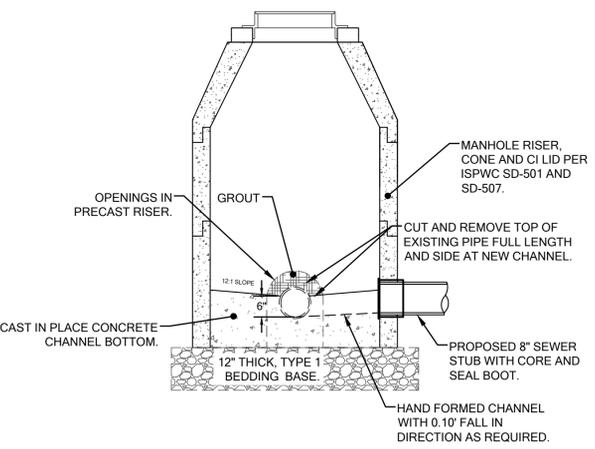
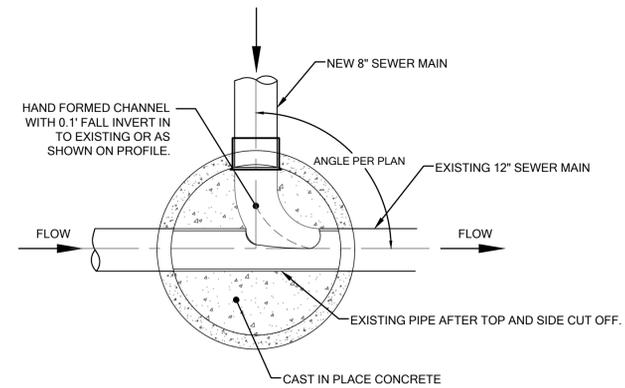
SCALE: 1" = 20'

**KEYNOTES:**

- 1 EXISTING SURVEY MONUMENTS TO BE RETAINED AND PROTECTED. CONTRACTOR SHALL HAVE A LICENSED SURVEYOR LOCATE AND MARK ALL EXISTING MONUMENTS PRIOR TO CONSTRUCTION. ANY MONUMENT DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- 2 BENCHMARKS:  
2: MAG SPIKE - ELEV. 2647.74  
3: MAG SPIKE - ELEV. 2648.66
- 3 EXISTING 8" WATER MAIN.
- 4 EXISTING FIRE HYDRANT. RETAIN AND PROTECT.
- 5 INSTALL 8"x 4" TAPPING SLEEVE AND 4" GATE VALVE (FLxFL, w/ FLxMJ ADAPTOR), WITH THRUST BLOCK
- 6 INSTALL 4" C900-CL 235 PSI DR18 WATER PIPE.
- 7 INSTALL 4" BLOW-OFF ASSEMBLY PER ISPPWC SD-408 AND 4" GATE VALVE (MJxMJ).
- 8 POTABLE/NON-POTABLE WATER CROSSINGS AND SEPARATIONS PER ISPPWC SD-407.
- 9 INSTALL 1" ASTM D 2239, SDR 7, CL 200 PE WATER SERVICE PIPE.
- 10 INSTALL SINGLE (1) OR DOUBLE (2) WATER SERVICE CONNECTION PER GARDEN CITY GC-W-100.
- 11 NOT USED.
- 12 EXISTING 12" SEWER MAIN.
- 13 EXISTING 27" PRESSURE SEWER MAIN.
- 14 INSTALL "DOG HOUSE" STYLE MANHOLE WHERE NEW 8" MAIN MEETS EXISTING 12" MAIN. SEE DETAIL 3 THIS SHEET.
- 15 INSTALL STANDARD MANHOLE TYPE A PER ISPPWC SD-501.
- 16 INSTALL 8" ASTM 3034, SDR 35 PVC SEWER PIPING. FITTINGS AS REQUIRED.
- 17 INSTALL 4" ASTM 3034, SDR 35 PVC SEWER SERVICE PER ISPPWC SD-511A. FITTINGS AS REQUIRED.
- 18 INSTALL SEWER SERVICE MARKER PER ISPPWC SD-512.
- 19 PROPOSED WATER AND SEWER EASEMENT.
- 20 NOT USED.
- 21 PERMEABLE PAVERS FOR STORMWATER TREATMENT. SEE GRADING AND DRAINAGE PLAN.
- 22 LOCATION OF EXISTING MONITORING WELLS. EXCAVATE AND RECOMPACT MONITORING WELLS UNDER PROPOSED PAVED AREAS OR BUILDINGS.
- 23 EXISTING POWER POLES. RETAIN AND PROTECT.
- 24 EXISTING GAS PIPING. RETAIN AND PROTECT.
- 25 EXISTING GAS SERVICE MARKER.
- X UTILITY CROSSING.

**UNDERGROUND CROSSINGS**

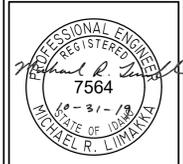
- 1 2" WATER SERVICE I.E.: =43.57  
8" SEWER MAIN TOP: 43.01
- 2 2" WATER SERVICE I.E.: =43.23  
8" SEWER MAIN TOP: 42.56
- 3 2" WATER SERVICE I.E.: =43.44  
8" SEWER MAIN TOP: 41.99
- 4 8" WATER MAIN I.E.: =44.02  
8" SEWER MAIN TOP: 41.54



**3 PROPOSED "DOG HOUSE" MANHOLE**

SCALE: NTS

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REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT #: 19004  
DATE: 10-16-19  
DRAWN BY: ABR

SHEET TITLE:  
**PRELIMINARY UTILITIES PLAN**

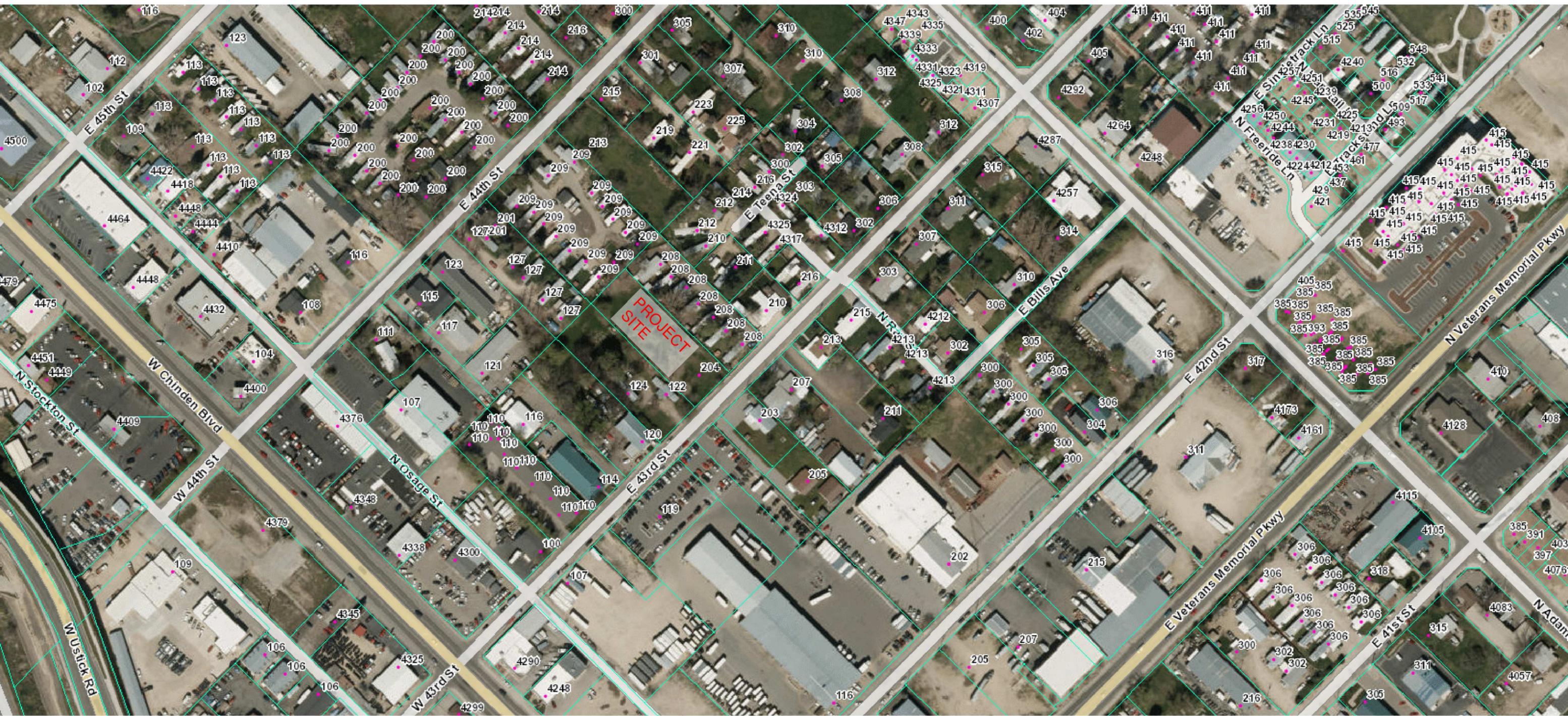
SHEET NO.:  
**C2.0**

REVIEW SET - NOT FOR CONSTRUCTION - 10/31/19



PROJECT  
SITE

Neighborhood Map



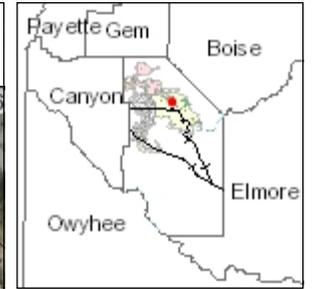
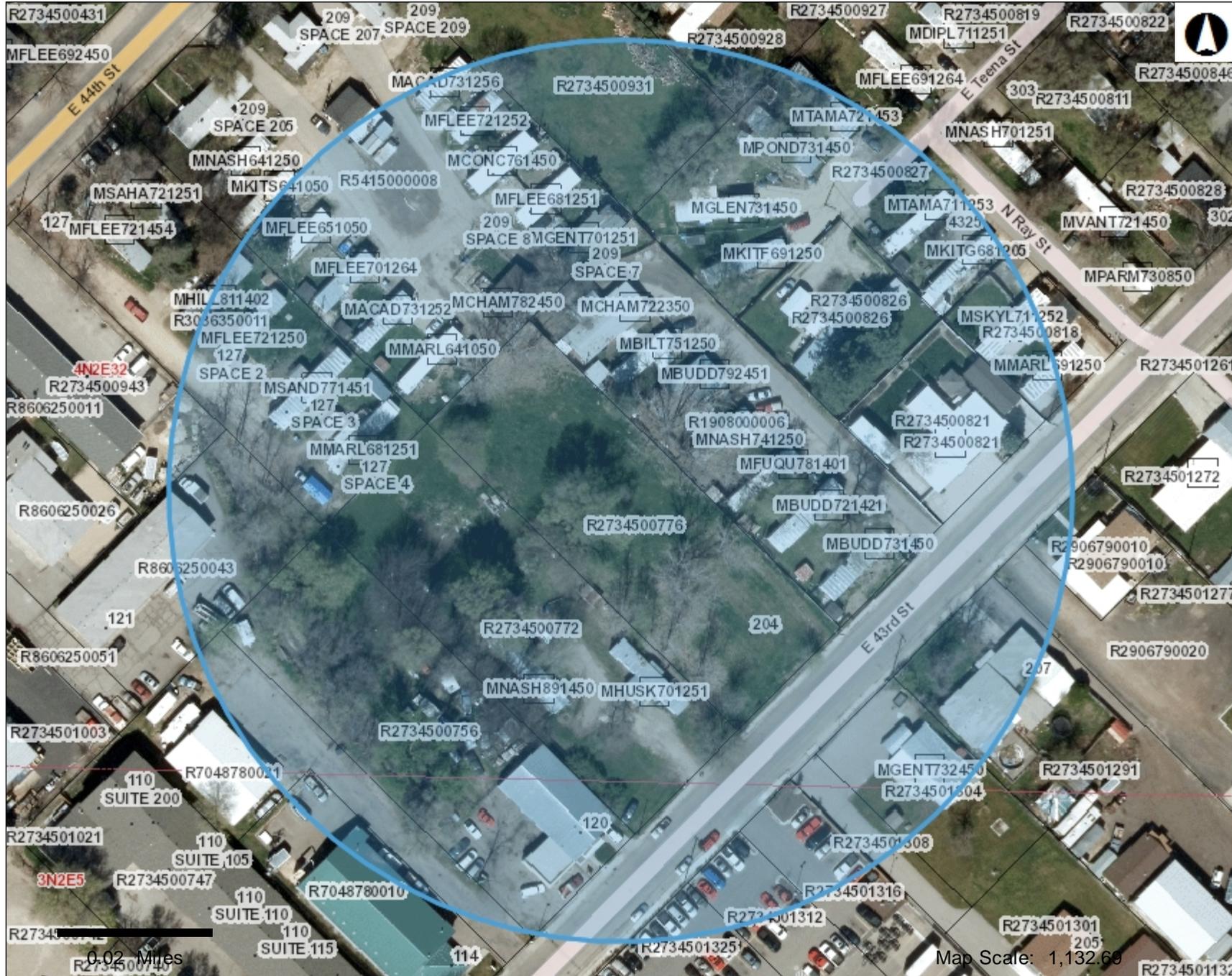
VICINITY MAP  
204 E. 43RD ST.

PARCEL	PRIMOWNER	ADDCONCAT	STATCONCAT
R1908000006	TRIPLE B PROPERTIES LTD	3972 ADAMS ST	BOISE, ID 83714-0000
R2734500821	WILLOUGHBY RHONDA A	210 E 43RD ST	GARDEN CITY, ID 83714-0000
R2734500826	WHEATON CLIFFORD M	211 E TEENA ST	GARDEN CITY, ID 83714-0000
MACAD731256	OLES DAVID	207 E 44TH ST SPC 11	BOISE, ID 83714-0000
MFLEE681251	TRIPLE B PROPERTIES LTD	3972 ADAMS ST	BOISE, ID 83714-0000
R2734500821	WILLOUGHBY RHONDA A	210 E 43RD ST	GARDEN CITY, ID 83714-0000
MKITS641050	YATES RICHARD LEE	207 E 44TH ST SPC 1	BOISE, ID 83714-0000
R2734500776	RUSSELL DANIEL C	1551 S COTTERELL WAY	BOISE, ID 83709-0000
R2734500818	TCB PROPERTIES #2 LLC	2645 S INGLENOOK AVE	MERIDIAN, ID 83642-0000
R2734501291	EIGUREN JOHN B REVOC LIVING TRUST 7/13/17	207 E 43RD ST	GARDEN CITY, ID 83714-0000
R2734501304	ANSER OF IDAHO INC	202 E 42ND ST	GARDEN CITY, ID 83714-6315
R2906790010	RODRIGUEZ RICARDO	213 E 43RD ST	GARDEN CITY, ID 83714-0000
R7048780021	PHELPS MATT	1989 N COURTNEY PL	BOISE, ID 83704-0000
MGENT701251	DUFF MELISSA RALYNN	207 E 44TH ST SPC 7	GARDEN CITY, ID 83714-0000
MHILL811402	KEENEY AMANDA JO	127 E 44TH ST SPC 1	GARDEN CITY, ID 83714-0000
MSKYL711252	BAISLEY TERRY AND CAROL LIVING TRUST	2645 S INGLEWOOD PL	MERIDIAN, ID 83642-0000
MACAD731252	TRIPLE B PROPERTIES LTD	3972 ADAMS ST	BOISE, ID 83714-0000
MBUDD721421	BIVIN ROBERT C	3972 N ADAMS ST	GARDEN CITY, ID 83714-0000
MCHAM722350	TRIPLE B PROPERTIES LTD	3972 ADAMS ST	BOISE, ID 83714-0000
MCHAM782450	BECKWITH GEORGE ALAN	207 E 44TH ST SPC 6	GARDEN CITY, ID 83714-0000
MGLEN731450	LUBACKY KENNON JAY	212 TEENA ST SPC 1	BOISE, ID 83714-0000
R2734500756	J D CHARLES LLC	616 W FRONT ST	BOISE, ID 83702-0000
R2734500772	J D CHARLES LLC	616 W FRONT ST	BOISE, ID 83702-0000
R2734500943	MARTINDALES RV INC	123 E 44TH ST	GARDEN CITY, ID 83714-0000
R2734501312	BT-OH LLC	55 GLENLAKE PKWY NE	ATLANTA, GA 30328-0000
R2734501316	BT-OH LLC	55 GLENLAKE PKWY NE	ATLANTA, GA 30328-0000
R2734501325	BT-OH LLC	55 GLENLAKE PKWY NE	ATLANTA, GA 30328-0000
R2906790020	MCGARVIN ROBERT H	4144 W HOUSELAND CT	EAGLE, ID 83616-0000
R3036350011	FANCY INVESTMENTS LLC	1036 S TEN MILE RD	KUNA, ID 83634-0000
R8606250043	HUMMERT PROPERTIES LLC	1425 E LEWIS ST	BOISE, ID 83712-0000
MCONC761450	BIVIN ROBERT C	3972 N ADAMS ST	GARDEN CITY, ID 83714-0000
MFLEE651050	MAGILL DELIA LYNN	207 E 44TH ST SPC 2	BOISE, ID 83714-0000
MGENT732450	STEPHENS DONALD EUGENE	203 E 43RD ST	GARDEN CITY, ID 83714-0000

MFUQU781401	BLUE STAR PROPERTIES LLC	3972 ADAMS ST	GARDEN CITY, ID 83714-0000
MKITF691250	BROWN TAYLOR LEE	210 TEENA ST	BOISE, ID 83714-0000
MMARL681251	UNTERREINER LAVONNE ANN	127 E 44TH ST SPC 4	GARDEN CITY, ID 83714-0000
MSAND771451	BAIN RAINA A	1036 S TEN MILE RD	KUNA, ID 83634-0000
MTAMA711253	BARNES FRED A MAE	4317 N RAY ST	GARDEN CITY, ID 83714-0000
R2734500826	WHEATON CLIFFORD M	211 E TEENA ST	GARDEN CITY, ID 83714-0000
MPOND731450	WARNER MARIA LOUISE	212 TEENA ST SPC 2	BOISE, ID 83714-0000
R2734500827	W GARDEN LLC	17220 S CLOVERDALE RD	KUNA, ID 83634-0000
R2734500928	NOKES KERRY H	219 E 44TH ST	GARDEN CITY, ID 83714-0000
R2734500931	HAY RESERVE LLC	599 N WHITEWATER PARK BLVD # F302	BOISE, ID 83702-0000
R2734501308	ANSER OF IDAHO INC	202 E 42ND ST	GARDEN CITY, ID 83714-6315
R5415000008	TRIPLE B PROPERTIES LTD	3972 ADAMS ST	BOISE, ID 83714-0000
R7048780010	PHELPS FAMILY REVOCABLE TRUST	1989 N COURTNEY PL	BOISE, ID 83704-6950
MBILT751250	TRIPLE B PROPERTIES LTD	3972 ADAMS ST	BOISE, ID 83714-0000
MBUDD731450	PINTOK JACKIE	208 E 43RD ST SPC 1	BOISE, ID 83714-0000
MBUDD792451	BLUE STAR PROPERTIES	3972 ADAMS ST	BOISE, ID 83714-0000
MFLEE721252	BLACK ARRON KRISTOPHER	207 E 44TH ST SPC 10	GARDEN CITY, ID 83714-0000
MFLEE701264	TRIPLE B PROPERTIES LTD	3972 ADAMS ST	BOISE, ID 83714-0000
MFLEE721250	WEHR KATRINA MARIE	1511 S WHIPOORWILL WAY	BOISE, ID 83709-0000
MMARL691250	BAISLEY TERRY AND CAROL LIVING TRUST	2645 S INGLEWOOD PL	MERIDIAN, ID 83642-0000
MKITG681205	MUCHOW JOSHUA KEITH	4317 W RAY ST	GARDEN CITY, ID 83714-0000
MMARL641050	HENDERSON KAYE LYN	207 E 44TH ST SPC 5	BOISE, ID 83714-0000
MNASH741250	SHEPHERD SCOTT T	208 E 43RD ST SPC 4	BOISE, ID 83714-0000
MTAMA721453	ANDERSON ENTERPRISES PARTNERSHIP	17220 S CLOVERDALE RD	KUNA, ID 83634-0000
MHUSK701251	JD CHARLES LLC	616 FRONT ST	BOISE, ID 83702-0000
MNASH891450	JD CHARLES LLC	616 FRONT ST	BOISE, ID 83702-0000

# Ada County Assessor

This map is a user generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION OR LEGAL PURPOSES.



### Legend

- + Railroad
- Roads (<2,000 scale)
  - <all other values>
  - Interstate
  - Ramp
  - Principal Arterial
  - Collector
  - Minor Arterial
  - Local
  - Parks
  - Alley
  - Driveway
- Parks
- Water
- Address
- Sections
- Parcel Numbers
  - condos
  - Parcels
  - CountyBoundary
- AdaOrthos2016
  - Red: Band\_1
  - Green: Band\_2
  - Blue: Band\_3





**TitleOne**  
a title & escrow co.

1101 W. River Street, Suite 201  
Boise, ID 83702  
Ph. (208)424-8511  
[www.titleonecorp.com](http://www.titleonecorp.com)

Daniel C. Russell and Rachel R. Russell  
1551 S Cotterell Way  
Boise, ID 83709

Date: 01/06/2019

Regarding: 204 E 43rd St, Garden City, ID 83714

Buyer/Borrower: Daniel C. Russell and Rachel R. Russell

File No.: 18322492

Greetings:

It's been our pleasure serving as your title and escrow company for your recent real estate transaction. Related to your transaction, please find attached the following:

Owners Policy  
Original Warranty Deed

Please feel free to contact us if you have any questions at the number listed above. We appreciate your business and look forward to assisting you with your next closing.

Best Regards,

Elesia Britt



**HOMEOWNER'S POLICY OF TITLE INSURANCE**  
**For a one-to-four family residence**  
**Issued By**  
**TITLE RESOURCES GUARANTY COMPANY**

**OWNER'S INFORMATION SHEET**

Your Title Insurance Policy is a legal contract between You and Us.

It applies only to a one-to-four family residence and only if each insured named in Schedule A is a Natural Person. If the Land described in Schedule A of the Policy is not an improved residential lot on which there is located a one-to-four family residence, or if each insured named in Schedule A is not a Natural Person, contact Us immediately.

The Policy insures You against actual loss resulting from certain Covered Risks. These Covered Risks are listed beginning on page 2 of the Policy. The Policy is limited by:

- Provisions of Schedule A
- Exceptions in Schedule B
- Our Duty To Defend Against Legal Actions On Page 4
- Exclusions on page 4 and 5
- Conditions on pages 5 through 7.

You should keep the Policy even if You transfer Your Title to the Land. It may protect against claims made against You by someone else after You transfer Your Title.

**IF YOU WANT TO MAKE A CLAIM, SEE SECTION 3 UNDER CONDITIONS ON PAGE 5 and 6.**

The premium for this Policy is paid once. No additional premium is owed for the Policy.

This sheet is not Your insurance Policy. It is only a brief outline of some of the important Policy features. The Policy explains in detail Your rights and obligations and Our rights and obligations. Since the Policy--and not this sheet--is the legal document,

**YOU SHOULD READ THE POLICY VERY CAREFULLY.**

If You have any questions about Your Policy, contact: TITLE RESOURCES GUARANTY COMPANY, 8111 LBJ Freeway, Ste. 1200, Dallas, TX 75251.

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**As soon as You Know of anything that might be covered by this Policy, You must notify Us promptly in writing at the address shown in Section 3 of the Conditions.**

## OWNER'S COVERAGE STATEMENT

This Policy insures You against actual loss, including any costs, attorneys' fees and expenses provided under this Policy. The loss must result from one or more of the Covered Risks set forth below. This Policy covers only Land that is an improved residential lot on which there is located a one-to-four family residence and only when each insured named in Schedule A is a Natural Person.

Your insurance is effective on the Policy Date. This Policy covers Your actual loss from any risk described under Covered Risks if the event creating the risk exists on the Policy Date or, to the extent expressly stated in Covered Risks, after the Policy Date.

Your insurance is limited by all of the following:

- The Policy Amount
- For Covered Risk 16, 18, 19 and 21, Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A
- The Exceptions in Schedule B
- Our Duty To Defend Against Legal Actions
- The Exclusions on page 4 and 5
- The Conditions on pages 5 through 7.

## COVERED RISKS

The Covered Risks are:

1. Someone else owns an interest in Your Title.
2. Someone else has rights affecting Your Title because of leases, contracts, or options.
3. Someone else claims to have rights affecting Your Title because of forgery or impersonation.
4. Someone else has an Easement on the Land.
5. Someone else has a right to limit Your use of the Land.
6. Your Title is defective. Some of these defects are:
  - a. Someone else's failure to have authorized a transfer or conveyance of your Title.
  - b. Someone else's failure to create a valid document by electronic means.
  - c. A document upon which Your Title is based is invalid because it was not properly signed, sealed, acknowledged, delivered or recorded.
  - d. A document upon which Your Title is based was signed using a falsified, expired, or otherwise invalid power of attorney.
  - e. A document upon which Your Title is based was not properly filed, recorded, or indexed in the Public Records.
  - f. A defective judicial or administrative proceeding.
7. Any of Covered Risks 1 through 6 occurring after the Policy Date.
8. Someone else has a lien on Your Title, including a:
  - a. lien of real estate taxes or assessments imposed on Your Title by a governmental authority that are due or payable, but unpaid;
  - b. Mortgage;
  - c. judgment, state or federal tax lien;
  - d. charge by a homeowner's or condominium association; or
  - e. lien, occurring before or after the Policy Date, for labor and material furnished before the Policy Date.
9. Someone else has an encumbrance on Your Title.
10. Someone else claims to have rights affecting Your Title because of fraud, duress, incompetency or incapacity.
11. You do not have actual vehicular and pedestrian access to and from the Land, based upon a legal right.
12. You are forced to correct or remove an existing violation of any covenant, condition or restriction affecting the Land, even if the covenant, condition or restriction is excepted in Schedule B. However, You are not covered for any violation that relates to:
  - a. any obligation to perform maintenance or repair on the Land; or
  - b. environmental protection of any kind, including hazardous or toxic conditions or substances unless there is a notice recorded in the Public Records, describing any part of the Land, claiming a violation exists. Our liability for this Covered Risk is limited to the extent of the violation stated in that notice.
13. Your Title is lost or taken because of a violation of any covenant, condition or restriction, which occurred before You acquired Your Title, even if the covenant, condition or restriction is excepted in Schedule B.

14. The violation or enforcement of those portions of any law or government regulation concerning:
  - a. building;
  - b. zoning;
  - c. land use;
  - d. improvements on the Land;
  - e. land division; or
  - f. environmental protection,if there is a notice recorded in the Public Records, describing any part of the Land, claiming a violation exists or declaring the intention to enforce the law or regulation. Our liability for this Covered Risk is limited to the extent of the violation or enforcement stated in that notice.
15. An enforcement action based on the exercise of a governmental police power not covered by Covered Risk 14 if there is a notice recorded in the Public Records, describing any part of the Land, of the enforcement action or intention to bring an enforcement action. Our liability for this Covered Risk is limited to the extent of the enforcement action stated in that notice.
16. Because of an existing violation of a subdivision law or regulation affecting the Land:
  - a. You are unable to obtain a building permit;
  - b. You are required to correct or remove the violation; or
  - c. someone else has a legal right to, and does, refuse to perform a contract to purchase the Land, lease it or make a Mortgage loan on it.The amount of Your insurance for this Covered Risk is subject to Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.
17. You lose Your Title to any part of the Land because of the right to take the Land by condemning it, if:
  - a. there is a notice of the exercise of the right recorded in the Public Records and the notice describes any part of the Land; or
  - b. the taking happened before the Policy Date and is binding on You if You bought the Land without Knowing of the taking.
18. You are forced to remove or remedy Your existing structures, or any part of them - other than boundary walls or fences - because any portion was built without obtaining a building permit from the proper government office. The amount of Your insurance for this Covered Risk is subject to Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.
19. You are forced to remove or remedy Your existing structures, or any part of them, because they violate an existing zoning law or zoning regulation. If You are required to remedy any portion of Your existing structures, the amount of Your insurance for this Covered Risk is subject to Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.
20. You cannot use the Land because use as a single-family residence violates an existing zoning law or zoning regulation.
21. You are forced to remove Your existing structures because they encroach onto Your neighbor's land. If the encroaching structures are boundary walls or fences, the amount of Your insurance for this Covered Risk is subject to Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.
22. Someone else has a legal right to, and does, refuse to perform a contract to purchase the Land, lease it or make a Mortgage loan on it because Your neighbor's existing structures encroach onto the Land.
23. You are forced to remove Your existing structures which encroach onto an Easement or over a building set-back line, even if the Easement or building set-back line is excepted in Schedule B.
24. Your existing structures are damaged because of the exercise of a right to maintain or use any Easement affecting the Land, even if the Easement is excepted in Schedule B.
25. Your existing improvements (or a replacement or modification made to them after the Policy Date), including lawns, shrubbery or trees, are damaged because of the future exercise of a right to use the surface of the Land for the extraction or development of minerals, water or any other substance, even if those rights are excepted or reserved from the description of the Land or excepted in Schedule B.
26. Someone else tries to enforce a discriminatory covenant, condition or restriction that they claim affects Your Title which is based upon race, color, religion, sex, handicap, familial status, or national origin.
27. A taxing authority assesses supplemental real estate taxes not previously assessed against the Land for any period before the Policy Date because of construction or a change of ownership or use that occurred before the Policy Date.
28. Your neighbor builds any structures after the Policy Date -- other than boundary walls or fences -- which encroach onto the Land.
29. Your Title is unmarketable, which allows someone else to refuse to perform a contract to purchase the Land, lease it or make a Mortgage loan on it.

30. Someone else owns an interest in Your Title because a court order invalidates a prior transfer of the title under federal bankruptcy, state insolvency, or similar creditors' rights laws.
31. The residence with the address shown in Schedule A is not located on the Land at the Policy Date.
32. The map, if any, attached to this Policy does not show the correct location of the Land according to the Public Records.

### OUR DUTY TO DEFEND AGAINST LEGAL ACTIONS

We will defend Your Title in any legal action only as to that part of the action which is based on a Covered Risk and which is not excepted or excluded from coverage in this Policy. We will pay the costs, attorneys' fees, and expenses We incur in that defense.

We will not pay for any part of the legal action which is not based on a Covered Risk or which is excepted or excluded from coverage in this Policy.

We can end Our duty to defend Your Title under Section 4 of the Conditions.

### THIS POLICY IS NOT COMPLETE WITHOUT SCHEDULES A AND B.

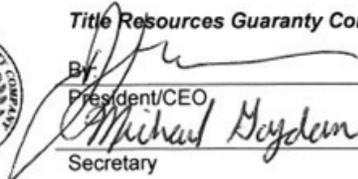
In Witness Whereof, Title Resources Guaranty Company has caused this policy to be signed and sealed by duly authorized officers as of Date of Policy shown in Schedule A.



---

An authorized signature

Title Resources Guaranty Company

By 

President/CEO

Secretary



### EXCLUSIONS

In addition to the Exceptions in Schedule B, You are not insured against loss, costs, attorneys' fees, and expenses resulting from:

1. Governmental police power, and the existence or violation of those portions of any law or government regulation concerning:
  - a. building;
  - b. zoning;
  - c. land use;
  - d. improvements on the Land;
  - e. land division; and
  - f. environmental protection.

This Exclusion does not limit the coverage described in Covered Risk 8.a., 14, 15, 16, 18, 19, 20, 23 or 27.
2. The failure of Your existing structures, or any part of them, to be constructed in accordance with applicable building codes. This Exclusion does not limit the coverage described in Covered Risk 14 or 15.
3. The right to take the Land by condemning it. This Exclusion does not limit the coverage described in Covered Risk 17.
4. Risks:
  - a. that are created, allowed, or agreed to by You, whether or not they are recorded in the Public Records;
  - b. that are Known to You at the Policy Date, but not to Us, unless they are recorded in the Public Records at the Policy Date;
  - c. that result in no loss to You; or
  - d. that first occur after the Policy Date - this does not limit the coverage described in Covered Risk 7, 8.e., 25, 26, 27

- or 28.
5. Failure to pay value for Your Title.
  6. Lack of a right:
    - a. to any land outside the area specifically described and referred to in paragraph 3 of Schedule A; and
    - b. in streets, alleys, or waterways that touch the Land.
 This Exclusion does not limit the coverage described in Covered Risk 11 or 21.
  7. The transfer of the Title to You is invalid as a preferential transfer or as a fraudulent transfer or conveyance under federal bankruptcy, state insolvency, or similar creditors' rights laws.
  8. Contamination, explosion, fire, flooding, vibration, fracturing, earthquake or subsidence.
  9. Negligence by a person or an Entity exercising a right to extract or develop minerals, water, or any other substances.

## CONDITIONS

### 1. DEFINITIONS

- a. Easement - the right of someone else to use the Land for a special purpose.
- b. Estate Planning Entity - a legal entity or Trust established by a Natural Person for estate planning.
- c. Known - things about which You have actual knowledge. The words "Know" and "Knowing" have the same meaning as Known.
- d. Land - the land or condominium unit described in paragraph 3 of Schedule A and any improvements on the Land which are real property.
- e. Mortgage - a mortgage, deed of trust, trust deed or other security instrument.
- f. Natural Person - a human being, not a commercial or legal organization or entity. Natural Person includes a trustee of a Trust even if the trustee is not a human being.
- g. Policy Date - the date and time shown in Schedule A. If the insured named in Schedule A first acquires the interest shown in Schedule A by an instrument recorded in the Public Records later than the date and time shown in Schedule A, the Policy Date is the date and time the instrument is recorded.
- h. Public Records - records that give constructive notice of matters affecting Your Title, according to the state statutes where the Land is located.
- i. Title - the ownership of Your interest in the Land, as shown in Schedule A.
- j. Trust - a living trust established by a Natural Person for estate planning.
- k. We/Our/Us - Title Resources Guaranty Company
- l. You/Your - the insured named in Schedule A and also those identified in Section 2.b. of these Conditions.

### 2. CONTINUATION OF COVERAGE

- a. This Policy insures You forever, even after You no longer have Your Title. You cannot assign this Policy to anyone else.
- b. This Policy also insures:
  - (1) anyone who inherits Your Title because of Your death;
  - (2) Your spouse who receives Your Title because of dissolution of Your marriage;
  - (3) the trustee or successor trustee of Your Trust or any Estate Planning Entity created for You to whom or to which You transfer Your Title after the Policy Date;
  - (4) the beneficiaries of Your Trust upon Your death; or
  - (5) anyone who receives Your Title by a transfer effective on Your death as authorized by law.
- c. We may assert against the insureds identified in Section 2.b. any rights and defenses that We have against any previous insured under this Policy.

### 3. HOW TO MAKE A CLAIM

#### a. Prompt Notice Of Your Claim

- (1) As soon as You Know of anything that might be covered by this Policy, You must notify Us promptly in writing.
- (2) Send Your notice to Title Resources Guaranty Company, Attention: Claims Department, 8111 LBJ Freeway, Ste. 1200, Dallas, TX 75251, or [trgcclaims@titleresources.com](mailto:trgcclaims@titleresources.com). Please include the Policy number shown in Schedule A, and the county and state where the Land is located. Please enclose a copy of Your policy, if available.
- (3) If You do not give Us prompt notice, Your coverage will be reduced or ended, but only to the extent Your failure affects Our ability to resolve the claim or defend You.

#### b. Proof Of Your Loss

- (1) We may require You to give Us a written statement signed by You describing Your loss which includes:
  - (a) the basis of Your claim;
  - (b) the Covered Risks which resulted in Your loss;
  - (c) the dollar amount of Your loss; and
  - (d) the method You used to compute the amount of Your loss.

- (2) We may require You to make available to Us records, checks, letters, contracts, insurance policies and other papers which relate to Your claim. We may make copies of these papers.
- (3) We may require You to answer questions about Your claim under oath.
- (4) If you fail or refuse to give Us a statement of loss, answer Our questions under oath, or make available to Us the papers We request, Your coverage will be reduced or ended, but only to the extent Your failure or refusal affects Our ability to resolve the claim or defend You.

4. OUR CHOICES WHEN WE LEARN OF A CLAIM

- a. After We receive Your notice, or otherwise learn, of a claim that is covered by this Policy, Our choices include one or more of the following:
  - (1) Pay the claim;
  - (2) Negotiate a settlement;
  - (3) Bring or defend a legal action related to the claim;
  - (4) Pay You the amount required by this Policy;
  - (5) End the coverage of this Policy for the claim by paying You Your actual loss resulting from the Covered Risk, and those costs, attorneys' fees and expenses incurred up to that time which We are obligated to pay;
  - (6) End the coverage described in Covered Risk 16, 18, 19 or 21 by paying You the amount of Your insurance then in force for the particular Covered Risk, and those costs, attorneys' fees and expenses incurred up to that time which We are obligated to pay;
  - (7) End all coverage of this Policy by paying You the Policy Amount then in force, and those costs, attorneys' fees and expenses incurred up to that time which We are obligated to pay;
  - (8) Take other appropriate action.
- b. When We choose the options in Sections 4.a. (5), (6) or (7), all Our obligations for the claim end, including Our obligation to defend, or continue to defend, any legal action.
- c. Even if We do not think that the Policy covers the claim, We may choose one or more of the options above. By doing so, We do not give up any rights.

5. HANDLING A CLAIM OR LEGAL ACTION

- a. You must cooperate with Us in handling any claim or legal action and give Us all relevant information.
- b. If You fail or refuse to cooperate with Us, Your coverage will be reduced or ended, but only to the extent Your failure or refusal affects Our ability to resolve the claim or defend You.
- c. We are required to repay You only for those settlement costs, attorneys' fees and expenses that We approve in advance.
- d. We have the right to choose the attorney when We bring or defend a legal action on Your behalf. We can appeal any decision to the highest level. We do not have to pay Your claim until the legal action is finally decided.
- e. Whether or not We agree there is coverage, We can bring or defend a legal action, or take other appropriate action under this Policy. By doing so, We do not give up any rights.

6. LIMITATION OF OUR LIABILITY

- a. After subtracting Your Deductible Amount if it applies, We will pay no more than the least of:
  - (1) Your actual loss;
  - (2) Our Maximum Dollar Limit of Liability then in force for the particular Covered Risk, for claims covered only under Covered Risk 16, 18, 19 or 21; or
  - (3) the Policy Amount then in force.
 and any costs, attorneys' fees and expenses that We are obligated to pay under this Policy.
- b. If We pursue Our rights under Sections 4.a.(3) and 5.e. of these Conditions and are unsuccessful in establishing the Title, as insured:
  - (1) the Policy Amount then in force will be increased by 10% of the Policy Amount shown in Schedule A, and
  - (2) You shall have the right to have the actual loss determined on either the date the claim was made by You or the date it is settled and paid.
- c. (1) If We remove the cause of the claim with reasonable diligence after receiving notice of it, all Our obligations for the claim end, including any obligation for loss You had while We were removing the cause of the claim.
  - (2) Regardless of 6.c.(1) above, if You cannot use the Land because of a claim covered by this Policy:
    - (a) You may rent a reasonably equivalent substitute residence and We will repay You for the actual rent You pay, until the earlier of:
      - (i) the cause of the claim is removed; or
      - (ii) We pay You the amount required by this Policy. If Your claim is covered only under Covered Risk 16, 18, 19 or 21, that payment is the amount of Your insurance then in force for the particular Covered Risk.
    - (b) We will pay reasonable costs You pay to relocate any personal property You have the right to remove from the Land, including transportation of that personal property for up to twenty-five (25) miles from the

Land, and repair of any damage to that personal property because of the relocation. The amount We will pay You under this paragraph is limited to the value of the personal property before You relocate it.

- d. All payments We make under this Policy reduce the Policy Amount then in force, except for costs, attorneys' fees and expenses. All payments We make for claims which are covered only under Covered Risk 16, 18, 19 or 21 also reduce Our Maximum Dollar Limit of Liability for the particular Covered Risk, except for costs, attorneys' fees and expenses.
- e. If We issue, or have issued, a Policy to the owner of a Mortgage that is on Your Title and We have not given You any coverage against the Mortgage, then:
  - (1) We have the right to pay any amount due You under this Policy to the owner of the Mortgage, and any amount paid shall be treated as a payment to You under this Policy, including under Section 4.a. of these Conditions;
  - (2) Any amount paid to the owner of the Mortgage shall be subtracted from the Policy Amount then in force ; and
  - (3) If Your claim is covered only under Covered Risk 16, 18, 19 or 21, any amount paid to the owner of the Mortgage shall also be subtracted from Our Maximum Dollar Limit of Liability for the particular Covered Risk.
- f. If You do anything to affect any right of recovery You may have against someone else, We can subtract from Our liability the amount by which You reduced the value of that right.

7. TRANSFER OF YOUR RIGHTS TO US

- a. When We settle Your claim, We have all the rights and remedies You have against any person or property related to the claim. You must not do anything to affect these rights and remedies. When We ask, You must execute documents to evidence the transfer to Us of these rights and remedies. You must let Us use Your name in enforcing these rights and remedies.
- b. We will not be liable to You if We do not pursue these rights and remedies or if We do not recover any amount that might be recoverable.
- c. We will pay any money We collect from enforcing these rights and remedies in the following order:
  - (1) to Us for the costs, attorneys' fees and expenses We paid to enforce these rights and remedies;
  - (2) to You for Your loss that You have not already collected;
  - (3) to Us for any money We paid out under this Policy on account of Your claim; and
  - (4) to You whatever is left.
- d. If You have rights and remedies under contracts (such as indemnities, guaranties, bonds or other policies of insurance) to recover all or part of Your loss, then We have all of those rights and remedies, even if those contracts provide that those obligated have all of Your rights and remedies under this Policy.

8. THIS POLICY IS THE ENTIRE CONTRACT

This Policy, with any endorsements, is the entire contract between You and Us. To determine the meaning of any part of this Policy, You must read the entire Policy and any endorsements. Any changes to this Policy must be agreed to in writing by Us. Any claim You make against Us must be made under this Policy and is subject to its terms.

9. INCREASED POLICY AMOUNT

The Policy Amount then in force will increase by ten percent (10%) of the Policy Amount shown in Schedule A each year for the first five years following the Policy Date shown in Schedule A, up to one hundred fifty percent (150%) of the Policy Amount shown in Schedule A. The increase each year will happen on the anniversary of the Policy Date shown in Schedule A.

10. SEVERABILITY

If any part of this Policy is held to be legally unenforceable, both You and We can still enforce the rest of this Policy.

11. ARBITRATION

- a. If permitted in the state where the Land is located, You or We may demand arbitration.
- b. The law used in the arbitration is the law of the state where the Land is located.
- c. The arbitration shall be under the Title Insurance Arbitration Rules of the American Land Title Association ("Rules"). You can get a copy of the Rules from Us.
- d. Except as provided in the Rules, You cannot join or consolidate Your claim or controversy with claims or controversies of other persons.
- e. The arbitration shall be binding on both You and Us. The arbitration shall decide any matter in dispute between You and Us.
- f. The arbitration award may be entered as a judgment in the proper court.

12. CHOICE OF LAW

The law of the state where the Land is located shall apply to this policy.

:

**ALTA HOMEOWNERS POLICY OF TITLE INSURANCE FOR A ONE-TO-FOUR SINGLE FAMILY RESIDENCE**  
**SCHEDULE A**

**Our name and address is:** Title Resources Guaranty Company  
8111 LBJ Freeway, Ste. 1200  
Dallas, TX 75251

**File Number:** 18322492

**Policy Number:** 2470-HO-18322492

**Policy Amount:** \$210,000.00

**Premium:** \$1,132.00

**Policy Date:** December 31, 2018 10:46AM

**Deductible Amounts and Maximum Dollar Limits of Liability For Covered Risk 16, 18, 19 and 21:**

	<u>Your Deductible Amount</u>	<u>Our Maximum Dollar Limit of Liability</u>
Covered Risk 16:	1 % of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$10,000.00
Covered Risk 18:	1% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$25,000.00
Covered Risk 19:	1% of Policy Amount Shown in Schedule A or \$5,000.00 (Whichever is Less)	\$25,000.00
Covered Risk 21:	1% of Policy Amount Shown in Schedule A or \$2,500.00 (Whichever is Less)	\$5,000.00

**Street Address of the Land:** 204 E 43rd St, Garden City, ID 83714

- 1. Name of Insured:**  
Daniel C. Russell and Rachel R. Russell
- 2. Your interest in the Land covered by this Policy is:**  
Fee Simple
- 3. Title is vested in:**  
Daniel C. Russell and Rachel R. Russell, husband and wife
- 4. The Land referred to in this Policy is described as:**  
See Attached Schedule C

TitleOne Corporation

By:



Elesia Britt, Title Officer

**ALTA HOMEOWNERS POLICY OF TITLE INSURANCE FOR A ONE-TO-FOUR SINGLE FAMILY RESIDENCE**

**SCHEDULE B**  
**EXCEPTIONS**

**File Number:** 18322492

**Policy Number:** 2470-HO-18322492

**In addition to the Exclusions, You are not insured against loss, costs, attorneys' fees, and expenses resulting from:**

1. Taxes, including any assessments collected therewith, for the year 2018 for which the first installment is paid and the second installment is due and payable on or before June 20, 2019.

2. The land described herein is located within the boundaries of the City of Garden City (208-472-2900) and is subject to any assessments levied thereby. Paid Current.

3. The land described herein is located within the boundaries of Fairview Acres Water Users Association Inc. and is subject to any assessments levied thereby. Paid Current.

4. The land described herein is located within the boundaries of Thurman Mill Ditch Company Ltd. and is subject to any assessments levied thereby. Paid Current.

5. An easement for the purpose shown below and rights incidental thereto as set forth in Pole Line Easement.

Granted to: Idaho Power Company

Purpose: construct, operate, maintain, reconstruct and remove electric transmission, distribution and telephone circuits

Recorded: September 19, 1930

Instrument No.: 141536

Book 12 of Miscellaneous Records at Page 438, records of Ada County, Idaho.

NOTE: The exact location and extent of said easement is not disclosed of record.

6. Easements, reservations, restrictions, and dedications as shown on the official plat of Fairview Acres Subdivision No. 1 recorded May 9, 1945 as Instrument No. 236069, records of Ada County, Idaho.

7. Water, ditch rights, underground waters, and irrigation rights as reserved in a Corporation Warranty Deed, recorded November 29, 1947 as Instrument No. 269891, filed in Book 313 of Deeds at Page 30, records of Ada County, Idaho.

8. An easement for the purpose shown below and rights incidental thereto as set forth in a document.

Granted to: Idaho Power Company

Purpose: Public Utilities

Recorded: February 14, 1990

Instrument No.: 9008004, records of Ada County, Idaho.

9. Terms and provisions contained in an Ordinance No. 953-12.

Recorded: November 15, 2012

Instrument No.: 112119831, records of Ada County, Idaho.

10. Terms and provisions contained in an Ordinance No. 954-12.

Recorded: November 15, 2012

Instrument No.: 112119832, records of Ada County, Idaho.

11. Reservations and exceptions in a United States Patent, and in the act authorizing the issuance thereof, recorded June 12, 2001 as Instrument No. 101057024.

**ALTA HOMEOWNERS POLICY OF TITLE INSURANCE FOR A ONE-TO-FOUR SINGLE FAMILY RESIDENCE**

12. A Deed of Trust to secure an indebtedness in the amount shown below and any other obligations secured thereby:

Amount: \$147,000.00

Trustor/Grantor: Daniel C. Russell and Rachel R. Russell, husband and wife

Trustee: TitleFact, Inc.

Beneficiary: First Federal Savings Bank of Twin Falls

Dated: December 31, 2018

Recorded: December 31, 2018

Instrument No.: 2018-122315

**ALTA HOMEOWNERS POLICY OF TITLE INSURANCE FOR A ONE-TO-FOUR SINGLE FAMILY RESIDENCE**

**SCHEDULE C**  
**LEGAL DESCRIPTION**

Lot 9 in Block 3 of Fairview Acres Subdivision No. 1, according to the official plat thereof, filed in Book 10 of Plats at Page(s) 532, official records of Ada County, Idaho.

