



**APPLICATION INFORMATION REQUIRED**

**Note:**

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED**  
**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

**THREE (3) HARD COPIES OF EACH CHECKLIST ITEM REQUIRED:**

**Grading/Placing Fill in the Floodplain:**

1. Is the proposal a subdivision or other development that contain 50 Lots or 5 Acres or more? Yes\_\_\_ No
2. If a subdivision, does the plat or proposal clearly identify base flood elevations? Yes  No\_\_\_
3. Grading alterations? Yes  No\_\_\_
4. If grading alterations:  
Elevation Increase (ft) VARIES Elevation Decrease (ft) \_\_\_\_\_
5. As identified on the floodplain map, what is the zone and panel number of the area of the proposed development?  
Zone: AE Panel Number: 16001C0169H
6. Base Flood Elevation (BFE): 2627 to 2628 (within proposed subdivision area)
7. Setback from River: 70-ft (ft) from 6500-cfs line

**\*Provide:**

- Public Works Utility Permit application **TO BE SUBMITTED WITH FINAL CONSTRUCTION PLANS**
- Site plan showing the size and location of the proposed development-parcel; include topographic elevations and the pad showing the footprint of structure(s), setback line from the river if adjacent to river. **REFER TO PRELIMINARY PLAT**
- Documentation that all activities were done in compliance with the Endangered Species Act (ESA) including: no potential for "Take" exists; or approved Incidental Take Permit (contact The U.S. Department of Interior's FWS for more information or permits) **WILL BE PART OF CONSTRUCTION SWPPP DOCUMENTATION**
- Affidavit of Legal Interest

**WAIVER**

**Work in Floodway or River Channel:**

1. As identified on the floodplain map, what is the zone and panel number of the area of the proposed development?

Zone: AE Panel Number: 16001C0169H

Existing ground elevations are above BFE and we believe the floodway portions of property should be

**\*Provide:** removed from the floodway by LOMA application.

- No-net rise documentation prepared by a certified engineer
- Documentation required for work in the Riparian Area
- Public Works Utility Permit application
- Site plan showing the size and location of the proposed development-parcel; include topographic elevations and the pad showing the footprint of structure(s), setback line from the river if adjacent to river.
- Documentation that all activities were done in compliance with the Endangered Species Act (ESA) including: no potential for "Take" exists; or approved Incidental Take Permit (contact The U.S. Department of Interior's FWS for more information or permits)
- USACE 404 permit if any work is done in the river
- Idaho Department of Lands easement if applicable
- Affidavit of Legal Interest

**Work in Riparian Area**

**\*Any work riverside of the greenbelt or within 25' of the ordinary high water mark\***

1. As identified on the floodplain map what is the zone and panel number of the area of the proposed development?

Zone: \_\_\_\_\_ Panel Number: \_\_\_\_\_

2. Conditional Permit file number: \_\_\_\_\_

**\*Provide:**

- If work in Floodplain or Floodway, provide applicable documentation
- A list of native flora species on site
- Identify all proposed vegetation removal (all living and non living)
- A narrative of why the improvements are a public necessity, how the bank will remain stable or will be stabilized, describe how the site will remain natural to the Boise River habitat, and long-term maintenance plan
- Setback from Greenbelt, from ordinary high water
- Affidavit of Legal Interest
- Nearest:
  - Emergent waters
  - Idaho Fish and Game Department spawning and/ or rearing waters
  - Public or emergency river access
  - Riparian lands or waters
  - Eagle Perching, Feeding & Loafing Setback Lands and Waters
  - Heron Rookeries Setback Lands and Waters

**Check the Application Type:**

- LOMR- Letter of Map Revision, structural changes**
- LOMR-F- Letter of Map Revision, Fill**
- CLOMR-F- Conditional Letter of Map Revision**
- CLOMA- Letter of Map Amendment**
- LOMA – Letter of Map Amendment**

1. As identified on the floodplain map what is the zone and panel number of the area of the proposed development?

Zone: AE Panel Number: 16001C0169H

**\*Provide:**

- Completed MT-1 or MT-EZ Application Form and associated documentation
- Affidavit of Legal Interest

WAIVER

COMPLETED MT-1 OR MT-EZ APPLICATIONS WILL BE PROVIDED UPON APPROVAL OF THE PRELIMINARY PLAT. WE RECOMMEND CONDITIONS OF APPROVAL REQUIRING COMPLETION OF THIS APPLICATION.



# PLANNING SUBMITTAL FORM

Permit info: \_\_\_\_\_  
 Application Date: \_\_\_\_\_ Rec'd by: \_\_\_\_\_  
 FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714-208.472.2921 (tel.)  
 208.472.2926 (FAX) ▪ [www.gardencityidaho.org](http://www.gardencityidaho.org) ▪ [planning@gardencityidaho.org](mailto:planning@gardencityidaho.org)

APPLICANT - DESIGNATED AGENT & ATTORNEY FOR	PROPERTY OWNER
Name: <span style="color: #c00000;">GLASS CREEK, LLC Robert Taunton</span>	Name:
Company: <span style="color: #c00000;">Taunton Group</span>	Company: <span style="color: #c00000;">Glass Creek LLC</span>
Address: <span style="color: #c00000;">2724 S. Palmatier Way</span>	Address: <span style="color: #c00000;">6501 Fruitvale Ave</span>
City: <span style="color: #c00000;">Boise</span>	City: <span style="color: #c00000;">Bakersfield</span>
State: <span style="color: #c00000;">ID</span> Zip: <span style="color: #c00000;">83716</span>	State: <span style="color: #c00000;">CA</span> Zip: <span style="color: #c00000;">93308</span>
Tel.: <span style="color: #c00000;">(208) 401-5505</span>	Tel.: <span style="color: #c00000;">(805) 448-3552</span>
FAX:	FAX:
E-mail: <span style="color: #c00000;">bobtaunton@tautongroup.com</span>	E-mail: <span style="color: #c00000;">will@willgus.com</span>

**ACTION REQUESTED (check all that apply)**

**ALL BLUEPRINTS MUST BE FOLDED INTO 8 1/2" X 11" SIZE WITH THE TITLE BLOCK/PANEL FACE UP SO AS TO FIT WITHIN A LEGAL SIZE FILE FOLDER**

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> Appeal<br><input type="checkbox"/> Lot Line Adjustment<br><input type="checkbox"/> City Code Text Amendment<br><input type="checkbox"/> Sign Permit<br><input type="checkbox"/> Specific Area Plan<br><input type="checkbox"/> Conditional (special) Use Permit<br><input type="checkbox"/> Temporary Use Permit<br><input type="checkbox"/> Easement/Vacation of Easement | <input type="checkbox"/> Design Review<br><input type="checkbox"/> Final Plat<br><input checked="" type="checkbox"/> Flood Plain Dev<br><input type="checkbox"/> Variance<br><input type="checkbox"/> MFH Installation<br><input type="checkbox"/> Minor PUD<br><input type="checkbox"/> Minor Land Division<br><input type="checkbox"/> Ability to Serve-CUP, DSR or SUB if applicable | <input checked="" type="checkbox"/> Preliminary Plat<br><input type="checkbox"/> Preliminary PUD<br><input type="checkbox"/> Re-zone<br><input type="checkbox"/> Zoning Certificate<br><input type="checkbox"/> MFH Removal |
|---|---|---|

**PROPERTY INFORMATION**

Site address: 6515 W. State St.

Subdivision Name: <span style="color: #c00000;">Plantation NO 2, Amended Plat</span>	Lot: <span style="color: #c00000;">70</span>	Block: <span style="color: #c00000;">1</span>
Tax Parcel Number: <span style="color: #c00000;">R7100480125</span>	Zoning: <span style="color: #c00000;">R-2</span>	Total Acres: <span style="color: #c00000;">1.36-AC</span>
Proposed Use: <span style="color: #c00000;">Single family residential</span>	Floodplain: <span style="border: 1px solid red; border-radius: 50%; padding: 2px;">yes</span> no	

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

          R taunton                          5.20.20                          R taunton                          5.20.20            
 signature of the applicant      (date)      signature of the owner      (date)

# Taunton Group

Community Development

May 20, 2020

Garden City Development Services  
Jenah Thornborrow, Director  
6015 N. Glenwood St.  
Garden City, ID 83714  
jthorn@gardencityidaho.org

## **Re: Glass Island View Subdivision – Compliance Statement and Statement of Intent**

Dear Jenah,

On behalf of the applicant, Glass Creek, LLC, the owner of Plantation Country Club, I am pleased to submit both a Land Division Application and a Floodplain/Floodway Development Application for the Glass Island View Subdivision (which Subdivision name has been reserved with Ada County Development Services).

The Subdivision includes three custom infill residential lots and one common lot on property adjacent to the Boise River and owned by Glass Creek. Glass Creek is committed to developing a high-quality, single-family neighborhood that is compatible with existing residential development, will not adversely affect neighboring residents, and will become an asset for the overall community.

We trust the City will find the applications' material provides the factual basis for the City to find that Glass Island View Subdivision provides:

- Harmonious development of land in the context of the immediate neighborhood;
- Coordinated access from the Subdivision to the existing public street;
- Provides adequate open space for travel, light, air and recreation;
- Provides adequate transportation, water, drainage, sanitary facilities and other necessary utilities within the proposed Subdivision;
- Provides adequate safeguards in connection with flood hazards; and
- Avoids scattered land division in favor of infill subdivision that ensures the efficient provision of infrastructure.<sup>1</sup>

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<sup>1</sup> See, Garden City Code, Section 8-5A-1.

### **Pre-Application Meeting/Discussion**

The applicant requested and attended a Pre-Application Meeting/Discussion with Garden City staff and other agency technical staff on March 12, 2020, to receive input on the proposed applications.

### **Neighborhood Meetings**

The applicant properly noticed and held neighborhood meetings on April 21, 2020, and May 18, 2020, per the guidelines provided by Garden City for remote meetings. To expand participation, the applicant noticed several property owners beyond 300 feet from the proposed Subdivision location and provided a copy of the notice to the Plantation Master Association through the Association's property management company. The applicant has submitted the required information with the applications, including affidavits, names and addresses of property owners noticed within 300 feet of the project and beyond, and meeting participant names.

### **Compliance Statement**

The site lies between N. Plantation River Dr. and W. Gramarcy Ln. and is adjacent to the Boise River. The development area is 1.36-acres and is a portion of a parcel created in 1978 with the recording of the Plantation No. 1 Subdivision Plat. The property is currently vacant land used for a private golf course. Specifically, the site is part of the tee complex for golf hole No.16 and is setback from the main golf holes.

A 1978 Master Plan for the Plantation Country Club shows the site was part of a proposed route for two golf holes on Plantation Island in the Boise River. The connection to the Island was abandoned following settlement of a lawsuit brought by the State of Idaho in 1989.



The proposed use is consistent with the Garden City Comprehensive Plan Land Use Designation of Residential Low Density and the existing R-2 Low Density Residential District property zoning. The R-2 zone was adopted with the required finding that the zone is in compliance with the City's Comprehensive Plan. This zone allows single-family (detached and attached) dwellings, and two-family dwellings for a density of up to 6 units per acre. The proposed density is 2.2 units per acre (3 units on 1.36-acres). The applicant is not requesting any zoning variances and will meet or exceed the form standards in Table 8-2B-2 for the R-2 zone.<sup>2</sup> The Subdivision will also include the required 70-foot building setback from the Ordinary High Water Mark of the Boise River.<sup>3</sup>

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<sup>2</sup> See, Garden City Code, Section 8-2B-3.

<sup>3</sup> See, Garden City Code, Section 8-5C-4.B.5.

The Glass Island View Subdivision will be compatible with adjacent single-family developments to the east and west and across the Golf Course No. 16 fairway. The fully-developed existing subdivisions are also zoned R-2 and have lot sizes similar to the proposed lots. The Subdivision is a logical infill development that completes a gap in the development pattern, which gap was created for the now defunct Plantation Island golf holes. The proposed lots are designed to create a sense of neighborhood both within and adjacent to the proposed Subdivision.<sup>4</sup>

Garden City water and sewer facilities exist within the site and can readily serve the project. The Subdivision design meets the requirements for fire access, including a vehicle turnaround, and will include a fire hydrant to protect the three future homes.

A 16-inch Garden City water transmission line crosses the Boise River and the site. The applicant plans to realign the waterline to accommodate the Subdivision layout. At the time this line was constructed, a 20-foot wide easement was created. The existing easement is not a valid easement because the grantor of the recorded easement was Ada County, yet Ada County was and is not the owner of the Plantation Country Club and had no right to grant the easement across Plantation Country Club property. The City's Public Works Director is working with the County to resolve the issue. Glass Creek has agreed to provide a new easement for the realigned waterline after the City vacates the existing easement.

Similar to other residential lots in the vicinity of Plantation Golf Course, domestic water will provide irrigation for landscape improvements.<sup>5</sup>

An ACHD 12-inch stormwater outfall pipe connects the pond on the golf course north of the Subdivision to the Boise River. The applicant plans to relocate this pipe into the existing 10-foot drainage easement on the east boundary of the Subdivision.

Access to the three residential lots will be from a private, shared concrete drive connecting to the public street, W. Gramarcy Ln.; this connection will be reviewed by Ada County Highway District. The drive will be 22 feet wide flaring to 26 feet at the turnaround (exceeding the 20 feet required by Garden City Code).<sup>6</sup> The center portion of the drive will feature permeable pavers for infiltration

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<sup>4</sup> See, Garden City Code, Section 8-5A-5.B.

<sup>5</sup> Personal communication with the City's Engineer.

<sup>6</sup> See, Garden City Code, Section 8-4E-4. Comments were received from Fire officials at the pre-application meeting. The shape of the shared drive functions as a fire apparatus turnaround per adopted Fire Code requirements, and the length of the drive is allowed because of the incorporated turnaround. All turning radii on the shared drive meet or exceed standards described in Garden City Code.

of drainage from the lots as encouraged by the Comprehensive Plan.<sup>7</sup> The applicant will file a perpetual ingress/egress easement for the shared drive with the Ada County recorder.

The currently-mapped Boise River Floodway line impacts the site. Analysis and survey data by The Land Group suggests this is an error in FEMA's mapping because the existing ground elevations are above the FEMA-designated base flood elevations. Additionally, the Proposed FEMA Floodway Revisions map indicates deletion of the floodway from most of the site, including all of the building pads on the residential lots. However, a Letter of Map Amendment (LOMA) will be processed through FEMA formally to remove the restriction.

The site is also within the Boise River floodplain, as indicated on the current FEMA map. However, the Proposed FEMA Floodplain Revision map removes much of the site, including the building pads, from the floodplain. Still, because some of the site falls within the City's Flood Hazard Overlay District, Glass Creek has submitted a Floodplain/Floodway Development Application to demonstrate compliance with Garden City Code.<sup>8</sup>

The Subdivision will retain all drainage from development on site. There are no existing natural drainage features.

### **Statement of Intent**

Lots 1-3 are single-family lots of 12,956, 12,975 and 13,309 square feet, respectively, and exceed the minimum 6,000 square feet required in the R-2 zone.<sup>9</sup> The building pads will be 2,936, 4,232 and 4,920 square feet net the 70-foot building setback from the Ordinary High Water Mark of the Boise River and other R-2 zone setbacks.<sup>10</sup> The homes will be one or two stories in height (maximum 35 feet per Garden City Code<sup>11</sup>) and will have no negative impact on neighboring lots when completed nor block the view of the 50- to 80-foot high tree canopy along the River. Immediate neighbors are buffered by existing mature trees.

Lot 4 is a common lot containing the shared drive and landscaped open space. Parking for the eventual residential dwellings will be located on the individual residential lots and not on the

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<sup>7</sup> See, Comprehensive Plan, Section 2.4.4. Stormwater drainage is designed to comply with Garden City Code, Section 8-4A-7, and also the Boise City Storm Water Design Manual, which has been adopted by Garden City.

<sup>8</sup> See, Garden City Code, Sections 8-3B-1 et seq.; 8-5C-4.

<sup>9</sup> See, Garden City Code, Section 8-2B-3; Table 8-2B-2.

<sup>10</sup> Id.

<sup>11</sup> Id.

shared drive.<sup>12</sup> The open space provided is 16.3% of the site and exceeds the required percentage of 10%.<sup>13</sup>

The applicant retained a certified arborist in 2019 to assess the existing trees on the site. The landscape plan, which is designed to comply with Garden City Code,<sup>14</sup> indicates that two smaller to mid-size trees will be removed for the shared drive. The landscape plan also shows the mitigation planned as required by Garden City Code.<sup>15</sup>

The applicant is proposing a public 10-foot ped/bike/golf cart connection between W. Gramarcy Ln. and N. Plantation River Dr. on the golf course within a 12-foot public access easement. Garden City staff has requested the connectivity.<sup>16</sup> This staff proposal for connection, however, is subject to the Investors Plantation on the River Homeowner's Association recording a public access easement within the 10-foot pedestrian walkway easement on Lot 90 of Investor's Plantation subdivision. If that Association declines to take that action, the applicant will withdraw the proposal for the connection and public access, and the existing safety fence restricting access to the golf course from N. Plantation River Dr. will remain.

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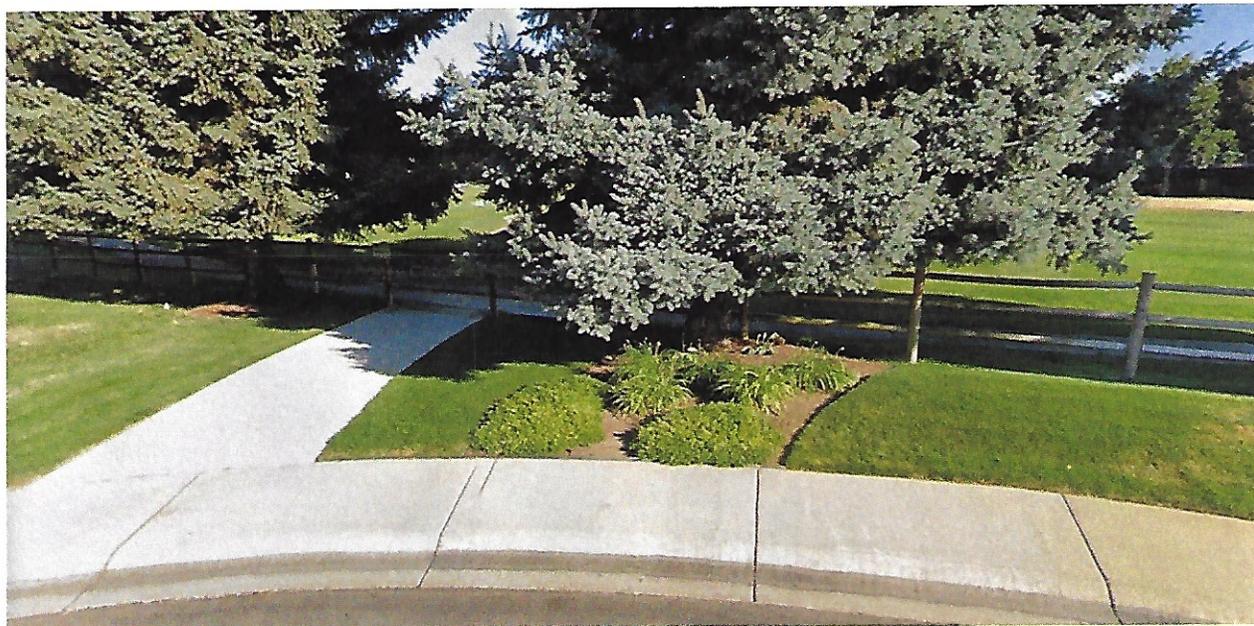
<sup>12</sup> See, Garden City Code, Section 8-4D-3.A.3.a.

<sup>13</sup> See, Garden City Code, Section 8-4L-4.A.

<sup>14</sup> See, Garden City Code, Section 8-4I-3.

<sup>15</sup> See, Garden City Code, Section 8-4A-7.

<sup>16</sup> See, Garden City Code, Section 8-4E-7.B.



Golf course revisions are not part of the applications. The applicant expects to construct some temporary adjustments to tee boxes on No.16 with the development of the Subdivision. The applicant has also agreed to consult with the neighbors about the design of the golf holes at a future date.

Garden City Code requires that all common open space be the responsibility of the owner or an owners' association for the purpose of maintaining the common area and improvements.<sup>17</sup> Glass Creek intends to create an association of the three residential lot owners for the limited purpose of maintenance of the shared drive and landscape improvements located in the common lot.

With the information contained in the applications, we trust the City staff will recommend that the City's governing bodies approve the applications as meeting the following findings:

- A. The subdivision is in conformance with the City's Comprehensive Plan;
- B. The subdivision is in conformance with all applicable provisions of the City's Zoning Code;
- C. Public services are available or can be made available; and are adequate to accommodate the proposed development;
- D. The subdivision is in conformance with scheduled public improvements in accord with the City's capital improvement program;
- E. There is public financial capability of supporting services for the proposed development;
- F. The development will not be detrimental to the public health, safety or general welfare; and
- G. The development preserves significant natural, scenic or historic features.<sup>18</sup>

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<sup>17</sup> See, e.g., Garden City Code, Sections 8-4E-5.E; 8-4L-4.D; 8-5A-5.D.2.h.

<sup>18</sup> See, Garden City Code, Section 8-5B-5.

### **Requested Application Waivers**

The following are requested waivers from the Required Application Information identified in Table 8-6A-2 and on the City's application forms:

#### **Land Division Application Waivers:**

1. Sketch map – Not applicable as the application is for a small, four lot preliminary plat
2. Schematic Drawings – No architectural designs for structures are proposed
3. Lighting Plan – No lighting is proposed
4. Affidavit of Legal Interest – Not applicable as Robert Taunton is the appointed Designated Agent and Attorney for Glass Creek, LLC and has full authority to sign the application on behalf of Glass Creek, LLC
5. Irrigation/Ditch Co. Information Form – No irrigation or ditch facilities exist on the site or are a water source
6. Signage Details or Master Sign Plan – No signs are proposed
7. Approved Sketch Plat - Not applicable as the application is for a small, four lot preliminary plat
8. Approved Addresses – Not available until final plat is recorded
9. Specific to individual checklist items, we request waivers from the following items:
  1. Preliminary Subdivision Map submitted as 22x34" sheets instead of 30x42"
  2. Site Plan map submitted as 22x34" sheet instead of 24x36"
  3. Landscape Plan submitted as 22x34" sheet instead of 24x36"

#### **Floodway/Floodplain Development Application Waivers**

1. Affidavit of Legal Interest - Not applicable as Robert Taunton is the appointed Designated Agent and Attorney for Glass Creek, LLC and has full authority to sign the application on behalf of Glass Creek, LLC
2. Master Plan – Not applicable as the application is for a small, four lot preliminary plat
3. Schematic Drawings – No architectural designs for structures are proposed

We look forward to working with Garden City staff during its review of these applications. Please contact me if you have any questions or require any additional information related to the applications.



Bob Taunton, Applicant Representative  
Taunton Group, LLC  
2724 S. Palmatier Way  
Boise ID 83716  
208-401-5505  
bobtaunton@tauntongroup.com



*First American*

# Commitment

ALTA Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

File No: 4109-3474498

## COMMITMENT FOR TITLE INSURANCE

Issued By

***FIRST AMERICAN TITLE INSURANCE COMPANY***

### NOTICE

**IMPORTANT-READ CAREFULLY:** THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACTIONAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

### COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and the Commitment Conditions, ***First American Title Insurance Company***, a Nebraska Corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I-Requirements have not been met within six months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

***First American Title Insurance Company***

Dennis J. Gilmore, President

Greg L. Smith, Secretary

**If this jacket was created electronically, it constitutes an original document.**

*This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.*

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## COMMITMENT CONDITIONS

### 1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I—Requirements;
- (f) Schedule B, Part II—Exceptions; and
- (g) a counter-signature by the company or its issuing agent that may be in electronic form.

### 4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

### 5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
  - (i) comply with the Schedule B, Part I—Requirements;
  - (ii) eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
  - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

*This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.*

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**6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT**

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company’s only liability will be under the Policy.

**7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT**

The issuing agent is the Company’s agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company’s agent for the purpose of providing closing or settlement services.

**8. PRO-FORMA POLICY**

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

**9. ARBITRATION**

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

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*First American*

# Schedule A

## ALTA Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

File No: 4109-3474498

***Transaction Identification Data for reference only:***

Issuing Agent: First American Title Insurance Company

Issuing Office: 2150 S. Bonito Way, Ste 100,  
Meridian, ID 83642

Issuing Office's ALTA® Registry ID:

Commitment No.: 4109-3474498

Property Address: 0000 W. Gramarcy Lane, Garden City, ID  
83703

Parcel Number: R7100480125 (INCLUDES ADDITIONAL LAND)

Revision No.:

**Inquiries Should Be Directed To:**

Title Officer:

May Lin Carlsen, mcarlsen@firstam.com, (208)321-5114

Issuing Office File No.: 4109-3474498

### SCHEDULE A

1. Commitment Date: May 08, 2020 at 7:30 AM
2. Policies to be issued:
  - (a) ALTA® Std Owner's Policy (6-17-16)  
Proposed Insured: TBD  
Proposed Policy Amount: \$TBD                      Premium Amount: \$TBD  
(Premium amount reflects \$No Available credit)
  - (b) ALTA® Loan Policy (6-17-16)  
Proposed Insured:  
Proposed Policy Amount: \$                      Premium Amount: \$  
(Premium amount reflects \$ credit)
  - (c) Endorsements:                      Premium Amount: \$
3. The estate or interest in the Land described or referred to in this Commitment is

**Fee Simple**

4. The Title is, at the Commitment Date, vested in: **Glass Creek, LLC, a California limited liability company**
5. The Land is described as follows:

**See Exhibit "A" attached hereto and made a part hereof**

***First American Title Insurance Company***

May Lin Carlsen, Title Officer

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*First American*

# Schedule BI & BII

ALTA Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

File No: 4109-3474498

Commitment No.: 4109-3474498

## **SCHEDULE B, PART I**

### **Requirements**

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. Evidence of the authority of the individual(s) to execute the forthcoming document for Glass Creek, LLC, copies of the current operating agreement should be submitted prior to closing.

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*First American*

## Schedule BI & BII (Cont.)

### ALTA Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

File No: 4109-3474498

Commitment No.: 4109-3474498

#### SCHEDULE B, PART II

##### Exceptions

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records.
2. Any facts, rights, interest, or claims which are not shown by the Public Records but which could be ascertained by an inspection of said Land or by making inquiry of persons in possession thereof.
3. Easements, claims of easement or encumbrances which are not shown by the Public Records.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title including discrepancies, conflicts in boundary lines, shortage in area, or any other facts that would be disclosed by an accurate and complete land survey of the Land, and that are not shown in the Public Records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any liens, or rights to a lien, for services, labor or materials theretofore or hereafter furnished, imposed by law and not shown by the Public Records.
7. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I—Requirements are met.
8. General and special taxes for the year 2019, in the original amount of \$4,422.32, Code Area 06-3, A.P. No. R7100480125 (AFFECTS ADDITIONAL LAND), First half paid, second half now due and payable, but not delinquent until after June 20, 2020.

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9. General and Special Taxes for the year 2020, an accruing lien not due or payable until the fourth Monday in November 2020 when the bills are issued, the first half of which is not delinquent until after December 20, 2020.
10. General taxes which may be assessed and extended on any "subsequent" or "occupancy" tax roll, which may escape assessment of the regular tax roll; which are a lien not yet due or payable.
11. Any tax, fee, assessments or charges as may be levied by City of Garden City.
12. Any tax, fee, assessments or charges as may be levied by Boise Valley Irrigation District.
13. Any tax, fee, assessments or charges as may be levied by The Plantation Master Homeowners Association.
14. Any and all offers of dedication, conditions, restrictions, easements, boundary discrepancies or encroachments, notes and/or provisions shown or disclosed by the filed or recorded map referred to in the legal description.

Resolutions for Abandonment of Easements recorded July 17, 2019, as Instrument No. 2019-063437 and recorded August 15, 2019, as Instrument No. 2019-075074, Records of Ada County, Idaho.

15. Covenants, conditions, restrictions and/or easements; but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, family status, or national origin to the extent such covenants, conditions or restrictions violate Title 42, Section 3604(c), of the United States Codes:

Recording Information: 7809725

Modification and/or amendment by instrument:

Recording Information: 7865989; 8004454; 8006448; 94040475; 102063849; 105052685; 108057403; 108057404

16. Any question that may arise due to the shifting and/or changing in the course of the Boise River and/or North channel of the Boise River.
17. Right, title and interest of the State of Idaho in the bed or former bed of the Boise River and/or North channel of the Boise River
18. The terms and provisions contained in the document entitled "Memorandum of Architectural and Environmental Regulations"  
Recorded: July 24, 1986  
Recording No.: 8641986
19. Terms and conditions contained in Declaration of Restrictive Covenants recorded August 27, 1990, as Instrument No. 9045773, Records of Ada County, Idaho.
20. Water Main Easement Agreement and the terms and conditions thereof:  
Between: Ada County  
And: Garden City  
Recording Information: 2015-068993

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21. Unrecorded leaseholds, if any, rights of vendors and security agreement on personal property and rights of tenants, and secured parties to remove trade fixtures at the expiration of the term.
22. Any off-record facts, encumbrances, easements or possessory claims, a survey or inspection would disclose.

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**INFORMATIONAL NOTES**

- A. This is an accommodation and not part of this commitment, no liability is assumed by noting the following: The parties disclosed in Schedule A, Section 3 were derived from Special Warranty Deed, recorded December 24, 2018, as Instrument No. 2018-120827, Records of Ada County, Idaho. Additional Conveyances involving the parties disclosed in Schedule A, Section 3 which have recorded within the last 24 months: None
  
- B. A cancellation fee may be charged on any order canceled after the date of the Commitment.

NOTE: Recording fees: \$10.00 for the first page and \$3.00 per page for every page thereafter.

- (i) Deeds, grants and conveyances of real property .....\$15.00
- (ii) Trust deeds or mortgages of real property, including fixture filings, security agreements and assignments of leases and rents if contained within the same instrument for recording .....\$45.00
- (iii) Reconveyances of trust deeds, including a substitution of trustee if contained within the same instrument for recording, and releases of mortgages .....\$15.00
- (iv) Powers of attorney .....\$25.00  
Additional \$2.25 per document electronic recording fee.

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*First American*

ISSUED BY

**First American Title Insurance Company**

File No: 4109-3474498

# Exhibit A

Commitment File No.: 4109-3474498

The Land referred to herein below is situated in the County of Ada, State of ID, and is described as follows:

Proposed Glass Island View Subdivision:

A parcel of land being a Re-Subdivision of a portion of Lot 70, Block 1 of "The Amended Plat of a Portion of Lot 1, and all of Lots 2, 3, 4, 5 and 6, Block 1 of The Plantation No. 2" (Subdivision), located in Government Lot 2 in the Southwest Quarter of Section 30, Township 4 North, Range 2 East, Boise Meridian, Garden City, Ada County, Idaho, being more particularly described as follows:

Commencing at the North One Quarter Section Corner common to Sections 19 and 30 of said Township 4 North, Range 2 East, (from which point the Northwest Corner of said Section 30 bears South 89°39'31" West, 2857.53 feet distant);

Thence from said North One Quarter Section Corner, South 15°42'27" West, a distance of 3361.15 feet to the Southeast Corner of Lot 52, Block 1 of The Plantation No. 1 (a Subdivision), as same is shown on the Plat thereof Recorded in Book 44 of Plats at Pages 3529 to 3531 of Ada County Records;

Thence South 58° 14' 32" West, a distance of 26.20 feet (formerly described as 26.26 feet) on the southerly lot line of said Lot 52 to a point of curve on the easterly right-of-way line of West Gramarcy Lane, as same is shown on the Plat of said The Plantation No. 1;

Thence 17.23 feet on the arc of a curve to the right, said curve having a radius of 45.00 feet, a central angle of 25° 56' 34", a chord bearing of South 21° 04' 20" East, and a chord length of 17.13 feet on the easterly right-of-way line of West Gramarcy Lane to a point of curve, said point being the POINT OF BEGINNING;

Thence 33.12 feet on the arc of a curve to the right, said curve having a radius of 53.00 feet, a central angle of 35° 48' 14", a chord bearing of South 62° 18' 40" East, and a chord length of 32.58 feet;

Thence South 44° 24' 33" East, a distance of 83.48 feet;

Thence South 00° 36' 24" West, a distance of 110.93 feet;

Thence South 52° 45' 01" East, a distance of 67.56 feet;

Thence North 37° 29' 49" East, a distance of 21.00 feet;

Thence South 52° 30' 11" East, a distance of 32.00 feet;

Thence South 37° 29' 49" West, a distance of 24.32 feet to a point of curve;

Thence 42.13 feet on the arc of a curve to the left, said curve having a radius of 23.00 feet, a central angle of 104° 57' 17", a chord bearing of South 14° 58' 49" East, and a chord length of 36.48 feet to a point of compound curve;

Thence 18.47 feet on the arc of a curve to the left, said curve having a radius of 43.00 feet, a central angle of 24° 36' 53", a chord bearing of South 79° 45' 55" East, and a chord length of 18.33 feet;

Thence South 08° 15' 27" East, a distance of 35.01 feet to a point on the northerly lot line of Lot 91, Block 1 of Investors Plantation on the River (a Subdivision), as same is shown on the Plat thereof recorded in Book 59 of Plats at Pages 5702 to 5703 of Ada County Records;

Thence South 80° 32' 34" West, a distance of 27.02 feet on the northerly lot line of said Lot 91, Block 1 of Investors Plantation on the River;

Thence South 18° 36' 24" West, a distance of 135.10 feet on the westerly lot line of said Lot 91 to an angle point in the southerly boundary line of Lot 70, Block 1 of said "The Amended Plat of a

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Portion of Lot 1, and all of Lots 2, 3, 4, 5 and 6, Block 1 of the Plantation No. 2" (Subdivision), said point being on the North Bank of the Boise River;  
 Thence North 59° 34' 26" West, a distance of 120.71 feet on the southerly boundary line of Lot 70, Block 1 of said "The Amended Plat of a Portion of Lot 1, and all of Lots 2, 3, 4, 5 and 6, Block 1 of the Plantation No. 2" (Subdivision), said line also being on the North Bank of the Boise River;  
 Thence North 52° 30' 11" West, a distance of 212.38 feet on the southerly boundary line of said Lot 70, Block 1 and the North Bank of the Boise River;  
 Thence North 57° 36' 24" East, a distance of 77.34 feet on the westerly boundary line of said Lot 70, Block 1;  
 Thence South 89° 23' 36" East, a distance of 105.00 feet on the southwesterly boundary line of said Lot 70, Block 1;  
 Thence North 00° 36' 24" East, a distance of 145.00 feet on the westerly boundary line of said Lot 70, Block 1;  
 Thence North 44° 24' 33" West, a distance of 54.17 feet on the boundary line of said Lot 70, Block 1 to a point on a curve on the easterly right-of-way line of West Gramarcy Lane;  
 Thence 43.55 feet on the arc of a curve to the left, said curve having a radius of 45.00 feet, a central angle of 55° 27' 16", a chord bearing of North 17° 37' 35" East, and a chord length of 41.87 feet. on the easterly right-of-way line of West Gramarcy Lane to the POINT OF BEGINNING.

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May 20, 2020  
Project No.: 118161

GLASS ISLAND VIEW SUBDIVISION  
FINAL PLAT DESCRIPTION

A parcel of land being a Re-Subdivision of a portion of Lot 70, Block 1 of "The Amended Plat of a Portion of Lot 1, and all of Lots 2, 3, 4, 5 and 6, Block 1 of The Plantation No. 2" (Subdivision), located in Government Lot 2 in the Southwest Quarter of Section 30, Township 4 North, Range 2 East, Boise Meridian, Garden City, Ada County, Idaho, being more particularly described as follows:

Commencing at the North One Quarter Section Corner common to Sections 19 and 30 of said Township 4 North, Range 2 East, (from which point the Northwest Corner of said Section 30 bears South 89°39'31" West, 2857.53 feet distant);

Thence from said North One Quarter Section Corner, South 15°42'27" West, a distance of 3361.15 feet to the Southeast Corner of Lot 52, Block 1 of The Plantation No. 1 (a Subdivision), as same is shown on the Plat thereof Recorded in Book 44 of Plats at Pages 3529 to 3531 of Ada County Records;

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Thence 17.23 feet on the arc of a curve to the right, said curve having a radius of 45.00 feet, a central angle of 25° 56' 34", a chord bearing of South 21° 04' 20" East, and a chord length of 17.13 feet on the easterly right-of-way line of West Gramarcy Lane to a point of curve, said point being the POINT OF BEGINNING;

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Thence South 37° 29' 49" West, a distance of 24.32 feet to a point of curve;

Thence 42.13 feet on the arc of a curve to the left, said curve having a radius of 23.00 feet, a central angle of 104° 57' 17", a chord bearing of South 14° 58' 49" East, and a chord length of 36.48 feet to a point of compound curve;

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Thence North 59° 34' 26" West, a distance of 120.71 feet on the southerly boundary line of Lot 70, Block 1 of said "The Amended Plat of a Portion of Lot 1, and all of Lots 2, 3, 4, 5 and 6, Block 1 of the Plantation No. 2" (Subdivision), said line also being on the North Bank of the Boise River;

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Thence North 57° 36' 24" East, a distance of 77.34 feet on the westerly boundary line of said Lot 70, Block 1;

Thence South 89° 23' 36" East, a distance of 105.00 feet on the southwesterly boundary line of said Lot 70, Block 1;

Thence North 00° 36' 24" East, a distance of 145.00 feet on the westerly boundary line of said Lot 70, Block 1;

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Thence 43.55 feet on the arc of a curve to the left, said curve having a radius of 45.00 feet, a central angle of 55° 27' 16", a chord bearing of North 17° 37' 35" East, and a chord length of 41.87 feet. on the easterly right-of-way line of West Gramarcy Lane to the POINT OF BEGINNING.

The above described parcel contains 1.36 acres more or less.

PREPARED BY:  
**The Land Group, Inc.**

James R. Washburn, PLS



ADA COUNTY RECORDER Christopher D. Rich  
BOISE IDAHO Pgs=19 LISA BATT  
FIDELITY NATIONAL TITLE - BOISE

**2018-120827**  
**12/24/2018 11:04 AM**  
\$15.00

**WHEN RECORDED RETURN TO  
AND MAIL TAX STATEMENTS TO:**

Glass Creek, LLC  
6501 Fruitvale Avenue  
Bakersfield, CA 93308

*34601808286 T.O.*

-----SPACE ABOVE THIS LINE FOR RECORDER'S USE-----

**SPECIAL WARRANTY DEED**

**(Plantation Country Club)**

**AGC Realty LLC**, a Delaware limited liability company ("**Grantor**"), in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration in hand paid by **Glass Creek, LLC, a California Limited Liability Company** ("**Grantee**"), with an address of 6501 Fruitvale Avenue, Bakersfield, California 93308, the receipt and sufficiency of which is hereby acknowledged, hereby **GRANTS, BARGAINS, SELLS AND CONVEYS** unto Grantee, the real property located in the County of Ada, State of Idaho, and more particularly described on Exhibit A attached hereto and made a part hereof for all purposes, including all fixtures and improvements located thereon and rights and appurtenances thereto (the "**Property**"), subject to, however, all easements, declarations, covenants, encumbrances, restrictions and all other matters of record (collectively, the "**Permitted Encumbrances**").

TO HAVE AND TO HOLD the Property, subject to the Permitted Encumbrances, unto the said Grantee and its successors and assigns, and Grantor further warrants and will defend the title to the Property against all persons who may lawfully claim the same, by, through, or under Grantor, but not otherwise, except as to the Permitted Encumbrances.

[Signature Follows]

WHEN RECORDED RETURN TO  
AND MAIL TAX STATEMENTS TO:

Glass Creek, LLC  
6501 Fruitvale Avenue  
Bakersfield, CA 93308

**Electronically Recorded  
Stamped First Page Now  
Incorporated As Part of  
The Original Document**

34601808286 T.O.

-----SPACE ABOVE THIS LINE FOR RECORDER'S USE-----

**SPECIAL WARRANTY DEED**

**(Plantation Country Club)**

AGC Realty LLC, a Delaware limited liability company ("Grantor"), in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration in hand paid by **Glass Creek, LLC, a California Limited Liability Company** ("Grantee"), with an address of 6501 Fruitvale Avenue, Bakersfield, California 93308, the receipt and sufficiency of which is hereby acknowledged, hereby GRANTS, BARGAINS, SELLS AND CONVEYS unto Grantee, the real property located in the County of Ada, State of Idaho, and more particularly described on Exhibit A attached hereto and made a part hereof for all purposes, including all fixtures and improvements located thereon and rights and appurtenances thereto (the "**Property**"), subject to, however, all easements, declarations, covenants, encumbrances, restrictions and all other matters of record (collectively, the "**Permitted Encumbrances**").

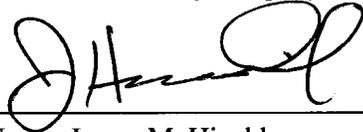
TO HAVE AND TO HOLD the Property, subject to the Permitted Encumbrances, unto the said Grantee and its successors and assigns, and Grantor further warrants and will defend the title to the Property against all persons who may lawfully claim the same, by, through, or under Grantor, but not otherwise, except as to the Permitted Encumbrances.

[Signature Follows]

IN WITNESS WHEREOF, Grantor has executed this Deed as of this 21 day of December, 2018.

**GRANTOR:**

**AGC REALTY LLC,**  
a Delaware limited liability company

By:   
Name: James M. Hinckley  
Its: President

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

**NOTARIAL ACKNOWLEDGMENT**

STATE OF CALIFORNIA                    )  
  )  
COUNTY Los Angeles                    )

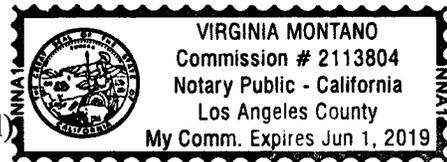
On 12/10/18, before me, Virginia Montano, Notary Public,  
*(here insert name and title of the officer)*

personally appeared James M. Hinckley,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) ~~is~~ are  
subscribed to the within instrument and acknowledged to me that ~~he~~ she/they executed the same  
in ~~his~~ her/their authorized capacity(ies), and that by ~~his~~ her/their signature(s) on the instrument  
the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Virginia Montano (Seal)



## Exhibit A

### Legal Description

#### Parcel I

A parcel of land lying in portions of Government Lot 1, Section 24, and Government Lot 1 of Section 25, all in Township 4 North, Range 1 East, Boise Meridian, Government Lot 4 of Section 19 and Government Lots 5, 4, 2 and the East 1/2 of the Northwest Quarter of Section 30, all in Township 4 North, Range 2 East, Boise Meridian, Garden City, Ada County, Idaho and more particularly described as follows:

Commencing at the section corner common to the said Sections 24, 25, 19 and 30; thence North 00°00'00" East, 453.12 feet along the Easterly boundary of the said Section 24 to a point, also said point being the REAL POINT OF BEGINNING; thence North 57°45'00" West, 356.04 feet to a point; thence North 50°37'00" West, 404.59 feet to a point; thence South 42°15'00" West, 213.58 feet to a point; thence South 00°00'00" West, 413.86 feet (formerly described as 413.85 feet) to a point of beginning on the Northerly right-of-way line of a 50.00 foot road; thence along the said Northerly right-of-way line of a 50.00 foot road the following courses and distances: Southwesterly along a curve to the left 59.11 feet, said curve having a central angle of 10°06'36", a radius of 335.00 feet, tangents of 29.63 feet and a long chord of 59.04 feet bearing South 80°03'18" West to a point of tangent; thence South 75°00'00" West, 97.42 feet to a point of curve; thence Southwesterly along a curve to the right 45.81 feet, said curve having a central angle of 15°00'00", a radius of 175.00 feet, tangents of 23.04 feet and a long chord of 45.68 feet bearing South 82°30'00" West, to a point of tangent; thence South 90°00'00" West, 338.95 feet to a point of curve; thence Northwesterly along a curve to the right 31.29 feet, said curve having a central angle of 89°38'14", a radius of 20.00 feet, tangents of 19.87 feet and a long chord of 28.19 feet bearing North 45°10'52" West, to a point of ending of curve on the Easterly right-of-way line of Glenwood Street; thence South 00°21'46" East 90.00 feet along the said Easterly right-of-way line of Glenwood Street to a point of beginning of curve on the Southerly right-of-way line of a 50.00 foot road; thence along the said Southerly right-of-way line of a 50.00 foot road the following courses and distances: Northeasterly along a curve to the right 31.54 feet, said curve having a central angle of 90°21'46", a radius of 20.00 feet, tangents of 20.13 feet and a long chord of 28.37 feet bearing North 44°49'07" East, to a point of tangent; thence North 90°00'00" East, 338.38 feet to a point of curve; thence Northeasterly along a curve to the left 58.90 feet, said curve having a central angle of 15°00'00", a radius of 225.00 feet, tangents of 29.62 feet and a long chord of 58.74 feet bearing North 82°30'00" East to a point of tangent; thence North 75°00'00" East, 72.42 feet to a point; thence leaving the said Southerly right-of-way line of a 50.00 foot road South 21°00'00" West, 400.00 feet to a point; thence South 16°30'00" West, 300.00 feet to a point; thence North 80°00'00" West, 193.81 feet to a point; on the toe of slope of the Corps of Engineers Dike - Northside of the Boise River; thence along the said toe of slope of the Corps of Engineers Dike – Northside of the Boise River the following courses and distances: South 47°00'00" East, 45.70 feet to a point; thence South 41°00'00" East, 140.00 feet to a point; thence South 53°00'00" East, 114.00 feet to a point; thence South 60°00'00" East, 136.00 feet to a point; thence South 64°00'00" East, 200.00 feet to a point; thence

South 50°45'25" East, 398.13 feet to a point; thence  
South 60°04'30" East, 160.51 feet to a point; thence  
South 67°04'17" East, 310.74 feet to a point; thence  
South 77°00'00" East, 337.01 feet to a point; thence  
South 57°40'00" East, 81.56 feet to a point; thence  
leaving the said toe of slope of the Corps of Engineers Dike and along the following courses and distances  
along the Northerly Bank of the Boise River  
South 32°20'00" West, 39.00 feet to a point; thence  
South 22°41'54" East, 137.41 feet to a point; thence  
South 43°45'00" East, 37.11 feet to a point; thence  
South 13°45'00" East, 60.75 feet to a point; thence  
South 32°30'11" East, 128.78 feet to a point; thence  
South 13°33'51" East, 211.90 feet to a point; thence  
South 33°01'50" East, 71.24 feet to a point; thence  
South 49°00'00" East, 56.40 feet to a point; thence  
North 71°26'32" East (formerly described as North 71°26'22" East) 168.08 feet to a point marking the most  
Westerly corner of Lot 69 of Block 1 of THE PLANTATION NO. 3, A SUBDIVISION, as filed for Record in  
the Office of the Ada County Recorder, Boise, Idaho in Book 51 of Plats at Pages 4249 and 4250; thence  
along the Northwesterly and Northeasterly boundaries of the said The Plantation No. 3 the following  
courses and distances: thence  
South 85°00'00" East, 548.01 feet to a point; thence  
South 48°00'00" East, 129.60 feet to a point; thence  
South 22°00'00" East, 420.00 feet to a point marking the most Easterly corner of Lot 7 of Block 6 of the  
said The Plantation No. 3; thence  
continuing along the Northerly boundary of THE PLANTATION NO. 1, A SUBDIVISION, as filed for record  
in the Office of the Ada County Recorder, Boise, Idaho in Book 44 of Plats at Pages 3529, 3530 and 3531  
the following courses and distances:  
South 22°00'00" East, 372.26 feet to a point; thence  
North 61°29'25" East, 138.20 feet to a point; thence  
North 85°00'00" East, 100.00 feet to a point; thence  
North 55°45'13" East, 57.32 feet (formerly described as North 55°45'04" East 57.31 feet) to a point; thence  
North 85°00'00" East, 100.00 feet to a point; thence  
North 85°58'09" East, 192.10 feet to a point; thence  
North 89°00'00" East, 103.69 feet to a point; thence  
South 67°10'00" East, 54.66 feet to a point; thence  
South 90°00'00" East, 115.0 feet to a point; thence  
North 02°00'00" East, 22.84 feet to a point marking the Northwest corner of Lot 3 of Block 3 of the said  
The Plantation No. 1; thence  
South 89°57'40" West, 24.48 feet to a point; thence  
North 00°01'00" West, 328.39 feet to a point; thence  
North 90°00'00" East, 193.20 feet to a point; thence  
North 14°03'00" West, 254.10 feet to a point; thence  
North 28°27'00" West, 198.00 feet to a point; thence  
North 39°25'00" West, 165.00 feet to a point; thence  
North 37°16'00" West, 204.60 feet to a point; thence  
North 44°35'00" West, 256.08 feet to a point; thence  
North 39°03'00" East, 268.61 feet (formerly described as 268.62 feet) to a point on the Southwesterly  
right-of-way line of State Highway No. 44 (West State Street); thence  
along the said Southwesterly right-of-way line of State Highway No. 44 the following courses and  
distances:  
North 51°24'30" West, 122.55 feet to a brass cap; thence  
North 51°26'10" West, 1,449.43 feet to a brass cap marking a point of curve; thence  
Northwesterly along a curve to the left 217.09 feet, said curve having a central angle of 00°43'19", a radius  
of 17,229.00 feet, tangents of 108.55 feet, and a long chord of 217.09 feet bearing  
North 51°47'50" West (formerly described as North 51°04'32" West) to a point of ending of curve on the  
Southeasterly boundary of PLANTATION ACRES SUBDIVISION NO. 1, as filed for record in the office of

the Ada County Recorder, Boise, Idaho, in Book 14 of Plats at Page 941; thence South 45°17'00" West, 449.59 feet (formerly described as 452.33 feet) along the said Southeasterly boundary of PLANTATION ACRES SUBDIVISION NO. 1 to a point; thence North 49°23'00" West, 169.72 feet (formerly described as 169.40 feet) to a pint; thence North 21°43'00" West, 351.16 feet to a point; thence North 15°19'00" West, 222.07 feet to a point; thence North 57°45'00" West, 397.09 feet to the POINT OF BEGINNING.

Except

All of LAKE PLANTATION SUBDIVISION, as filed for record in the office of the Ada County Recorder, Boise, Idaho, in Book 56 of Plats at Pages 5210, 5211 and 5212.

And Except

All of THE PLANTATION NO.4 SUBDIVISION, according to the Official plat thereof, filed in Book 58 of Plats at Page(s) 5480 and 5481, Records of Ada County, Idaho.

And Except

All of WEDGWOOD GREENS SUBDIVISION, according to the Official plat thereof, filed in Book 60 of Plats at Page(s) 6042 and 6043, Records of Ada County, Idaho.

And Except

All of a WANNER'S PLANTATION ESTATES SUBDIVISION, according to the Official Plat thereof, filed in Book 59 of Plats at Page(s) 5680 and 5681, Records of Ada County, Idaho.

And Except

All of THE TOWNHOUSE AT PLANTATION NO. 1 SUBDIVISION, according to the Official plat thereof, file in Book 45 of Plats at Page(s) 3691, as amended by Affidavit (Street Name Change) recorded June3, 1994 as Instrument No. 94052325, Records of Ada County, Idaho.

And Except

A parcel of land located in Section 30, Township 4 North, Range 2 East, Boise Meridian, more particularly described as follows:

Commencing at the Northeast corner of Lot 13, Block 6, The Plantation No. 3, according to the official plat thereof, filed in Book 51 of Plats at Pages 4249 and 4250, Records of Ada County, Idaho, the REAL POINT OF BEGINNING of this description; thence North 85°00'00" West 90.46 feet along the North line of said Lot 13 to a point; thence North 65°00'00" East 89.41 feet to a point; thence South 11°15'00" East 46.57 feet to the REAL POINT OF BEGINNING of this description.

And Except

A parcel of Land being on the Easterly side of the centerline of State Highway No. 44 (Glenwood St.) Project No. NH-STP-F-3190 (100) Highway Survey as shown on the plans thereof, now on file in the office of The Idaho Transportation Department, and being a portion of Government Lot 1 of Section 25, Township 4 North, Range 1 East, Boise Meridian, described as follows to-wit:

Commencing at the Southwest corner of Section 24, Township 4 North, Range 1 East, Boise Meridian; thence South 89°29'02" East, along the South line of said Section 24, a distance of 3871.56 feet to a point on the

Glenwood Street Centerline Coincident with Station 152+80.19 of said State Street Highway No. 44 (Glenwood St.), Project No. NH-STP-F-3190 (100) Highway Survey; thence South 3°51'22" West, along said centerline 199.87 feet to Station 150+80.32 of said Highway Survey; thence

South 44°39'33" East, 230.75 feet to a point in a line common to The Properties of City of Garden City, First Security Bank, Trustee and Golf Enterprises, Inc., which is Westerly and radially 179.85 feet from Station 6+83.74 of the access Road Survey as shown on tile plans of said State Highway No. 44 (Glenwood St.) Highway Survey, and being the REAL POINT OF BEGINNING; thence along said common property line as follows:

South 46°27'00" East (shown on record as North 47°00'00" West) 45.62 feet to a point which is Westerly and radially 144.73 feet from Station 6+97.0 of said access Road Survey;

South 40°27'00" East (shown of record as South 41°00'00" East) 140.0 feet to a point which is Westerly and radially 79.5 feet from Station 7+66.0 of said access Road Survey;

South 52°27'00" East 114.0 feet to a point which is Southwesterly and radially 62.47 feet from Station 8+41.77 of said access Road Survey;

South 59°27'00" East (shown of record as South 60°00'00" East) 136.0 feet to a point which is Southwesterly and radially 5.57 feet from Station 10+00.73 of said access Road Survey;

South 63°27'00" East, 29.94 feet to a point in a line parallel with and 18.0 feet Northeasterly from centerline and opposite Station 10+19.19 of said access Road Survey; thence along said parallel line as follows:

North 11°31'07" West 37.47 feet to a point opposite Station 9+81.72 of said access road survey

Northwesterly along a 153.00 foot radius curve left (the long chord of which bears North 35°24'29" West, 123.92 feet) an arc length of 127.59 feet to a point opposite Station 8+69.14 of said access Road Survey

North 59°17'51" West, 30.10 feet to a point opposite Station 8+39.04 of said access Road Survey,

Northwesterly and Northerly along a 117.0 foot radius curve right (the long chord of which bears North 21°05'20" West, 144.74 feet) an arc length of 156.05 feet to a point on a line common to the properties of First Security Bank, Trustee and Golf Enterprises, Inc., and opposite Station 6+58.99 of said access Road Survey; thence

South 17°07'11" West, along said common property line 35.55 to a point that is Northeasterly and radially 12.72 feet from Station 6+98.81 of said access Road Survey; thence

North 79°21'20" West (shown of record as North 80°00'00" West), continuing along said common property line 193.81 feet to the REAL POINT OF BEGINNING.

And Except

A parcel of land lying in Government Lot 2 of Section 30, Township 4 North, Range 2 East, Boise Meridian, Garden City, Ada County, Idaho, and more particularly described as follows:

Beginning at the Northwest corner of Lot 4, Block 3 of THE PLANTATION NO. 1, A SUBDIVISION, as filed for record in the office of the Ada County Recorder, Boise, Idaho, in Book 44 of Plats at Pages 3529, 3530 and 3531, also said point being the REAL POINT OF BEGINNING; thence

North 90°00'00" East, 115.00 feet along the Northerly boundary of the said Lot 4 of Block 3 of The Plantation No. 1 to a point on the Westerly boundary of Lot 3 of the said Block 3 of The Plantation No. 1; thence

North 2°00'00" East, 22.84 feet along the said Westerly boundary of the said Lot 3 of Block 3 of The Plantation No. 1 to a point marking the Northwest corner of the said Lot 3 of Block 3 of The Plantation No. 1; thence

North 89°57'40" West, 116.20 feet to a point on the extended Westerly boundary of the said Lot 4 of Block 3 of The Plantation No. 1; thence

South 1°00'00" East, 22.91 feet along the said extended Westerly boundary of Lot 4 of Block 3 of The Plantation No. 1 the POINT OF BEGINNING.

And Except

A parcel of Land located in the Southeast quarter of the Northwest quarter of Section 30, Township 4 North, Range 2 East, Boise Meridian, Garden City, Ada County, Idaho, more particularly described as

follows:

Beginning at the Southwesterly corner of Lot 1, Block 1 of KESSINGER SUBDIVISION, recorded in Book 73 of Plats at Pages 7586 and 7587, and as Instrument No. 97034245, Ada County Records also being an angle point in a boundary described in a Warranty Deed for Plantation Golf Course, Instrument No. 96063681, Ada County Records; thence along said boundary South 89°58'05" West, 26.61 feet (formerly North 90°00'00" East); thence North 00°01'55" West, 66.04 feet to the Westerly prolongation of the Northerly Lot line of said Lot 1, Block 1; thence North 89°58'05" East, 10.00 feet along said prolongation, to the Northwesterly corner of said Lot 1, and being on the boundary line of said Plantation Golf Course; thence Along said boundary line and the Westerly line of said Lot 1, South 14°09'01" East, 68.08 feet to the POINT OF BEGINNING.

And Except

A parcel of land located in the Southeast quarter of the Northwest quarter of Section 30, Township 4 North, Range 2 East, Boise Meridian, Garden City, Ada County, Idaho, being more particularly described as follows:

Beginning at Northwest corner of Lot 2, Block 1 of KESSINGER SUBDIVISION, recorded in Book 73 of Plats at Pages 7586 and 7587 and as Instrument No. 97034245, Ada County Records; thence along the Westerly line of said Lot South 14°09'01" East, 61.87 feet to the corner common to Lots 1 and 2; thence South 89°58'05" West, 10.00 feet along the prolongation of the line common to Lots 1 and 2; thence North 04°52'56" West, 60.22 feet to the POINT OF BEGINNING.

Parcel II

A parcel of Land being Lot 70 of Block 1 of The Amended Plat of a portion of Lot 1 and all of Lots 2, 3, 4, 5 and 6, Block 1, of Plantation No. 2, as filed for record in the office of the Ada County Recorder, Boise, Idaho, in Book 58 of Plats at Pages 5559 through 5561, lying in portions of Government Lot 2 and the Northwest quarter of the Southeast quarter and all in Section 30, Township 4 North, Range 2 East, Boise Meridian, Garden City, Ada County, Idaho.

And:

A portion of vacated West Sterling Drive fronting Lot 70, Block 1 of the Amended Plat of a portion of Lot 1, and all of Lots 2, 3, 4, 5 and 6, Block 1 of THE PLANTATION NO. 2 SUBDIVISION, as recorded in Book 58 Plats at Pages 5559 through 5561, Records of Ada County, Idaho and lying in Section 30, Township 4 North, Range 2 East, Boise Meridian, Ada County, Idaho, more particularly described as follows:

Commencing at the Northwest corner of Lot 71, Block 1 of said Amended Plat of THE PLANTATION NO. 2 SUBDIVISION; thence South 15°00'44" West, between Lots 70 and 71, 90.59 feet to the Southwesterly corner of said Lot 71 and the REAL POINT OF BEGINNING; thence continuing South 15°00'44" West, 19.41 feet to a point 25.00 feet Northerly of the centerline, of West Sterling Drive; thence 50.45 feet along a curve to the right having a radius of 225.00 feet, a central angle of 12°50'49" and a long chord which bears North 81°39'29" West, 50.34 feet to a P.K. nail and washer marking a corner to Lot 70, Block 1 of said Amended Plat of THE PLANTATION NO. 2 SUBDIVISION, being common to the Southeasterly corner of Lot 15, Block 1 of THE PLANTATION NO. 1 SUBDIVISION as recorded in Book 44 of Plats at Pages 3529 and 3530, Records of Ada County, Idaho; thence

60.47 feet (record 60.46) along a curve to the right having a radius of 45.00 feet, a central angle of 76°59'27" (record 76°59'02"), and a long chord which bears North 78°12'49" East 56.02 feet to the REAL POINT OF BEGINNING.

And

A portion of vacated West Sterling Drive fronting Lot 70, Block 1 of the Amended Plat of a portion of Lot 1, and all of Lots 2, 3, 4, 5 and 6, Block 1 of THE PLANTATION NO. 2 SUBDIVISION, as recorded in Book 58 of Plats at Pages 5559 through 5561, records of Ada County, Idaho and lying in Section 30, Township 4 North, Range 2 East, Boise Meridian, Ada County, Idaho, more particularly described as follows:

Commencing at a 5/8 inch iron pin lying on the Southerly right-of-way line of West Sterling Drive and marking the most Easterly corner of Lot 47, Block 1 of THE PLANTATION NO. 1 SUBDIVISION, as recorded in Book 44 of Plats at Pages 3529 and 3530, and amended by Affidavit (Street Name Change) recorded June 3, 1994 as Instrument No. 94052325, records of Ada County, Idaho and being common to a corner of Lot 70, Block 1 of said Amended Plat of THE PLANTATION NO. 2 SUBDIVISION, and the REAL POINT OF BEGINNING; thence

62.13 feet along a curve to the left being 25.00 feet Southerly of the centerline of West Sterling Drive, having a radius of 275.00 feet, a central angle of 12°56'37", and a long chord which bears South 83°45'39" East, 61.99 feet to a point; thence South 88°32'46" West, 15.47 feet (record West, and South 89°05'07" East, 14.97 feet) to a point; thence 93.75 feet along a curve to the right, having a radius of 45.00 feet, a central angle of 119°21'38" (record 119°21'17"), and a long chord which bears North 84°43'45" West, 77.69 feet to the REAL POINT OF BEGINNING.

Parcel III

All of Lot 2 of Block 4 of The Plantation No. 1, a subdivision, as filed for record in the office of the Ada County Recorder, Boise, Idaho, in Book 44 of Plats at Pages 3529, 3530 and 3531, amended by Affidavit (Street Name Change) recorded June 3, 1994 as Instrument No. 94052325, of Official Records, and further amended by Affidavit (Street Name Change) recorded August 21, 2012 as Instrument No. 112084405 of Official Records.

AND

All of Lot 2 Block 5 of The Plantation No. 1, a subdivision, as filed for record in the office of the Ada County Recorder, Boise, Idaho, in Book 44 of Plats at Pages 3529, 3530 and 3531, amended by Affidavit (Street Name Change) recorded June 3, 1994 as Instrument No. 94052325, of Official Records and further amended by Affidavit (Street Name Change) recorded August 21, 2012 as Instrument No. 112084405 of Official Records.

And

Lot 3 in Block 1 of ORLOVICH'S PLANTATION SUBDIVISION, according to the Official Plat thereof, filed in Book 58 of Plats at Page(s) 5633 and 5634, Records of Ada County, Idaho, as Amended by Affidavit of Correction, Recorded June 26, 1991, as Instrument No. 9134226, of Official Records.

Parcel IV

An exclusive perpetual Easement for pedestrian and Vehicular use established by deed recorded February 14, 1980 as Instrument No. 8007799 over the following described parcels:

A portion of Government Lot 2, in Section 30, Township 4 North, Range 2 East, Boise Meridian, Garden City, Idaho, more particularly described as follows:

Beginning at the most Northerly point of Lot 48, Block 1, THE PLANTATION NO. 1 SUBDIVISION, thence North 55°26'20" West, 55.37 feet, thence North 60°00'00" East, 22.15 feet, thence South 55°26'20" East, 55.37 feet, thence South 60°00'00" West, 22.15 feet to the REAL POINT OF BEGINNING.

AND

A portion of Government Lot 2, Section 30, Township 4 North, Range 2 East, Boise Meridian, Garden City, Idaho, more particularly described as follows:

Beginning at the Northwest Corner of Lot 14, Block 1, THE PLANTATION NO. 1 SUBDIVISION; thence on a curve to the left, whose central angle is 2°25'48", whose radius is 475.00 feet, whose length is 20.15 feet, and whose long chord bears South 83°07'17" West 20.15 feet; thence North 50.46 feet, thence on a curve to the right, whose central angle is 2°11'45", whose radius is 525.00 feet, whose length is 20.12 feet, and whose long chord bears North 83°46'46" East 20.12 feet; thence South 50.22 feet to the REAL POINT OF BEGINNING.

And:

A portion of Government Lot 2, Section 30, Township 4 North, Range 2 East, Boise Meridian, Garden City, Idaho, more particularly described as follows:

An easement 15' East and South of the following described line:

Beginning at the Northeasterly corner of Lot 53, Block 1, THE PLANTATION SUBDIVISION; thence South 45°00' East, 54.14 feet; thence South 145.00 feet; thence West 105.00 feet; thence South 57° West, 38.00 feet; thence South 56.52 feet to a point on the West boundary line of THE PLANTATION NO. 1 SUBDIVISION.

And:

A portion of the Northwest quarter, Southeast quarter, Section 30, Township 4 North, Range 2 East, Boise Meridian, Garden City, Idaho, more particularly described as follows:

Beginning at the Southeast corner of Lot 15, Block 1, THE PLANTATION NO. 1 SUBDIVISION; thence On a curve to the right, whose central angle is 33°26'17", whose radius is 45.00 feet, whose length is 26.26 feet, and whose long chord bears North 59°52'25" East, 25.89 feet; thence South 09°17'50" West, 83.03 feet; thence on a curve to the right, whose central angle is 33°26'17", whose radius is 45.00 feet, whose length is 26.26 feet, and whose long chord bears North 41°16'40" West 25.89 feet; thence North 09°17'50" East 50.14 feet to the REAL POINT OF BEGINNING.

Parcel V:

An Easement for access as delineated over the Southwesterly 20 feet of Lot 1, Block 1 of ORLOVICH'S PLANTATION SUBDIVISION as filed in Book 58 of Plats at Pages 5633 and 5634, Records of Ada County, Idaho.

Parcel VI:

Reciprocal Easements for encroachments as more particularly described in that certain Master Declaration of The Plantation dated February 21, 1978 and recorded February 24, 1978 as Instrument No. 7809725, as modified or amended by instrument nos. 7865989, 8004454, 8006448, 94040475, 102063849, 103035939, 105052685 and 108057403 Records of Ada County, Idaho.

And such fee interest is further described as:

Plantation Golf Course Description

Parcel A

A parcel of Land located is Sections 19 and 30 of Township 4 North, Range 2 East, Boise Meridian, and Sections 24 and 25 of Township 4 North, Range 1 East, Boise Meridian, Garden City, Ada County, Idaho, being more particularly described as follows:

Commencing at the One Quarter Section Corner common to Sections 19 and 30 of said Township 4 North, Range 2 East, (from which point the Center One quarter Corner of said Section 30 bears South 00°33'39" West, 2650.54 feet distant);

thence

from said One quarter Section Corner, South 87°29'41" West, a distance of 1889.58 feet to the Southeasterly corner of Lot 16, Block 1 of PLANTATION ACRES SUBDIVISION, recorded in Book 14 of Plats at Page 941 of Ada County Records, said point being on the Southerly right-of-way line of West State Street, said point also being the POINT OF BEGINNING;

thence

South 45°44'14" West, a distance of 449.59 feet (formerly described as 450.00 feet) on the Southerly boundary line of said PLANTATION ACRES SUBDIVISION to the Southwesterly Lot corner of Lot 6, Block 1 of said PLANTATION ACRES SUBDIVISIONS;

thence

North 48°55'46" West, a distance of 169.72 feet;

thence

North 21°15'46" West, a distance of 351.16 feet;

thence

North 14°51'46" West, a distance of 222.07 feet;

thence

North 56°57'18" West, a distance of 753.13 feet;

thence

North 49°49'19" West, a distance of 273.53 feet to the Easterly most Lot corner of Lot 5, Block 1 of LAKE PLANTATION SUBDIVISION, recorded in Book 56 of Plats at Page 5210, Ada County Records;

thence

On the exterior boundary line of said LAKE PLANTATION SUBDIVISION the following courses and distances:

thence

South 42°55'39" West, a distance of 201.60 feet;

thence

South 61°24'44" East, a distance of 225.34 feet;

thence

South 83°25'05" East, a distance of 188.28 feet;

thence

South 62°24'46" East, a distance of 244.87 feet;

thence

South 41°23'58" East, a distance of 469.65 feet;

thence

South 14°52'26" East, a distance of 195.00 feet to Southeast Lot corner of Lot 23, Block 1 of said LAKE PLANTATION SUBDIVISION, said point also being the Northeast Lot corner of Lot 12, Block 1 of The

Townhouse at Plantation No. 1, recorded in Book 45 of Plats at Page 3691, Ada County Records:

thence

leaving the exterior boundary line of said LAKE PLANTATION SUBDIVISION and on the exterior boundary line of said The Townhouse at Plantation No. 1 for the following courses and distances:

thence

South 14°53'03" East, a distance of 200.01 feet (formerly described as 200.00 feet);

thence

South 25°23'03" East, a distance of 200.00 feet;

thence

South 61°36'57" West, a distance of 265.00 feet;

thence

North 24°23'03" West, a distance of 393.00 feet to the Northwest Lot corner of Lot 12, Block 2 of said The Townhouse At Plantation No. 1, said point also being the Southwest lot corner of Lot 26, Block 1 of said LAKE PLANTATION SUBDIVISION;

thence

leaving the exterior boundary line of said The Townhouse at Plantation No. 1 and on the exterior boundary line of said LAKE PLANTATION SUBDIVISION the following courses and distances:

thence

North 24°23'05" West, a distance of 406.94 feet;

thence

North 28°55'06" West, a distance of 71.80 feet;

thence

North 28°58'45" West, a distance of 216.31 feet to a point of curve;

thence

137.53 feet on the arc of a curve to the left, said curve having a radius of 74.71 feet, a central angle of 105°28'35", a chord bearing of North 81°42'51" West, and a chord length of 118.92 feet;

thence

South 45°33'04" West, a distance of 197.78 feet to a point of curve, said point being on the Northerly right-of-way line of West Riverside Drive;

thence

271.85 feet on the arc of a curve to the left, said curve having a radius of 335.00 feet, a central angle of 46°29'41", a chord bearing of North 71°01'57" West, and a chord length of 264.45 feet on the Northerly right-of-way line of said West Riverside Drive to the Southwest Lot corner of Lot 1, Block 1 of said LAKE PLANTATION SUBDIVISION, said point being a point of curve;

thence

leaving said LAKE PLANTATION SUBDIVISION and on the Northerly right-of-way line of West Riverside Drive for the following courses and distances:

thence

59.12 feet on the arc of a curve to the left, said curve having a radius of 335.00 feet, a central angle of 10°06'39", a chord bearing of South 80°39'34" West, and a chord length of 59.04 feet;

thence

South 75°36'16" West, a distance of 97.42 feet to a point of curve;

thence

45.81 feet the arc of a curve to the right, said curve having a radius of 175.00 feet, a central angle of 14°59'55", a chord bearing of South 83°06'16" West, and a chord length of 45.68 feet;

thence

North 89°23'44" West, a distance of 338.95 feet to a point of curve;

thence

31.28 feet on the arc of a curve to the right, said curve having a radius of 20.00 feet, a central angle of 89°37'07", a chord bearing of North 44°34'36" West, and a chord length of 28.19 feet to a point on the Easterly right-of-way line of North Glenwood Street;

thence

South 00°14'30" West, a distance of 90.00 feet on the Easterly right-of-way line of North Glenwood Street a point of curve on the Southerly right-of-way line of North Riverside Drive;

thence

31.54 feet on the arc of a curve to the right, said curve having a radius of 20.00 feet, a central angle of

90°20'52", a chord bearing of North 45°25'23" East, and a chord length of 28.37 feet on the Southerly right-of-way line of West Riverside Drive;

thence

South 89°23'44" East, a distance of 338.38 feet to a point of curve on the Northerly boundary line of DARON SUBDIVISION NO. 1, recorded in Book 86 of Plats at Page 9709, Ada County Records;

thence

58.91 feet on the arc of a curve to the left, said curve having a radius of 225.00 feet, central angle of 15°00'03", a chord bearing of North 83°06'16" East, and a chord length of 58.74 feet on the Northerly boundary line of said Daron Subdivision No.1;

thence

North 75°36'16" East, a distance of 72.42 feet (formerly described as 72.14 feet) to the Northeast corner of Lot 9, Block 1 of said DARON SUBDIVISION NO. 1;

thence

South 21°36'16" West, a distance of 400.00 feet (formerly described as 399.97 feet) on the easterly boundary line of said DARON SUBDIVISION NO. 1;

thence

South 17°06'16" West, a distance of 266.41 feet on the easterly boundary of said DARON SUBDIVISION NO. 1 to point of curve;

thence

154.10 feet on the arc of a curve to the left, said curve having a radius of 117.00 feet, a central angle of 75°27'42", a chord bearing of South 21°36'31" East, and a chord length of 143.20 feet;

thence

South 59°20'16" East, a distance of 30.10 feet to a point of curve;

thence

127.58 feet on the arc of a curve to the right, said curve having a radius of 153.00 feet, a central angle of 47°46'41", a chord bearing of South 35°26'54" East, and a chord length of 123.92 feet;

thence

South 11°33'32" East, a distance of 38.45 feet to a point on the toe of slope of the Corps of Engineers Dike - Northside of the Bose River;

Thence

On the toe of slope of the Corps of Engineers Dike – Northside of the Boise River for the following courses and distances:

thence

South 63°23'44" East, a distance of 169.37 feet;

thence

South 50°09'09" East, a distance of 398.13 feet;

thence

South 59°28'14" East, a distance of 160.51 feet;

thence

South 66°28'01" East, a distance of 310.74 feet;

thence

South 76°23'44" East, a distance of 337.01 feet;

thence

South 57°03'44" East, a distance of 81.56 feet;

thence

leaving the toe of slope of the Corps of Engineers Dike and on the Northerly Bank of the Boise River for the following courses and distances:

thence

South 32°56'16" West, a distance of 39.00 feet;

thence

South 22°05'38" East, a distance of 137.41 feet;

thence

South 43°08'44" East, a distance of 37.11 feet;

thence

South 13°08'44" East, a distance of 60.68 feet to a point on the westerly boundary line of WANNER'S PLANTATION ESTATES SUBDIVISION, recorded in Book 59 of Plats at Page 5680, Ada County

Records:

thence

Leaving the Northerly Bank of the Boise River and on the exterior boundary line of said WANNER'S PLANTATION ESTATES SUBDIVISION for the following courses and distances:

thence

North 06°50'16" West, a distance of 140.53 feet;

thence

North 88°24'44" East, a distance of 226.06 feet;

thence

North 64°53'44" East, a distance of 15.00 feet;

thence

North 04°02'16" West, a distance of 106.77 feet;

thence

South 89°24'50" East, a distance of 49.61 feet (formerly described as 49.60 feet);

thence

South 51°50'16" East, a distance of 161.80 feet;

thence

South 39°30'16" East, a distance of 413.97 feet;

thence

South 31°55'16" East, a distance of 73.32 feet;

thence

South 10°40'16" East, a distance of 177.72 feet to a point on the Northerly boundary line of THE PLANTATION NO. 3 SUBDIVISION, recorded in Book 51 of Plats at Page 4249, Ada County Records;

thence

leaving said WANNER'S PLANTATION ESTATES SUBDIVISION and on the exterior boundary line of said THE PLANTATION NO. 3 SUBDIVISION for the following courses and distances:

thence

South 84°23'44" East, a distance of 174.93 feet; thence

South 47°23'44" East, a distance of 129.60 feet;

thence

South 21°23'44" East, a distance of 420.00 feet to the Northeast lot corner of Lot 6, Block 5 of THE PLANTATION NO. 1 SUBDIVISION, recorded in Book 44 of Plats at Page 3529, Ada County Records;

thence

South 21°23'44" East a distance of 372.25 feet (formerly described as 372.26 feet) to the Northwest lot corner of Lot 2, Block 5 of said THE PLANTATION NO. 1 SUBDIVISION;

thence

South 10°39'14" West, a distance of 115.89 feet (formerly described as 115.94 feet) to the Southwest lot corner of Lot 2, Block 5 of THE PLANTATION NO. 1 SUBDIVISION, said point being a point on a curve on the Northerly right-of-way line of West Plantation Lane/Drive;

thence

122.18 feet on the arc of a curve to the left, said curve having a radius of 175.00 feet, a central angle of 40°00'04", a chord bearing of North 80°39'14" East, and a chord length of 119.71 feet on the Northerly right-of-way line of West Plantation Lane/Drive;

thence

North 60°39'14" East, a distance of 41.36 feet on the Northerly right-of-way line of said West Plantation Lane/Drive to the Southeast lot corner of Lot 2, Block 5 of said THE PLANTATION NO. 1 SUBDIVISION;

thence

North 04°20'46" West, a distance of 139.20 feet to the Lot corner common of Lot 2, Block 5 of said THE PLANTATION NO. 1 SUBDIVISION and Lot 21, Block 4 of THE PLANTATION NO. 4 SUBDIVISION, recorded in Book 58 of Plats at Page 5480, Ada County Records;

thence

on the boundary line of said THE PLANTATION NO. 4 SUBDIVISION for the following courses and distances:

thence

North 10°22'25" West, a distance of 655.72 feet;

thence

North 59°40'10" East, a distance of 181.76 feet;  
thence  
South 63°38'10" East, a distance of 180.00 feet;  
thence  
South 04°34'28" East, a distance of 611.31 feet (formerly described as 611.30 feet) to the lot corner common to Lot 4, Block 4 of said THE PLANTATION NO. 4 SUBDIVISION and Lot 2, Block 4 of said THE PLANTATION NO. 1 SUBDIVISION;  
thence  
South 04°15'57" East, a distance of 89.83 feet (formerly described as 89.80 feet) to the Southwest lot corner of Lot 2, Block 4 of said THE PLANTATION NO. 1 SUBDIVISION, said point being common with the Northerly right-of-way line of said West Plantation Lane/Drive, said point being a point of curve; thence 97.13 feet the arc of a curve to the right, said curve having a radius of 525.00 feet, a central angle of 10°36'00", a chord bearing of North 87°19'49" East, and a chord length of 96.99 feet on the Northerly right-of-way line of West Plantation Lane/Drive;  
thence  
South 87°15'57" East, a distance of 81.64 feet on the Northerly right-of-way line of West Plantation Lane/Drive to the Southerly Lot corner common to Lots 1 and 2, Block 4 of said THE PLANTATION NO. 1 SUBDIVISION;  
thence  
North 02°44'03" East, a distance of 100.00 feet to the Northerly Lot corner common Lots 1 and 2, Block 4 of said THE PLANTATION NO. 1 SUBDIVISION, said corner being common to the Southwest lot corner of Lot 1, Block 2 of WEDGEWOOD GREENS SUBDIVISION, recorded in Book 60 of Plats at Page 6042, Ada County Records;  
thence  
on the exterior boundary line of said WEDGEWOOD GREENS SUBDIVISION for the following courses and distances:  
thence  
North 08°26'51" West, a distance of 326.92 feet;  
thence  
North 00°05'36" West, a distance of 188.09 feet;  
thence  
South 88°32'03" East, a distance of 132.47 feet;  
thence  
South 33°34'59" East, a distance of 164.92 feet to a point of curve;  
thence  
35.48 feet on the arc of a curve to the right, said curve having a radius of 50.00 feet, a central angle of 40°39'24", a chord bearing of South 13°15'21" East, and a chord length of 34.74 feet;  
thence  
North 89°54'24" East, a distance of 114.18 feet;  
thence  
South 00°33'04" West, a distance of 8.42 feet on the easterly boundary line of said WEDGEWOOD GREENS SUBDIVISION;  
thence  
leaving said WEDGEWOOD GREENS SUBDIVISION, South 89°23'00" East, a distance of 117.90 feet;  
thence  
North 00°37'00" East, a distance of 66.04 feet;  
thence  
North 04°14'01" West, a distance of 60.22 feet to the Westerly lot corner common Lots 2 and 3, Block 1 of KESSINGER SUBDIVISION, recorded in Book 73 of Plats at Page 7586, Ada County Records;  
thence  
North 13°30'03" West, a distance of 124.75 feet on the Westerly boundary line of said KESSINGER SUBDIVISION;  
thence  
North 27°54'15" West, a distance of 198.01 feet on the Westerly boundary line of said KESSINGER SUBDIVISION and of SAVANNAH GREENS NO. 4 SUBDIVISION, recorded in Book 79 of Plats at Page 8455, Ada County Records;

thence  
North 38°51'33" West, a distance of 165.00 feet on the Westerly boundary line of said SAVANNAH GREENS NO. 4 SUBDIVISION to the westerly most boundary angle point of said SAVANNAH GREENS NO. 4 SUBDIVISION;

thence  
North 36°48'46" West, a distance of 204.60 feet;

thence  
North 44°07'46" West, a distance of 256.08 feet;

thence  
North 39°30'14" East, a distance of 272.85 feet to a point on the westerly right-of-way line of West State Street;

thence  
on the westerly right-of-way line of West State Street for the following courses and distances:

thence  
North 50°57'16" West, a distance of 121.33 feet;

thence  
North 50°58'56" West, a distance of 1449.43 feet to a point of curve;

thence  
217.09 feet on the arc of a curve to the left, said curve having a radius of 17,229.00 feet, a central angle of 00°43'19", a chord bearing of North 51°20'36" West, and a chord length of 217.09 feet to the POINT OF BEGINNING.

Also Including:

#### Parcel B

A parcel of land located in Section 30 of Township 4 North, Range 2 East, Boise Meridian, Garden City, Ada County, Idaho, being more particularly described as follows:

Commencing at the One quarter Section Corner common to Section 19 and 30 of said Township 4 North, Range

2 East, (from which point the Center One quarter Corner of said Section 30 bears South 00°33'39" West, 2650.54 feet distant);

thence  
from said One Quarter Section Corner, South 14°48'24" West, a distance of 2896.39 feet to the Northeast corner of Lot 17, Block 1 of THE PLANTATION NO. 2 SUBDIVISION, recorded in Book 45 of Plats at Page 3693 of Ada County Records, said point being on the Southerly right-of-way line of West Plantation Lane/Drive, and also being the POINT OF BEGINNING;

thence  
South 00°07'02" West, a distance of 139.55 feet to the Northeast lot corner of Lot 3, Block 1 of said ORLOVICH'S PLANTATION SUBDIVISION;

thence  
South 88°26'55" West, a distance of 80.26 feet to the lot corner common of Lots 1, 2, and 3, Block 1 of said ORLOVICH'S PLANTATION SUBDIVISION;

thence  
South 63°34'57" West, a distance of 74.19 feet on the Northerly boundary line of said Lot 3, Block 1 of ORLOVICH'S PLANTATION SUBDIVISION;

thence  
South 75°36'49" West, a distance of 20.71 feet to the Westerly Lot corner common to said Lots 1 and 3, Block 1 of ORLOVICH'S PLANTATION SUBDIVISION;

thence  
South 00°36'49" West, a distance of 255.54 feet on the Westerly boundary line of said ORLOVICH'S PLANTATION SUBDIVISION and the Westerly boundary of The Amended Plat of a Portion of Lot 1, and All of Lots 2, 3, 4, 5 and 6, Block 1, The Plantation No. 2 (hereinafter referred to as Amended Plat of Plantation No. 2), recorded in Book 58 of Plats at Page 5559, Ada County Records, to a point on the Westerly boundary of Lot 70, Block 1 of said Amended Plat of Plantation No. 2;

thence

on the exterior boundary line of Lot 70, Block 1, of said Amended Plat of Plantation No. 2 for the following courses and distances:

thence

South 58°14'32" West, a distance of 26.20 feet to a point on the right-of-way line of Gramarcy Lane, said point being a of curve;

thence

60.79 feet on the arc of a curve to the right, said curve having a radius of 45.00 feet, a central angle of 77°23'49", a chord bearing of South 06°39'18" West, and a chord length of 56.27 feet on the right-of-way line of Gramarcy Lane;

thence

South 44°24'33" East, a distance of 54.17 feet;

thence

South 00°36'24" West, a distance of 145.00 feet;

thence

North 89°23'36" West, a distance of 105.00 feet;

thence

South 57°36'24" West, a distance of 77.34 feet;

thence

South 52°30'11" East, a distance of 212.38 feet;

thence

South 59°34'26" East, a distance of 120.71 feet;

thence

North 18°36'24" East, a distance of 135.10 feet;

thence

North 80°32'34" East, a distance of 361.13 feet;

thence

South 89°25'22" East, a distance of 153.71 feet;

thence

South 79°25'02" East, a distance of 205.43 feet;

thence

South 69°22'35" East, a distance of 158.24 feet;

thence

South 62°23'46" East, a distance of 360.62 feet;

thence

South 89°08'44" East, a distance of 280.91 feet;

thence

North 58°02'50" East, a distance of 68.19 feet;

thence

North 19°35'05" East, a distance of 56.66 feet to the most easterly corner of Lot 47, Block 1 of said THE PLANTATION NO. 1 SUBDIVISION, said point being on the Southerly right-of-way line of West Sterling Lane/Drive, said point also being an angle point in the boundary line of Lot 70, Block 1 of said Amended Plat of Plantation No. 2;

thence North 87°56'22" West, a distance of 15.47 feet on the Southerly right-of-way of said West Sterling Lane to

a point of curve;

thence

62.40 feet on the arc of a curve to the right, said curve having a radius of 275.00 feet, a central angle of 13°00'01", a chord bearing of North 83°10'30" West, and a chord length of 62.26 feet on the Southerly right-of-way line of said West Sterling Lane/Drive;

thence

on the boundary line of said Amended Plat of Plantation No. 2 for the following courses and distances:

thence

South 58°43'45" West, a distance of 123.88 feet;

thence

North 59°25'35" West, a distance of 80.21 feet;

thence  
North 44°24'11" West, a distance of 196.43 feet;  
thence  
North 54°25'10" West, a distance of 179.92 feet;  
thence  
North 59°25'21" West, a distance of 180.82 feet;  
thence  
North 76°25'41" West, a distance of 231.85 feet;  
thence  
North 89°23'26" West, a distance of 265.10 feet;  
thence  
South 75°36'15" West, a distance of 95.31 feet;  
thence  
South 84°55'47" West, a distance of 148.81 feet;  
thence  
North 24°29'36" West, a distance of 151.24 feet;  
thence  
North 05°38'32" East, a distance of 151.37 feet;  
thence  
North 75°38'32" East, a distance of 151.37 feet;  
thence  
South 84°24'22" East, a distance of 655.17 feet;  
thence  
South 59°24'53" East, a distance of 414.75 feet;  
thence  
South 49°16'44" East, a distance of 104.63 feet;  
thence  
South 44°24'34" East, a distance of 191.70 feet;  
thence  
South 59°24'39" East, a distance of 64.69 feet;  
thence  
South 15°37'08" West, a distance of 99.71 feet to the Southeast lot corner of Lot 15, Block 1 of said THE PLANTATION NO. 1 SUBDIVISION, as same is Amended by said Amended Plat of Plantation No. 2, said point being on the Northerly right-of-way line of West Sterling Lane/Drive;  
thence  
leaving the boundary line of said Amended Plat of Plantation No. 2, 50.45 feet on the arc of a curve to the left, said curve having a radius of 225.00 feet, a central angle of 12°50'45", a chord bearing of South 81°03'05" East, and a chord length of 50.34 feet on the Northerly right-of-way of said Sterling Lane/Drive;  
thence  
North 15°37'08" East, a distance of 19.41 feet to the Southwesterly lot corner of Lot 71, Block 1 of said Amended Plat of Plantation No. 2;  
thence  
North 15°37'17" East, a distance of 90.59 feet on the Westerly Lot line of said Lot 71 to the Northwest lot corner of Lot 71, Block 1 of said Amended Plat of Plantation No. 2;  
thence  
on the boundary line of said Amended Plat of Plantation No. 2 for the following courses and distances:  
thence  
South 88°28'29" East, a distance of 163.56 feet (formerly described as 163.53 feet) to the Northerly lot corner common to Lots 73 and 74 of said Amended Plat of Plantation No. 2;  
thence  
North 28°17'28" East, a distance of 152.00 feet;  
thence  
North 00°34'59" East, a distance of 35.06 feet;  
thence  
North 72°22'35" West, a distance of 212.76 feet;  
thence

North 59°52'37" West, a distance of 475.45 feet;

thence

North 11°21'53" East, a distance of 99.67 feet;

thence

North 78°53'36" West, a distance of 440.31 feet to a point of curve;

thence

96.21 feet on the arc of a curve to the right, said curve having a radius of 225.00 feet, a central angle of 24°30'00", a chord bearing of North 66°38'36" West, and a chord length of 95.48 feet;

thence

South 35°36'24" West, a distance of 66.12 feet;

thence

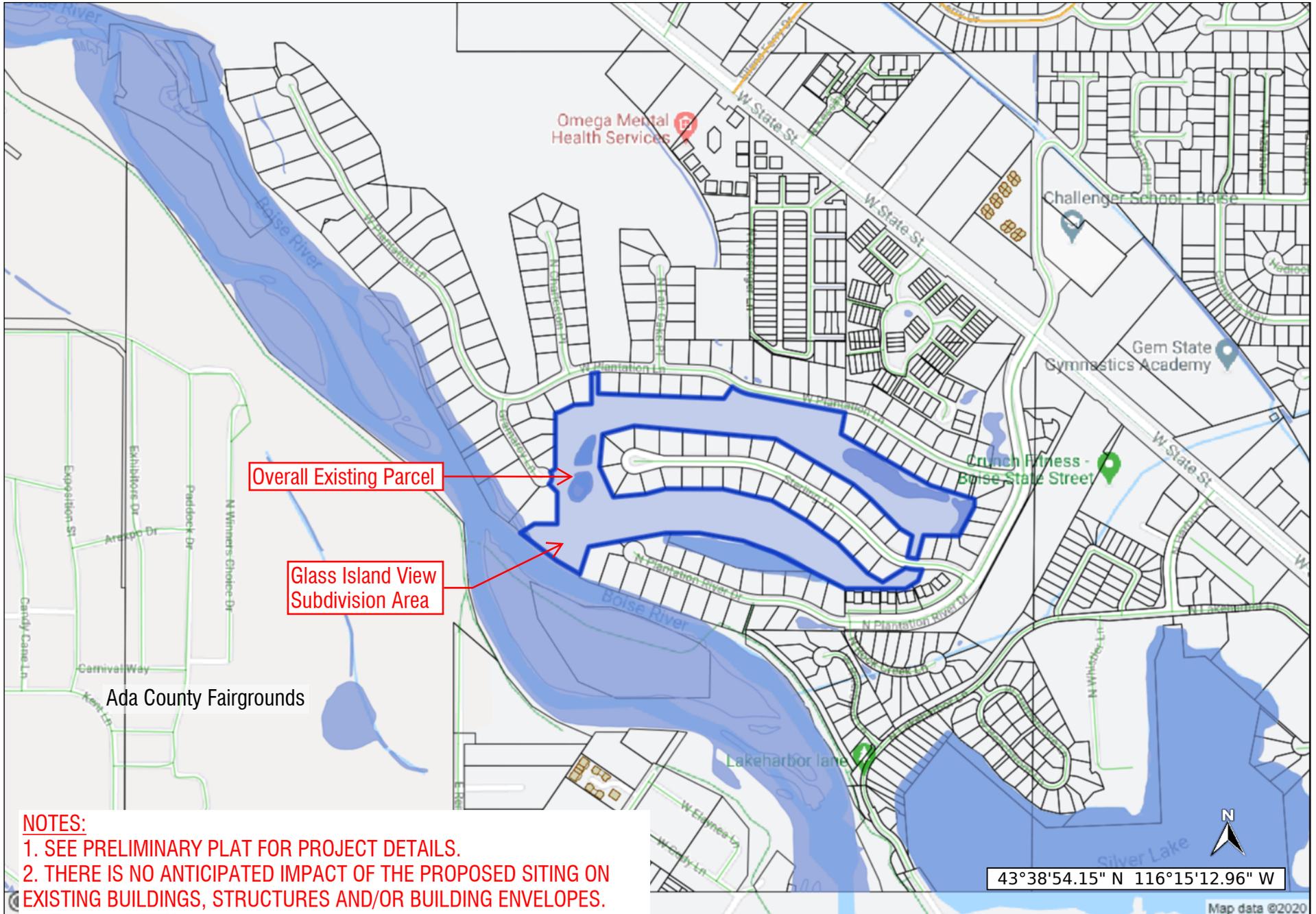
North 87°23'46" West, a distance of 580.27 feet;

thence

North 00°18'10" East, a distance of 95.82 feet to the Northwest Lot corner of Lot 14, Block 1 of said PLANTATION NO. 1 SUBDIVISION, said point being a point of curve on the Southerly right-of-way line of said West Plantation Lane/Drive;

thence

31.77 feet on the arc of a curve to the left, said curve have a radius of 475.00 feet, a central angle of 03°49'54", a chord bearing of South 82°33'57" West, and a chord length of 31.76 feet on the Southerly right-of-way line of said West Plantation Lane/Drive to the POINT OF BEGINNING.



# Neighborhood Map



**Project Contacts:**

OWNER/DEVELOPER:  
GLASS CREEK, LLC.

REPRESENTATIVE:  
TAUNTON GROUP - BOB TAUNTON

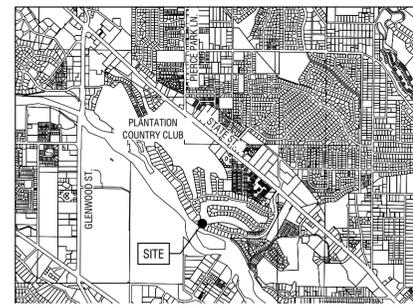
ENGINEER / SURVEYOR / LANDSCAPE ARCHITECT:  
THE LAND GROUP, INC.  
432 E. SHORE DRIVE, SUITE 100, EAGLE, ID. 83616  
208-939-4041

CONTACT: JASON DENSMER, PE. (PROJECT ENGINEER)  
JIM WASHBURN, PLS. (PROJECT SURVEYOR)  
DOUG RUSSELL, RLA. (LANDSCAPE ARCHITECT)

**Zoning Regulations:**

CURRENT ZONING: R-2  
PROPOSED ZONING: R-2 (NO CHANGE)  
BUILDING SETBACKS:  
FRONT: 5-FT  
SIDE: 5-FT  
RIVER: 70-FT TO 6,500 cfs LINE

**Vicinity Map:**

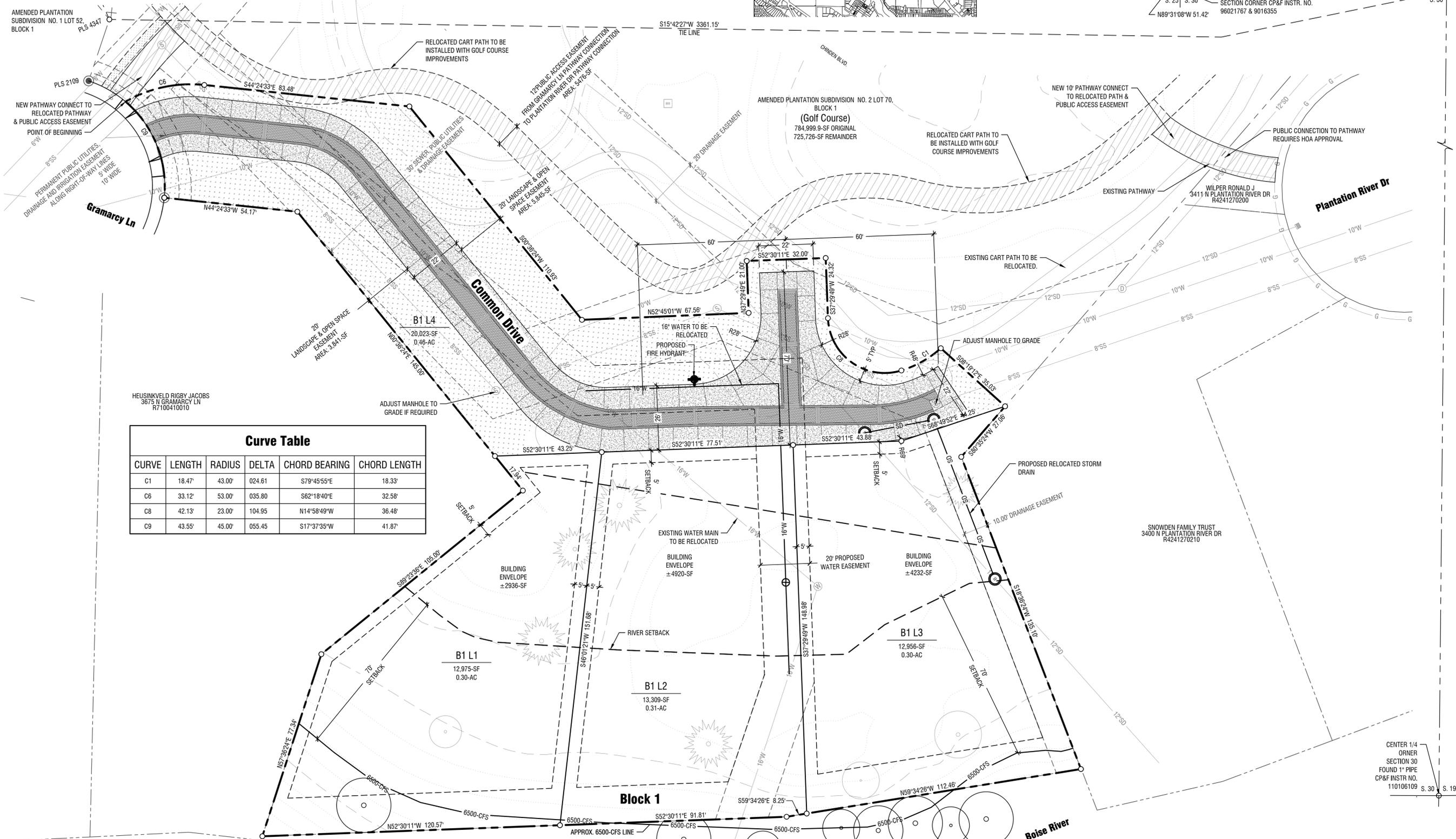


**Project Summary:**

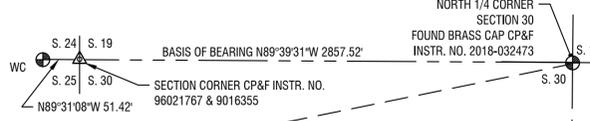
DEVELOPMENT AREA: 1.36-AC (59,274-SF)  
TOTAL SINGLE FAMILY LOTS: 3  
COMMON LOT: 1 (LOT 4), COMMON DRIVE  
OPEN SPACE:  
REQUIRED OPEN SPACE: 10% (PER GARDEN CITY CODE 8-4L-4) 5,927-SF  
PROPOSED OPEN SPACE: 16.3% (AS SHOWN) 9,686-SF

**Sheet Notes:**

- ALL DIMENSIONS ARE MEASURED TO PROPERTY LINE OR FACE OF CURB UNLESS OTHERWISE SPECIFIED.
- GRADING & DRAINAGE:  
2.1. THE PROJECT IS LOCATED IN A SPECIAL FLOOD HAZARD AREA. PROJECT GRADING WILL BE DESIGNED TO ELEVATE ALL OCCUPIED BUILDINGS ABOVE THE ESTABLISHED BASE FLOOD ELEVATION. PROJECT DESIGN WILL CONFORM TO THE REQUIREMENTS OF GARDEN CITY CODE SECTION 8-3B.  
2.2. PROJECT GRADING WILL DIRECT STORMWATER TO DRAINAGE SYSTEMS DESIGNED TO CAPTURE AND RETAIN STORMWATER FROM THE DESIGN STORM IN ACCORDANCE WITH GARDEN CITY REQUIREMENTS.



Curve Table					
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	18.47'	43.00'	024.61	S79°45'55"E	18.33'
C6	33.12'	53.00'	035.80	S62°18'40"E	32.58'
C8	42.13'	23.00'	104.95	N14°58'49"W	36.48'
C9	43.55'	45.00'	055.45	S17°37'35"W	41.87'



**GLASS ISLAND VIEW SUBDIVISION  
PRELIMINARY PLAT**

Revisions  
1. \_\_\_\_\_

Project No.: 118161  
Date of Issuance: 05-21-2020  
Project Milestone: PRELIMINARY PLAT

**Preliminary Plat & Site Plan**  
Horizontal Scale: 1" = 20'

## Jason Densmer

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**From:** Sub Name Mail <subnamemail@adacounty.id.gov>  
**Sent:** Monday, May 18, 2020 11:07 AM  
**To:** Jason Densmer  
**Cc:** Jim Washburn  
**Subject:** RE: Glass Island View Subdivision Name Reservation

May 18, 2020

James Washburn, The Land Group  
Jason Densmer, The Land Group

RE: Subdivision Name Reservation: **GLASS ISLAND VIEW SUBDIVISION**

At your request, I will reserve the name **Glass Island View Subdivision** for your project. I can honor this reservation only as long as your project is in the approval process. Final approval can only take place when the final plat is recorded.

This reservation is available for the project as long as it is in the approval process unless the project is terminated by the client, the jurisdiction or the conditions of approval have not been met, in which case the name can be re-used by someone else.

Sincerely,



**Glen Smallwood**  
**Surveying Technician**  
**Ada County Development Services**  
200 W. Front St., Boise, ID 83702  
(208) 287-7926 *office*  
(208) 287-7909 *fax*

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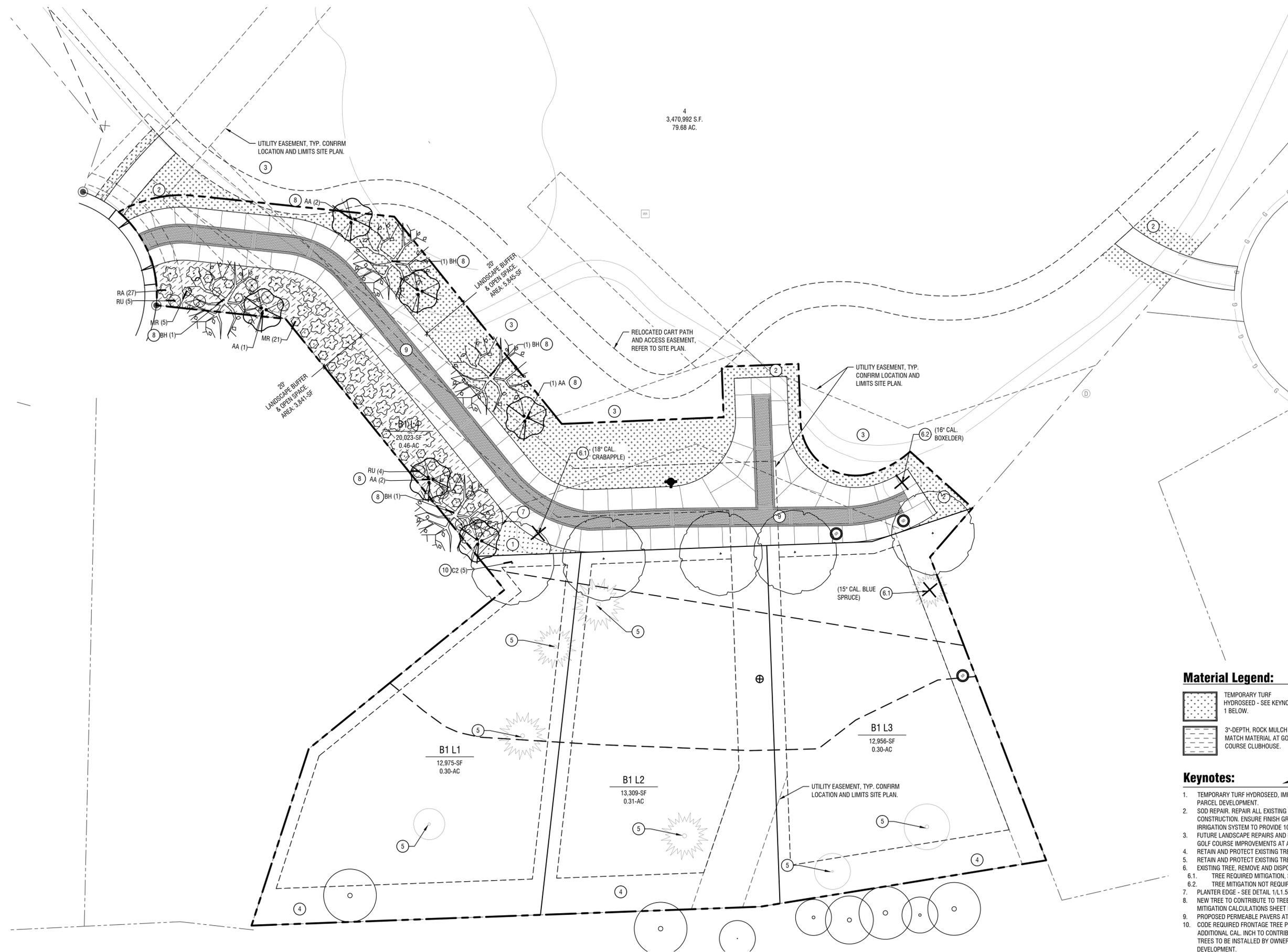
**From:** Jason Densmer <jason@thelandgroupinc.com>  
**Sent:** Thursday, May 14, 2020 5:32 PM  
**To:** Sub Name Mail <subnamemail@adacounty.id.gov>; 'Bob Taunton' <bobtaunton@tauntongroup.com>  
**Cc:** Doug Russell <doug@thelandgroupinc.com>  
**Subject:** RE: [EXTERNAL] Re: Subdivision Name Reservation

Glen:  
We would like to reserve "Glass Island View Subdivision" for this project. To capture all the info in one place, here are the particulars:

Subdivision Name: "Glass Island View"  
Developer: Glass Creek, LLC  
Parcel No.: R7100480125  
Engineering/Surveying Firm: The Land Group, Inc.  
Surveyor: James Washburn, PLS

# GLASS ISLAND VIEW SUBDIVISION PRELIMINARY PLAT

N. PLANTATION RIVER DR.  
GARDEN CITY, IDAHO



### Material Legend:

	TEMPORARY TURF HYDROSEED - SEE KEYNOTE 1 BELOW.		TURF REPAIR - SEE KEYNOTE 2 BELOW.
	3"-DEPTH, ROCK MULCH - MATCH MATERIAL AT GOLF COURSE CLUBHOUSE.		

### Keynotes:

- TEMPORARY TURF HYDROSEED, IMPROVEMENTS TO BE MODIFIED FOR ADJACENT PARCEL DEVELOPMENT.
- SOD REPAIR. REPAIR ALL EXISTING SOD DAMAGED DURING ACCESS ROAD CONSTRUCTION. ENSURE FINISH GRADES ARE SMOOTH. FIELD ADJUST EXISTING IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE.
- FUTURE LANDSCAPE REPAIRS AND IMPROVEMENTS TO BE INSTALLED AT TIME OF GOLF COURSE IMPROVEMENTS AT ADJACENT HOLE.
- RETAIN AND PROTECT EXISTING TREES ALONG BOISE RIVER.
- RETAIN AND PROTECT EXISTING TREE IN PARCEL.
- EXISTING TREE, REMOVE AND DISPOSE OF OFFSITE.
1. TREE REQUIRED MITIGATION, SEE TREE MITIGATION NOTES SHEET L1.50.
2. TREE MITIGATION NOT REQUIRED, SEE TREE MITIGATION NOTES SHEET L1.50.
- PLANTER EDGE - SEE DETAIL 1/L1.50.
- NEW TREE TO CONTRIBUTE TO TREE MITIGATION REQUIREMENTS - SEE TREE MITIGATION CALCULATIONS SHEET L1.50 FOR MORE INFORMATION.
- PROPOSED PERMEABLE PAVERS AT SHARED DRIVEWAY. STORM WATER SYSTEM. CODE REQUIRED FRONTAGE TREE PER 8-4L-4. CODE REQUIRES 2" CAL. INCHES. ADDITIONAL CAL. INCH TO CONTRIBUTE TO TREE MITIGATION - SEE NOTES L1.50. TREES TO BE INSTALLED BY OWNER, DEVELOPER, OR BUILDING AT TIME OF PARCEL DEVELOPMENT.

Revisions

1.	



Project No.: 118161  
Date of Issuance: 05-21-2020  
Project Milestone: PRELIMINARY PLAT

Landscape Plan

PP-4

File Location: C:\31111\118161.dwg, Version: 11/11/2019 10:10:00 AM  
 User: jason@landgroup.com  
 Date Plotted: 05/21/2020 10:25:28 AM



### Landscape Notes:

- A. CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
- B. FINISH GRADES TO BE SMOOTH AND EVEN GRADIENTS WITH POSITIVE DRAINAGE IN ACCORDANCE WITH SITE GRADING PLAN. REMOVE RIDGES AND FILL DEPRESSIONS, AS REQUIRED TO MEET FINISH GRADES. PLACE 4" OF ROCK MULCH OVER SUBGRADE SOIL TO ACHIEVE FINISH GRADE. FINISH GRADE RELATED TO ADJACENT SITE ELEMENTS SHALL BE:
  - B.A. 1-INCH BELOW TOP OF ADJACENT PAVEMENT, VALVE BOX, VAULT, ETC.
  - B.B. 3-INCHES BELOW TOP OF CURB UNLESS NOTED OTHERWISE.
- C. ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 18" OF TOPSOIL, SOD AREAS A MINIMUM OF 12" OF TOPSOIL. SPREAD, COMPACT AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE.
- D. ALL LANDSCAPE AREAS SHALL BE WEED FREE AT THE TIME OF LANDSCAPE INSTALLATION. REMOVE ALL ROOTS, WEEDS, ROCKS AND FOREIGN MATERIAL ON THE SURFACE.
- E. NEW TREE PLANTING, SEE DETAIL 3/L1.50. CONTRACTOR SHALL STAKE ALL TREES DEEMED NECESSARY, I.E., FROM BEING BLOWN OVER, PLANTED WITH LOOSE ROOT BALL, ETC. CONTRACTOR'S OPTION.
- F. NEW SHRUB PLANTING, SEE DETAIL 2/L1.50.
- G. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.
- H. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
- I. IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.

### Automatic Underground Irrigation Notes:

- A. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES.
- B. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- C. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 18" AT PLANTER BEDS, 6" AT LAWN AREAS.
- D. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEMS - WITH DRIP CONTROL ZONE KIT AND 50 MESH FILTER (MIN.).
- E. ELECTRONIC WATER DISTRIBUTION/ TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
  - E.A. PRECISE INDIVIDUAL STATION TIMING
  - E.B. RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
  - E.C. AT LEAST ONE PROGRAM FOR EACH HYDROZONE
  - E.D. SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
  - E.E. POWER FAILURE BACKUP FOR ALL PROGRAMMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- F. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- G. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
- H. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS SIDEWALKS, DRIVEWAYS, AND PARKING AREA.
- I. EACH VALVE SHALL BE INSTALLED IN A VALVE BOX LARGE ENOUGH TO ALLOW FOR MAINTENANCE AND REMOVAL. ONLY ONE VALVE PER BOX.

### Tree Protection Notes:

- A. PROTECT THE CRITICAL ROOT ZONE OF THE TREES TO BE RETAINED ON SITE: (NOTE: CRITICAL ROOT ZONE IS THE AREA DIRECTLY BELOW THE DRIP LINE OF THE TREE.)
  - A.A. CONSTRUCT PROTECTIVE FENCING OF CHAIN-LINK AROUND THE CRITICAL ROOT ZONE PRIOR TO DEMOLITION OR CONSTRUCTION.
  - A.B. DO NOT ALLOW COMPACTION BY EQUIPMENT TRAFFIC DURING CONSTRUCTION OR DURING DEMOLITION.
  - A.C. DO NOT ALLOW CEMENT TRUCKS TO RINSE WITHIN THE PROTECTION AREA, ANYWHERE THAT TREE ROOTS EXIST OR IN PLANNED PLANTING BEDS.
  - A.D. DO NOT STOCKPILE MATERIALS, DEBRIS OR DIRT WITHIN THE TREE PROTECTION AREA.
  - A.E. MAINTAIN WATERING WITHIN THE CRITICAL ROOT ZONE FROM MID-APRIL TO MID-OCTOBER AT THE RATE OF NOT LESS THAN THE EQUIVALENT OF 1-1/2" OF WATER OVER THE ENTIRE AREA PER WEEK.
  - A.F. DO NOT TRENCH, EXCAVATE, FILL OR OTHERWISE DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE.
  - A.G. ADJUST PROPOSED IMPROVEMENT LOCATIONS AS REQUIRED TO AVOID DAMAGING TREE ROOTS.
- B. PROTECT THE CROWN AND TRUNK OF TREES TO BE RETAINED ON SITE:
  - B.A. OPERATE EQUIPMENT IN SUCH A WAY AS TO AVOID CONTACT WITH TREE TRUNKS OR BRANCHES.
  - B.B. PRUNING OF PUBLIC PROPERTY TREES SHALL BE PERFORMED BY A LICENSED ARBORIST.
- C. ALL TREES DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED PER GARDEN CITY TREE MITIGATION REQUIREMENTS.

### Tree Mitigation Calculations:

<b>A.</b>	<b>CALIPER INCHES REMOVED =</b>	<b>49 CALIPER INCHES</b>
A.A.	16" CALIPER ACER NEGUDO   SENSATIONAL BOXELDER - TREE CONDITION DOES NOT REQUIRE MITIGATION PER ARBORIST'S REPORT	
A.B.	18" MALUS SPP.   FLOWERING CRABAPPLE - TREE CONDITION DOES REQUIRE MITIGATION PER ARBORIST'S REPORT.	
A.C.	15" PICEA PUNGENS   COLORADO BLUE SPRUCE - TREE CONDITION DOES REQUIRE MITIGATION PER ARBORIST'S REPORT.	
<b>B.</b>	<b>CALIPER INCHES REQUIRING MITIGATION =</b>	<b>33 CALIPER INCHES</b>
<b>C.</b>	<b>CALIPER INCHES PROVIDED (SEE KEYNOTE 8 &amp; 10/L1.00)</b>	<b>35 CALIPER INCHES</b> (106% MITIGATION)
C.A.	FULL CONTRIBUTION :	30 CALIPER INCHES 18 FROM ACER GINIALA 12 FROM BETULA NEGRA
C.B.	PARTIAL CONTRIBUTION :	5 CALIPER INCHES 5 FROM APPROVED CLASS II TREE EXTRA CALIPER INCH

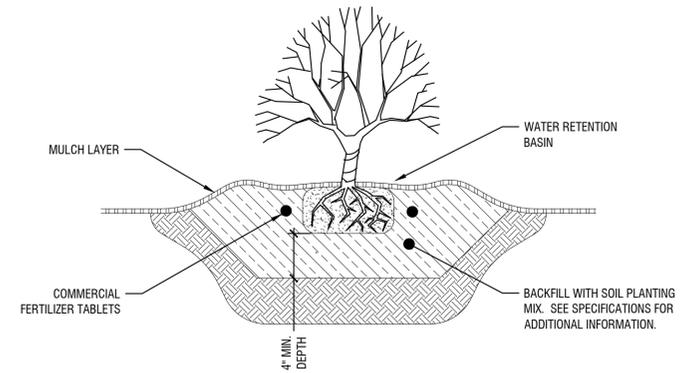
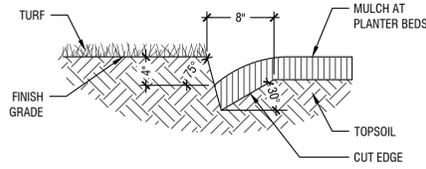
### Open Space Calculations:

<b>A.</b>	<b>OPEN SPACE REQUIRED =</b>	<b>5,445 SF</b>
A.A.	PROJECT AREA: 59,274-SF @ 10% CODE REQUIREMENT =	5,927-SF
<b>B.</b>	<b>OPEN SPACE PROVIDED =</b>	<b>9,549-SF (16%)</b>

PLANT SCHEDULE						
CLASS I TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	AA	ACER GINNALA / AMUR MAPLE	3" CAL. (SEE NOTE 1 BELOW)	B&B	6	20' HT. X 15' W
CLASS II TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	BH	BETULA NIGRA 'HERITAGE' / HERITAGE RIVER BIRCH	3" CAL. (SEE NOTE 1 BELOW)		4	50 HT X 35' W
	G2	APPROVED CLASS II FRONTAGE TREE / SELECTION BY OWNER	3" CAL. (SEE NOTE 2 BELOW)	B&B	5	
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	MR	MAHONIA REPENS / CREEPING MAHONIA (WOODY SHRUB)	3 GAL.	POT	26	3' HT X 4' W
	RA	RHUS TRILOBATA 'AUTUMN AMBER' / AUTUMN AMBER SUMAC (WOODY SHRUB)	3 GAL.	POT	27	1.5' HT X 8' W
	RU	ROSA WOODSII ULTRAMONTANA / WOODS' ROSE (WOODY SHRUB)	3 GAL.	POT	9	5' HT X 5' W

**NOTES:**

- FULL TREE MITIGATION CONTRIBUTION - ALL CALIPER INCHES PROVIDED TO CONTRIBUTE TO TREE MITIGATION PER ITEM C. A UNDER TREE MITIGATION CALCULATIONS.
- PARTIAL TREE MITIGATION CONTRIBUTION - 1 CALIPER INCH OF THE 3 CALIPER INCHES OF EACH TREE TO CONTRIBUTE TO TREE MITIGATION PER ITEM C. B. UNDER TREE MITIGATION CALCULATIONS, TOTALING 5 CALIPER INCHES. THE ADDITIONAL 10 CALIPER INCHES ARE FOR THE REQUIRED SITE FRONTAGE TREE REQUIREMENT PER GARDEN CITY LANDSCAPE CODE AT 2 CALIPER INCHES PER TREE.



### 1 Planter Edge Cut Edge

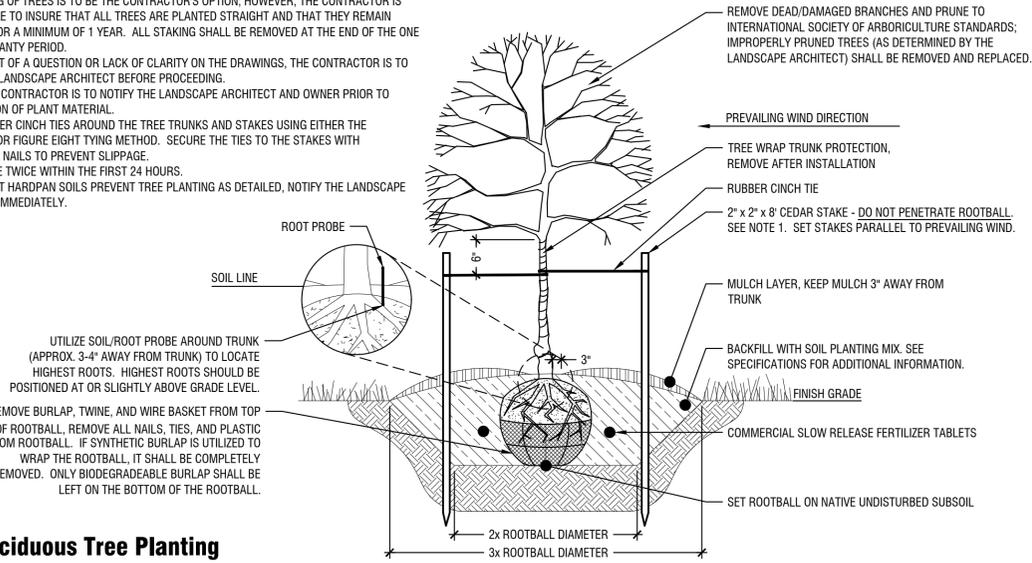
Scale: 1" = 1'

### 2 Shrub Planting

Scale: NTS

**NOTES:**

- THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR A MINIMUM OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
- IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
- WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
- WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
- IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.



### 3 Deciduous Tree Planting

Scale: NTS

# GLASS ISLAND VIEW SUBDIVISION PRELIMINARY PLAT

N. PLANTATION RIVER DR.  
GARDEN CITY, IDAHO

**Revisions**

1.	



Project No.: 118161  
Date of Issuance: 05-21-2020  
Project Milestone: PRELIMINARY PLAT

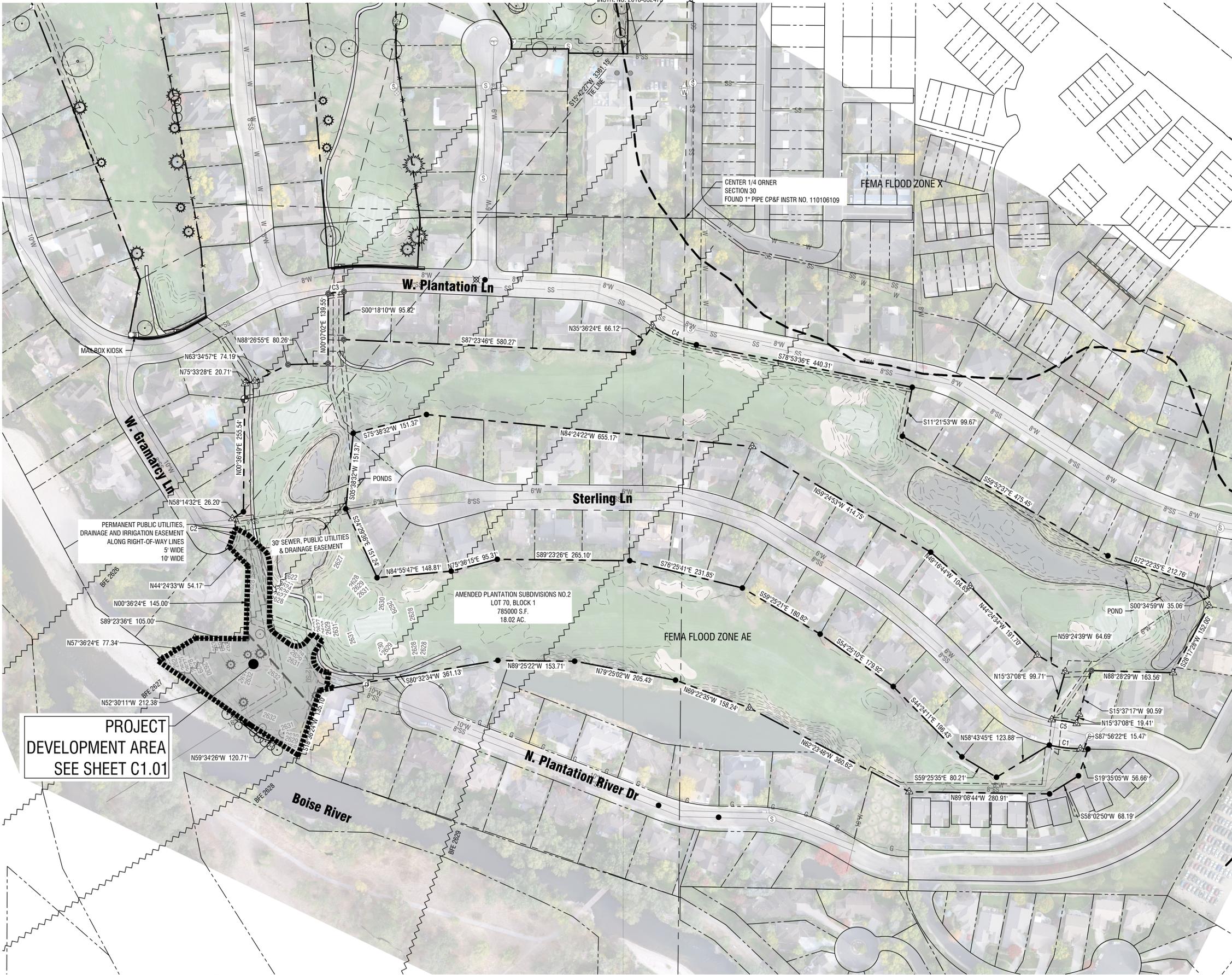
**Landscape Details**

# PP-5

S. 24 | S. 19  
 S. 25 | S. 30  
 SECTION CORNER CP&F INSTR. NO. 96021767 & 9016355  
 N89°31'08"W 51.42'

BASIS OF BEARING N89°39'31"W 2857.52'

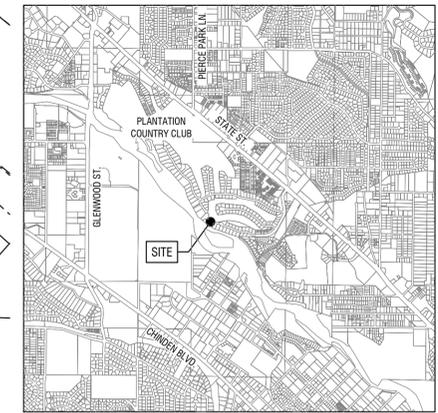
NORTH 1/4 CORNER  
 SECTION 30  
 FOUND BRASS CAP CP&F  
 INSTR. NO. 2018-032473



**Sheet Notes:**

- EXISTING CONTOURS ARE AT A 1-FT INTERVAL.

**Vicinity Map:**



**Legend:**

- FOUND BRASS CAP MONUMENT
- FOUND ALUMINUM CAP MONUMENT
- 
- 
- 
- FOUND CHISELED "X"
- 
- FOUND PLUG AND TACK
- CALCULATED POINT, NOTHING FOUND
- DATA OF RECORD (399.97)
- BOUNDARY LINE
- ADJOINING PROPERTY LINE
- SECTION LINE
- EASEMENT LINE
- FEMA FLOODZONE LINE
- WITNESS CORNER

**Curve Table**

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	62.40	275.00	013.00	S83°10'30"E	62.26'
C2	60.79	45.00	077.40	N06°39'18"E	56.27'
C3	31.77	475.00	003.83	N82°33'57"E	31.76'
C4	96.21	225.00	024.50	S66°38'36"E	95.48'
C5	50.45	225.00	012.85	N81°03'05"W	50.34'

**GLASS ISLAND VIEW SUBDIVISION  
PRELIMINARY PLAT**

N. PLANTATION RIVER DR.  
GARDEN CITY, IDAHO

Revisions

- 



Project No.: 118161  
 Date of Issuance: 05-21-2020  
 Project Milestone: PRELIMINARY PLAT

**Existing Conditions Overview**

**PP-1**

File Location: C:\31111\118161\118161.dwg, Version: 11/11/2019 10:40:48 AM, User: j...  
 Date Plotted: 05/21/2020 10:40:48 AM, Plot Scale: 1" = 100'

**Existing Conditions Overview**

Horizontal Scale: 1" = 100'

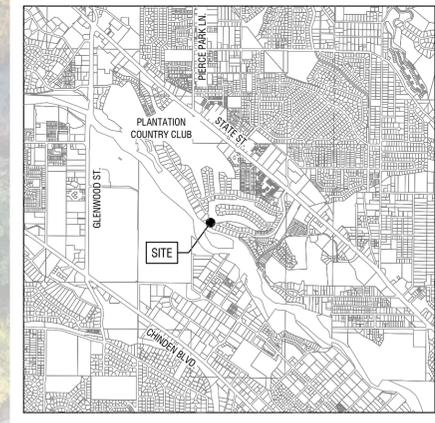




**Sheet Notes:**

- EXISTING CONTOURS ARE AT A 1-FT INTERVAL.
- HORIZONTAL DATUM: NAD 83 STATE PLANE COORDINATES IDAHO WEST ZONE 1103
- VERTICAL DATUM: NAVD 1988

**Vicinity Map:**



**Legend:**

	FOUND BRASS CAP MONUMENT
	FOUND ALUMINUM CAP MONUMENT
	FOUND 5/8" REBAR
	FOUND 1/2" REBAR
	FOUND 3/8" REBAR
	FOUND CHISELED "X"
	FOUND 1" PIPE
	FOUND PLUG AND TACK
	CALCULATED POINT, NOTHING FOUND
	DATA OF RECORD
	BOUNDARY LINE
	ADJOINING PROPERTY LINE
	SECTION LINE
	EASEMENT LINE
	GROUND CONTOUR (1-FT INTERVAL)

**GLASS ISLAND VIEW SUBDIVISION  
PRELIMINARY PLAT**

N. PLANTATION RIVER DR.  
GARDEN CITY, IDAHO

Revisions

1.	



Project No.: 118161  
Date of Issuance: 05-21-2020  
Project Milestone: PRELIMINARY PLAT

**Existing Conditions -  
Topographic Survey -  
Project Area**

**Existing Conditions - Topographic Survey - Project Area**  
Horizontal Scale: 1" = 20'



PLAT NO. 2020-0111 (PLAT), AMENDED BY 2020-0111 (PLAT) TO BE VALID FOR RECORD. DATE OF RECORD: 05/21/2020. TIME: 09:57 AM.



# Glass Island View Subdivision

Garden City, Idaho

## Preliminary Plat Engineering Reports

- Soils Report
- Hydrology Report
- Natural Hazard & Resources Analysis

### Developer

Glass Creek LLC  
6501 Fruitvale Ave.  
Bakersfield, CA 93308  
Contact: Bob Taunton, Taunton Group  
Ph: 208-401-5505

### Engineer

The Land Group, Inc.  
462 East Shore Drive, Suite 100  
Eagle, Idaho 83616  
Contact: Jason Densmer, PE  
Ph: 208-939-4041

TLG Project No. 118161



## Site Description & Project Summary

The site lies between N. Plantation River Dr. and W. Gramarcy Ln. and is adjacent to the Boise River. The development area is 1.36-acres and is a portion of a parcel created in 1978 with the recording of the Plantation No. 1 Subdivision Plat. The property is currently vacant land used for a private golf course. Specifically, the site is part of the tee complex for golf hole No.16 and is setback from the main golf holes.

## Soils Report

The site is very similar to much of the land within Garden City. Soil conditions are characterized by strong, free draining soils within a few feet of the surface. Development can be complicated by somewhat shallow groundwater. The developer obtained a site geotechnical evaluation for other areas of the Plantation property, which is attached as Appendix A. Though not focused on the area of the proposed development, the findings and conclusions of the geotechnical evaluation are consistent with expected conditions at the site.

The site is relatively flat and somewhat elevated relative to the golf course hole and pond to the north. The site is also elevated above the Boise River to the south and existing single-family residences to the east and west.

Groundwater is normally encountered at its highest level when peak flows occur in the Boise River, which is ordinarily April to June. In many areas, irrigation water delivered to area surface ditches may impact the depth to groundwater, but the Boise River flow is expected to be the single largest influencer of groundwater at this site. Groundwater at the project is visible in the nearby open-water pond as part of the golf course, and appears to be a maximum of approximately 3-ft below the ground surface. Golf Course personnel report that keeping sufficient water in the pond for aesthetic purposes does require supplementing from the irrigation system – so natural groundwater levels may be somewhat lower. To the extent groundwater is strongly influenced by the Boise River flow, groundwater can be expected to always remain below the 6500-cfs line.

The geotechnical report found similar soil conditions in seven (7) borings nearby. Conditions at the project site are expected to reflect these findings. The surface soil is a silty sand or sandy silt, underlain by the Boise River Gravel Formation which extended to the limit of geotechnical borings. Well logs reviewed by the Geotechnical Engineer indicate the gravel layer likely extends 30-35 feet below the surface.

The site soils are well-suited to development and will readily support roadways and structures. The soils are also highly permeable and appropriate for efficiently-designed storm water disposal systems.

## Hydrology Report

### Existing Conditions

The existing site conditions are fully-stabilized as a golf course. Being relatively level, stormwater management consists entirely of in-place infiltration. No defined hydrologic features exist within the project area including ditches, swales or storm drainage facilities.

An existing ACHD storm drain system from N. Plantation River Dr. conveys stormwater (and co-mingled irrigation water from the Plantation Golf Course amenity ponds) to the amenity pond immediately north of the proposed project. This pond is provided with an overflow pipe which outlets to the Boise River east of the site. ACHD has expressed a desire to retain this pipe and the project proposes to relocate it into existing (or new proposed) easements.

## Proposed Systems

Development of the project will include a common drive and three residential lots. The rear (south) portion of the residential lots is expected to continue draining towards the rear yards where generated storm drainage will be contained in the residential yard landscape areas. The common drive will be constructed with a permeable paver storm drain system integrated into the drive surface. The pavers will receive, treat and dispose of stormwater generated from the drive surface and front (north) portion of the residential lots. The general design of these improvements is demonstrated by the conceptual engineering plans submitted together with the project preliminary plat.

## Floodplain

The current FEMA maps of the Boise River (panel 16001C0169H) indicate that the project site is partially within the floodway and partially within Zone AE with base elevations determined. The location of the mapped floodway and base flood elevations are noted on the project preliminary plat.

Comparison of surveyed ground elevations and base flood elevations are provided in Appendix B. In the display, blue-shaded areas indicate areas where existing ground elevations are below base flood elevation. The brown-shaded areas indicate lands above the base flood elevation. We intend to submit a Letter of Map Amendment (LOMA) application to FEMA to redesignate those lands above the base flood elevation to be outside the floodway, and/or flood plain.

The proposed homes to be built on the project's three buildable lots will be elevated above base flood and protected from flooding in accordance with the requirements of Garden City's currently-adopted ordinance.

## Natural Features & Resource Analysis

A Natural Features & Resource Analysis of the proposed development was conducted and is summarized below in the following categories:

- Overview of Proposed Project (refer to Site Description & Project Summary above)
- Groundwater and Soils (refer to Soils Report section above)
- Floodplain (refer to Floodplain discussion in Hydrology Report section above)
- Surface Waters and Site Pressure Irrigation
- Notable Vegetation
- Fish & Wildlife
- Existing Infrastructure

## Surface Waters and Site Pressure Irrigation

The Boise River is adjacent to the project site along its southern boundary. A shallow open-water amenity pond for the golf course is located north of the project.

The golf course is irrigated from a pressure irrigation system supplied with surface water by the Boise Valley Irrigation Ditch Company. The portion of adjusted golf course outside the development area will continue to utilize this system. This existing single-user, private pressure irrigation system is not suitable to supply water to the proposed residences, and irrigation of the proposed lots is proposed to be from Garden City's municipal water system as is the case for other Plantation-area residential properties. A waiver will be requested in accordance with Garden City Code 8-5A-5H, Section 3.

## Notable Vegetation

The developer retained a certified arborist in 2019 to assess the existing trees on the site. The landscape plan indicates that two smaller to mid-size trees will be removed for the shared drive. The plan also shows the mitigation planned to meet the Garden City code.

Existing vegetation along the Boise River is consistent with the riparian environment. Pruning and cleanup of vegetation in this area will be coordinated with the Idaho Dept. of Lands and US Army Corps of Engineers. Permitted understory removal will remove all weedy, invasive and non-native plants including Blackberry, Bastard (False) Indigo, Virginia Creeper and Cherry Tree seedlings.

## Fish & Wildlife

We are not aware of any endangered plant or animal species on the project site. Official documentation from the US Fish & Wildlife Service will be obtained and submitted as a component of project Storm Water Pollution Prevention plan preparation and permitting.

## Existing City Infrastructure

City infrastructure and public services readily available to serve the development consist of:

- Potable Water
- Fire Suppression Water
- Sanitary Sewer
- Public Utilities such as Electrical Power, Natural Gas, and Communications
- Police, Fire and Emergency Services
- Public Schools
- Library
- Trash Collection
- Mail Service

## Water

City Water is available within the project footprint. A 10-in water main crosses through the site between W. Gramarcy Ln and N. Plantation River Dr. In addition, a 16-in water main connects with this main and

then crosses the Boise River to the south. These mains are suitable to provide water for both potable and fire suppression purposes.

### **Sanitary Sewer**

Garden City's municipal sanitary sewer crosses through the site with an 8-in main connecting N. Plantation River Dr. to W. Gramarcy Ln. This main is suitable to provide sewer for the proposed residences.

### **Public Utilities**

All needed public utilities are readily available to the site.

### **Police, Fire & Emergency Services**

As the project may be considered an "in-fill" development, all emergency services are currently provided to the area. The project area is already patrolled by existing services.

### **Public Schools**

The area is within the boundaries of the Boise School District.

### **Library**

Garden City's library is located at City Hall and is available to serve residents of the proposed development.

### **Trash Collection**

Collection services for trash and recycling are available to area residents.

### **Mail Service**

Mail service is available. Shared individual or a central mailbox will be provided to homeowners.

# Appendix A

## Geotechnical Report



Bob Taunton  
Taunton Group, LLC  
2724 South Palmatier Way  
Boise, Idaho 83716

February 10, 2020  
Page 1 of 13  
File # 20606-A

Re: Geotechnical Recommendation Report  
Plantation Redevelopment Projects  
West State Street  
Star, Idaho

Bob:

As per your authorization, on April 28 & 29, 2019, SITE personnel logged and sampled seven geotechnical borings on the referenced property. The subject property includes two tax parcels. This information was obtained from the Ada County Assessor's Website.

Parcel Number	Acres
S-0630212910	8.7
S-0630223350	92.0
<b>Total Acres</b>	<b>100.7</b>

The borings were located randomly across the site, where access with the drill rig was easily available. It is noted that Location B3 was deleted due to limited access. An aerial photo was obtained from Google Earth and is included in the Appendix with the approximate boring locations shown.

Soil samples were gathered, and field logs were generated during the drilling effort. Samples were submitted to our in-house soil laboratory for the testing and soil classification. All soil classifications and test results are reported on the attached Boring Log. All seven borings were similar. The surface soil is a brown, dry to moist, non-plastic silty sand or sandy silt that is between 1.0 and 2.5 feet deep. The exceptions are Borings B1 and B2 which were filled for construction of the adjacent parking lot areas. Below the topsoil layer the Boise River Gravel Formation was encountered in all borings. These gravel extend beyond the depth drilled. Groundwater was encountered in all borings at 1.0 to 7.0 feet deep. Heaving sands below the water table made drilling and sampling difficult and therefore sampling of the native sand and gravels was halted after Boring B2.



Temporary wells were installed in all seven borings with monthly reading taken through the end of the 2019 irrigation season. Measurements will resume in April 2020. The measured groundwater levels confirm our position that groundwater elevation on this property is related to the flow in the Boise River. Groundwater as measured in our wells peaked when the Boise River flow peaked in early May. Water levels in the wells have decreased very slowly since peak values were recorded. See the Groundwater Data Table and the Boise River Flow history in the appendix.

A well log for the subject property and two adjacent properties were found on the IDWR website. These logs are included in the Appendix. Well logs confirmed the shallow soil profile as described above. They also indicate the sand and gravel layer extended to 30-35 feet below the surface.

The following recommendations are based upon observed conditions and reported test results.

- Foundation bearing capacity of up to 3000 psf is appropriate for foundation design on this site provided foundation are extended to the native sand and gravel layer. All foundations are to be founded a minimum of 24 inches (as per local code) below the adjacent grade for frost protection. Any building structures to be constructed onsite should be designed as per the IBC requirements for Site Class C seismic classification. Based upon this bearing pressure and the recommendations of this report being followed, we anticipate total settlements of less than one inch, with differential settlements less than half of this value. If these values are unacceptable, please contact SITE for additional recommendations.
- Stripping of organic material will require only minor excavation; 2-4" of grubbing can be anticipated to completely remove all organic materials. Removal of the entire topsoil or overburden layer will require deeper excavation. Removal depth is to be adjusted as needed in the field at the time of construction. Deeper excavation will be required along ditches, in the non-lawn areas, and where current buildings, ditches and large bushes and trees are present. If ditches are to be relocated or fill, all sediment must be removed prior to the placement of structural fill.
- The surface soil is a silty sand or sandy silt. Therefore, materials cut from street sections can be used as structural fills to elevate building pads or fill low areas.



- After grubbing and clearing, the building pads and any areas that will support future pavements, driveways, sidewalks, etc., should be proof rolled and approved by the project geotechnical engineer. If soft or deflecting areas are present it may be recommended to over-excavate and replace or to scarified, moisture condition as needed, and recompact to the requirement provided herein for structural fill.
- Surface soil may rut or deflect severely if wet when loaded with rubber tire equipment. Excessively wet or deflecting areas are to be over-excavated and repaired with structural fill. Inspection at the time of testing should confirm that subgrade and structural fill is firm and stable, and free of soft, excessively wet, or deflecting areas.
- Imported structural fill used to repair over excavations or to elevate the building pads, support foundations or other concrete, and beneath future pavements should meet the Base or Subbase specifications of the ISPWC Specifications.
- The onsite native sand and gravel is approved for use as structural fill and can be approved by ACHD for use in their right of ways. Aggregate suitability testing at the time of harvest will be required and must be submitted and approved by ACHD before utilizing this material in their right of ways.
- The cleared, grubbed, and approved subgrade and each lift of imported structural fill is to be compacted to a minimum of 95% of the maximum dry density as determined by ASTM D1557, "Modified Proctor".
- Inplace testing to confirm proper compaction is required. Three tests per lift for every 5000 square feet or one test per building pad per lift of fill are recommended. Trench backfill is to be tested to ACHD or ISPWC requirements.
- Compacted native soil and structural fill must pass both testing and inspection requirements. Deflecting and / or excessively wet soils fail regardless of compaction test results.
- Unacceptable soils are to be removed to firm bearing and replaced with structural fill. Over excavation of wet or soft areas must extend laterally outside foundations a distance equal to the depth of fill.



- Based upon subgrade soils and anticipated traffic loads, the following pavement section is recommended for interior parking areas.

Structural Layer	Residential Streets	Collector Street
	TI = 6	TI=8
HMA	2.5"	3.0"
Base Course	4.0"	4.0"
Subbase	10.0"	14.0"

The above pavement section can be reduced to 10.0" of subbase in auto parking areas where truck access is limited such as retail parking stalls.

- Portland cement concrete is recommended for high traffic areas and areas of special loading such as dumpster storage and motorcycle parking.
- All site concrete shall be placed atop a minimum of 6" or properly compacted subbase atop an inspected and approved subgrade. Concrete thickness to meet ISPWC requirements for sidewalks or pavements.
- HMA, Portland cement concrete, base, and subbase used in pavement construction are to meet the materials quality and placement requirements of ISPWC.
- It is understood that stormwater disposal will be accomplished with surface ponds or lakes or brick pavers. For design purposes, SITE recommends a design percolation rate of P=8.0 inches / hour based upon extending drainage facilities to free draining, clean, Boise River sand and gravel formation.

We appreciate this opportunity to be of service. When appropriate, we would like to discuss continuing our role as geotechnical consultant during construction. Please contact our office if additional information or services are required.

Respectfully submitted,  
Bob J. Arnold, PE  
SITE Consulting, LLC





Post Office Box 190537 - Boise, Idaho 83719

site.consulting.idaho@gmail.com - 208-440-6276

## **APPENDIX**

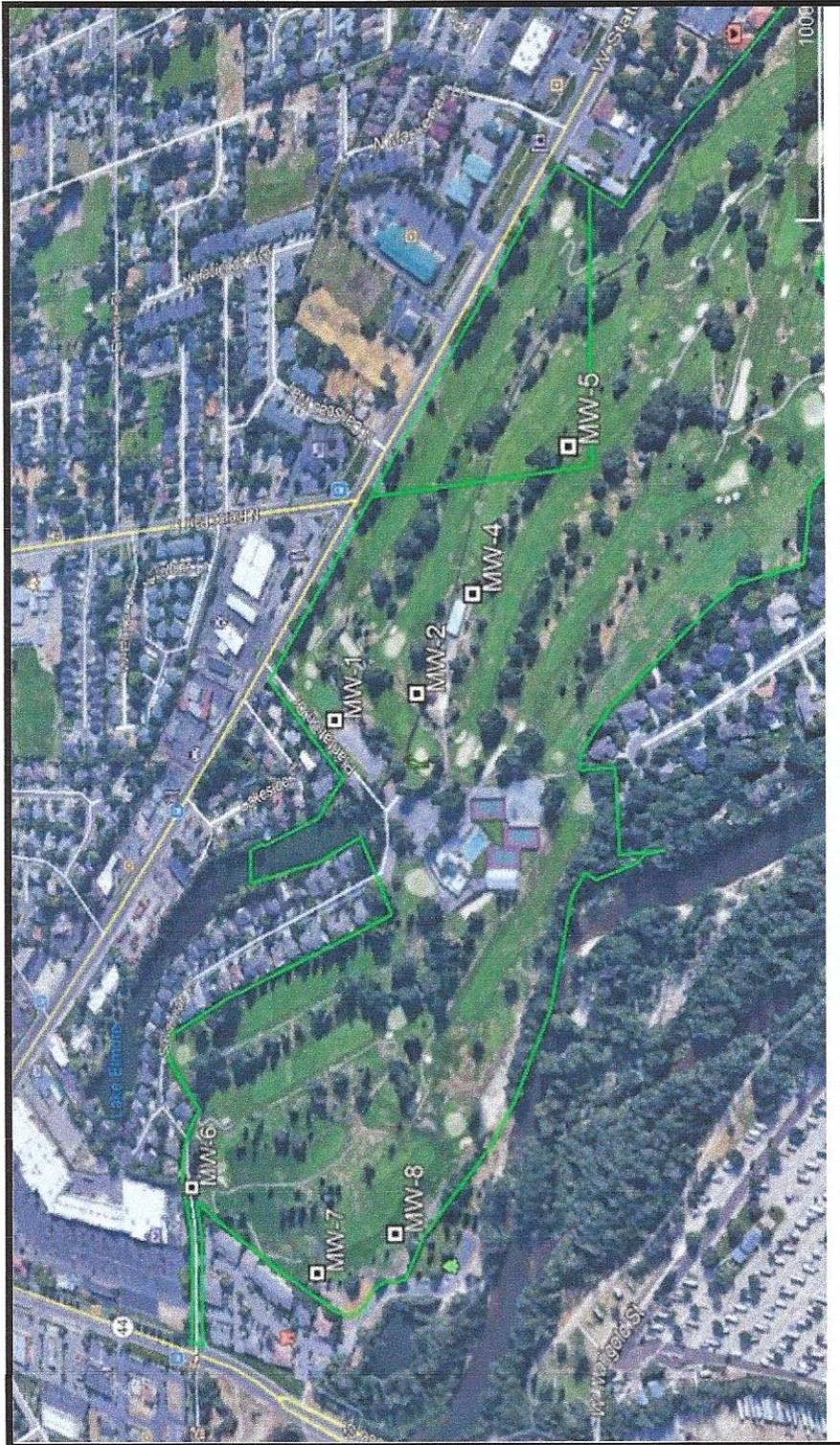
**Aerial Photo with Boring Locations**

**Boring Logs**

**2019 Groundwater Data / Boise River Flow Data**

**Nearby & Adjacent Well Logs**

**AERIAL PHOTO**



From Google Earth



Approximate Monitoring Well Locations  
**BORING LOGS**

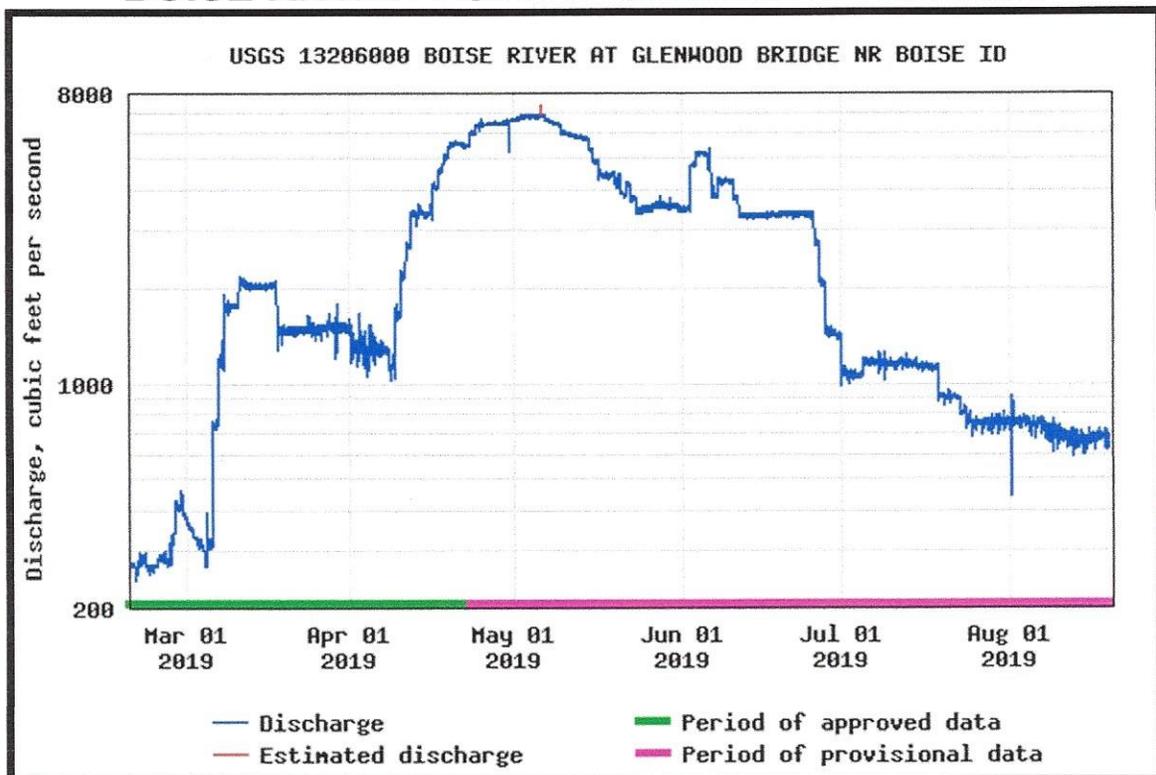
Boring Number	Sample Depth	Soil Description	N	1.0"	3/4"	3/8"	# 4	# 8	# 16	# 30	# 50	# 100	# 200	% M	LL	PI
1	0.0-2.5	4" Topsoil and the pavement gravel														
	2.5-4.0	Native Pitrun	25	100	92	82	77	65	51	31	15	9	4.5	5.1	NP	NP
	5.0-6.0	Native Pitrun	50+													
	7.0	Groundwater Encountered														
	9.0-10.0	Native Pitrun	50+													
2	0.0-2.5	Silty Sand with Gravel (Fill)														
	2.0	Groundwater Encountered														
	2.5-4.0	Silty Sand with Gravel (Fill)	13													
	5.0-6.5	Native Pitrun	50+	100	95	80	72	61	53	39	18	11	6.5	4.1	NP	NP
	9.5-10.5	Native Pitrun	50+													
4	0.0-2.0	Silty Sand or Sandy Silt														
	2.0	Groundwater Encountered														
	2.0-10.5	Native Pitrun														
5	0.0-1.5	Silty Sand or Sandy Silt														
	5.0	Groundwater Encountered														
	1.5-13.0	Native Pitrun														
6	0.0-1.0	Silty Sand														
	2.0	Groundwater Encountered														
	1.0-9.0	Native Pitrun														
7	0.0-1.0	Silty Sand with gravel														
	2.0	Groundwater Encountered														
	1.0-9.0	Native Pitrun														
8	0.0-1.0	Groundwater Encountered														
	1.5	Groundwater Encountered														
	1.0-9.0	Groundwater Encountered														



### 2019 ONSITE GROUNDWATER DATA

Well	1	2	4	5	6	7	8	By
Casing Elevation	2622.38	2617.35	2617.54	2622.94	2612.91	2613.09	2613.56	Surveyor
04/30/19	6.80	1.60	1.85	4.50	1.20	1.20	1.05	KA/BA
GW Elevation	2615.58	2615.75	2615.69	2618.44	2611.71	2611.89	2612.51	
05/15/19	6.75	1.52	1.73	4.44	1.05	1.12	0.75	JE
GW Elevation	2615.6	2615.8	2615.8	2618.5	2611.9	2612.0	2612.8	
06/25/19	6.78	1.56	1.80	4.43	1.42	1.77	1.80	JE
GW Elevation	2615.6	2615.8	2615.7	2618.5	2611.5	2611.3	2611.8	
07/31/19	6.98	1.77	1.96	4.80	1.95	3.76	4.02	JE
GW Elevation	2615.4	2615.6	2615.6	2618.1	2611.0	2609.3	2609.5	
08/20/19	6.95	1.76	2.02	4.93	2.85	3.98	4.15	JE
GW Elevation	2615.4	2615.6	2615.5	2618.0	2610.1	2609.1	2609.4	
10/01/19	6.85	1.76	2.18	5.09	2.89	4.47	4.67	JE
GW Elevation	2615.5	2615.6	2615.4	2617.9	2610.0	2608.6	2608.9	
10/18/19	7.03	2.91	2.42	5.25	3.24	4.68	4.83	JE
GW Elevation	2615.4	2614.4	2615.1	2617.7	2609.7	2608.4	2608.7	
2019 Maximum GW	2615.6	2615.8	2615.8	2618.5	2611.9	2612.0	2612.8	BA

### BOISE RIVER FLOW AT GLENWOOD BRIDGE





## PAVEMENT DESIGN

### DESIGN SECTION CALCULATIONS (ACHD R-Value Method)

Project: **Plantation Development**  
**State Street-Boise, Idaho**  
Client: **Taunton Group**

File No.: **19003**  
Calc By: **B. Arnold**  
Date: **12/15/19**

#### Design Thickness Equation:

$$T = 0.0032 (TI) (100-R)(12) = GE \text{ (inches)}$$

T = Design Thickness    TI = Traffic Index = **6**    By Agency  
GE = Gravel Equivalent    R = R-Value = **20**    By Soils Test  
**GE = 18.9 Inches**

#### ACHD HMA, 3/4" Base and Aggregate Subbase

	Actual Thickness	Equivalent Thickness
HMA Thickness =	<b>2.5</b> Inches	HMA = <b>5.0</b> Inches
3/4" Base Thickness =	<b>4.0</b> Inches	RBE = <b>4.4</b> Inches

#### Calculated Aggregate Subbase Thickness Equation:

$$\text{Subbase Thickness} = SB = GE - HMA - RBE$$

$$SB = \mathbf{9.5 \text{ Inches}}$$

#### CALCULATED DESIGN SECTION

HMA = 2.5 inches  
3/4" Base = 4.0 inches  
Subbase = 10.0 inches

#### RECOMMENDED DESIGN SECTION

HMA = 2.5 inches  
3/4" BASE = 4.0 inches  
SUBBASE = 10.0 inches

**SITE uses a maximum R-Value of 20 for ACHD Designs**



## PAVEMENT DESIGN

### DESIGN SECTION CALCULATIONS

(ACHD R-Value Method)

Project: **Plantation Development**  
**State Street-Boise, Idaho**  
Client: **Taunton Group**

File No.: **19003**  
Calc By: **B. Arnold**  
Date: **12/15/19**

#### Design Thickness Equation:

$$T = 0.0032 (TI) (100-R)(12) = GE \text{ (inches)}$$

T = Design Thickness      TI = Traffic Index = **8**      By Agency  
GE = Gravel Equivalent      R = R-Value = **20**      By Soils Test

$$GE = 25.1 \text{ Inches}$$

#### ACHD HMA, 3/4" Base and Aggregate Subbase

	Actual Thickness	Equivalent Thickness
HMA Thickness =	<b>3.0</b> Inches	HMA= <b>7.5</b> Inches
3/4" Base Thickness =	<b>4.0</b> Inches	RBE= <b>4.4</b> Inches

#### Calculated Aggregate Subbase Thickness Equation:

$$\text{Subbase Thickness} = SB = GE - HMA - RBE$$

$$SB = 13.2 \text{ Inches}$$

#### CALCULATED DESIGN SECTION

HMA = 3.0 inches  
3/4" Base = 4.0 inches  
Subbase = 14.0 inches

#### RECOMMENDED DESIGN SECTION

HMA = 3.0 inches  
3/4" BASE = 4.0 inches  
SUBBASE = 14.0 inches

SITE uses a maximum R-Value of 20 for ACHD Designs



Post Office Box 190537 - Boise, Idaho 83719  
 site.consulting.idaho@gmail.com - 208-440-6276

## NEARBY & ADJACENT WELL LOGS

Form 238-7  
11/91

C

STATE OF IDAHO  
 DEPARTMENT OF WATER RESOURCES  
**WELL DRILLER'S REPORT**  
 State law requires that this report be filed with the Director, Department of Water Resources  
 within 30 days after the completion or abandonment of the well.

USE TYPEWRITER OR  
BALLPOINT PEN

<p>1. WELL OWNER        Name <u>TOM LITTLE / Plantation Golf</u>        Address <u>2900 N. 32nd</u>  <u>Boise, ID 83702</u>        Drilling Permit No. <u>63-90-W-273</u>        Water Right Permit No. <u>63-11387</u></p>	<p>7. WATER LEVEL        Static water level <u>6</u> feet below land surface.        Flowing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No G.P.M. flow _____        Artesian closed-in pressure _____ p.s.i.        Controlled by: <input type="checkbox"/> Valve <input type="checkbox"/> Cap <input type="checkbox"/> Plug        Temperature _____ °F Quality _____  <small>Describe artesian or temperature zones below:</small></p>																												
<p>2. NATURE OF WORK  <input checked="" type="checkbox"/> New well <input type="checkbox"/> Deepened <input type="checkbox"/> Replacement  <input type="checkbox"/> Well diameter increase <input type="checkbox"/> Modification  <input type="checkbox"/> Abandoned (describe abandonment or modification procedures such as liners, screen, materials, plug depths, etc. in lithologic log, section 9.)</p>	<p>8. WELL TEST DATA  <input type="checkbox"/> Pump <input checked="" type="checkbox"/> Bailor <input type="checkbox"/> Air <input type="checkbox"/> Other _____  <table border="1"> <tr> <th>Discharge G.P.M.</th> <th>Pumping Level</th> <th>Hours Pumped</th> </tr> <tr> <td><u>40</u></td> <td><u>25</u></td> <td><u>1</u></td> </tr> </table></p>	Discharge G.P.M.	Pumping Level	Hours Pumped	<u>40</u>	<u>25</u>	<u>1</u>																						
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<u>40</u>	<u>25</u>	<u>1</u>																											
<p>3. PROPOSED USE  <input type="checkbox"/> Domestic <input checked="" type="checkbox"/> Irrigation <input type="checkbox"/> Monitor  <input type="checkbox"/> Industrial <input type="checkbox"/> Stock <input type="checkbox"/> Waste Disposal or Injection  <input type="checkbox"/> Other _____ (specify type)</p>	<p>9. LITHOLOGIC LOG <u>080252</u></p>																												
<p>4. METHOD DRILLED  <input type="checkbox"/> Rotary <input type="checkbox"/> Air <input type="checkbox"/> Auger <input type="checkbox"/> Reverse rotary  <input checked="" type="checkbox"/> Cable <input type="checkbox"/> Mud <input type="checkbox"/> Other _____  <small>(backhoe, hydraulic, etc.)</small></p>	<table border="1"> <thead> <tr> <th rowspan="2">Bore Diam.</th> <th colspan="2">Depth</th> <th rowspan="2">Material</th> <th colspan="2">Water</th> </tr> <tr> <th>From</th> <th>To</th> <th>Yes</th> <th>No</th> </tr> </thead> <tbody> <tr> <td><u>8"</u></td> <td><u>0</u></td> <td><u>3</u></td> <td><u>TOP SOIL</u></td> <td><input checked="" type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td><u>8"</u></td> <td><u>3</u></td> <td><u>39</u></td> <td><u>GRAVEL &amp; SAND</u></td> <td><input checked="" type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td><u>8"</u></td> <td><u>39</u></td> <td><u>40</u></td> <td><u>CLAY</u></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </tbody> </table> <p>MAY 28 1992        Department of Water Resources        Bureau of Regional Office</p>	Bore Diam.	Depth		Material	Water		From	To	Yes	No	<u>8"</u>	<u>0</u>	<u>3</u>	<u>TOP SOIL</u>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<u>8"</u>	<u>3</u>	<u>39</u>	<u>GRAVEL &amp; SAND</u>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<u>8"</u>	<u>39</u>	<u>40</u>	<u>CLAY</u>	<input type="checkbox"/>	<input type="checkbox"/>
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<p>5. WELL CONSTRUCTION        Casing schedule: <input checked="" type="checkbox"/> Steel <input type="checkbox"/> Concrete <input type="checkbox"/> Other        Thickness _____ inches Diameter _____ inches + _____ feet <u>39</u> feet        _____ inches _____ inches _____ feet _____ feet        _____ inches _____ inches _____ feet _____ feet        Was casing drive shoe used? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No        Was a packer or seal used? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No        Perforated? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No        How perforated? <input type="checkbox"/> Factory <input type="checkbox"/> Knife <input checked="" type="checkbox"/> Torch <input type="checkbox"/> Gun        Size of perforation? <input checked="" type="checkbox"/> _____ inches by <u>6</u> inches        _____ Number _____ From _____ feet _____ to _____ feet        _____ perforations _____ feet _____ feet        _____ perforations _____ feet _____ feet        _____ perforations _____ feet _____ feet        Well screen installed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No        Manufacturer _____ Type _____        Top Packer or Headpipe _____        Bottom of Tailpipe _____        Diameter _____ Slot size _____ Set from _____ feet to _____ feet        Diameter _____ Slot size _____ Set from _____ feet to _____ feet        Gravel packed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Size of gravel _____        Placed from _____ feet to _____ feet        Surface seal depth <u>10</u> Material used in seal: <input type="checkbox"/> Cement grout  <input checked="" type="checkbox"/> Bentonite <input type="checkbox"/> Puddling clay <input type="checkbox"/> _____        Sealing procedure used: <input type="checkbox"/> Slurry pit  <input type="checkbox"/> Temp. surface casing <input checked="" type="checkbox"/> Overbore to seal depth        Method of joining casing: <input type="checkbox"/> Threaded <input type="checkbox"/> Welded  <input type="checkbox"/> Solvent Weld <input type="checkbox"/> Cemented between strata        Describe access port _____</p>	<p>10. Work started <u>Nov. 5, 90</u> finished <u>Nov 9, 90</u></p>																												
<p>6. LOCATION OF WELL        Sketch map location must agree with written location        Subdivision Name <u>Plantation Sub.</u>        Lot No. _____ Block No. _____        County <u>Ada</u>        NW ¼ SE ¼ Sec. <u>30</u>, T. <u>4</u> N <input checked="" type="checkbox"/> S <input type="checkbox"/> R. <u>2</u> E <input checked="" type="checkbox"/> W <input type="checkbox"/></p>	<p>11. DRILLER'S CERTIFICATION        I/We certify that all minimum well construction standards were complied with at the time the rig was removed.        Firm Name <u>Phipps</u> Firm No. <u>311</u>        Address <u>7015 N. Goldaell</u>        Signed by Drilling Supervisor <u>Same</u>        and <u>Wesley O. Phipps</u>        (Operator) _____  <small>(If different than the Drilling Supervisor)</small></p>																												

USE ADDITIONAL SHEETS IF NECESSARY - FORWARD THE WHITE COPY TO THE DEPARTMENT



Form 238-7  
4/92

STATE OF IDAHO  
DEPARTMENT OF WATER RESOURCES  
**WELL DRILLER'S REPORT**

USE TYPEWRITER OR  
BALLPOINT PEN

State law requires that this report be filed with the Director, Department of Water Resources  
within 30 days after the completion or abandonment of the well.

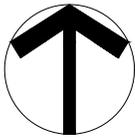
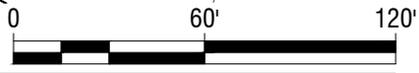
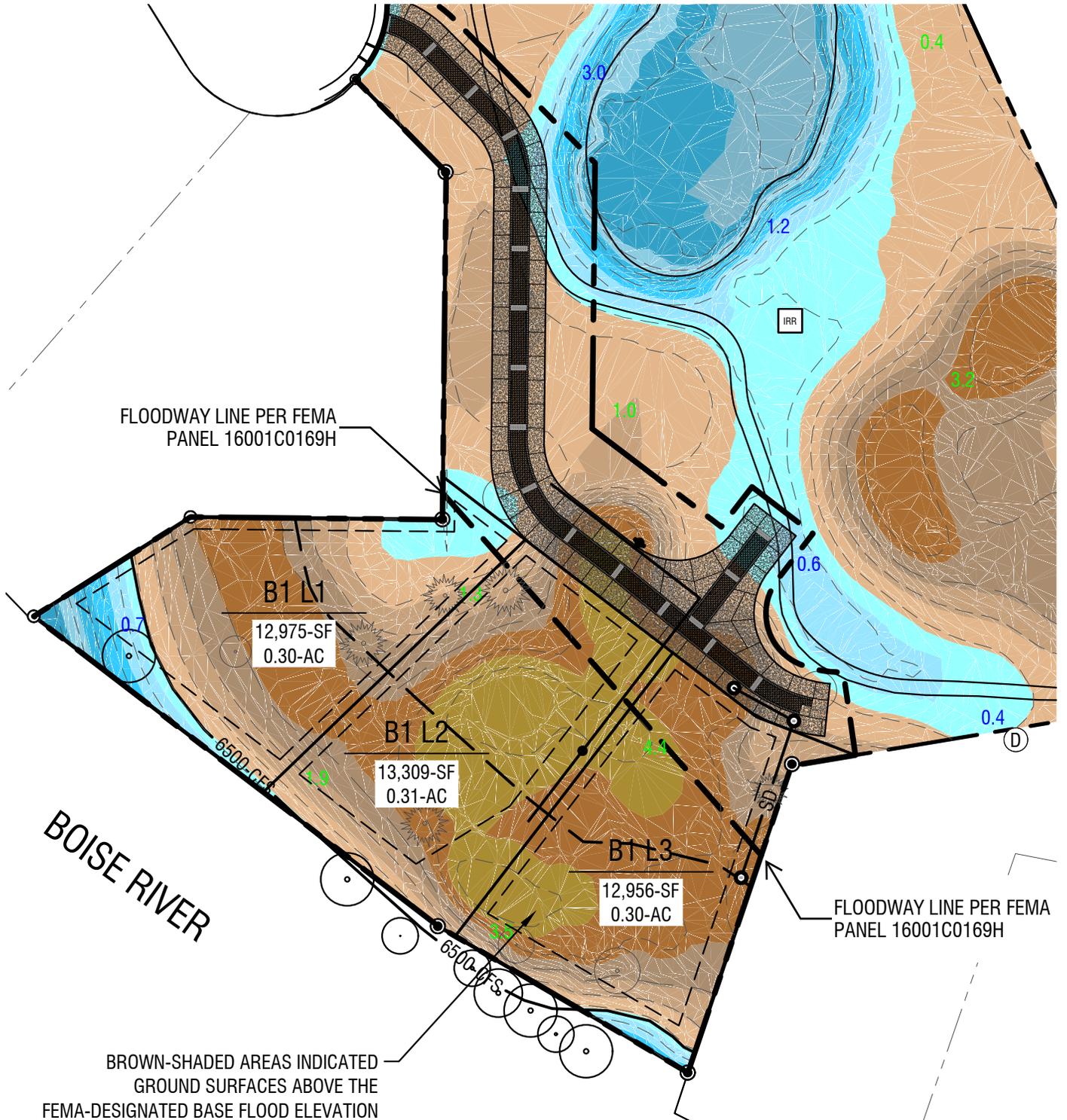
<p><b>1. WELL OWNER</b>          Name <u>Boise Jans</u>          Address <u>6644 Lakeside (Boise)</u>          Drilling Permit No. <u>63-92-W-249</u>          Water Right Permit No. _____</p>	<p><b>7. WATER LEVEL</b>          Static water level <u>9</u> feet below land surface.          Flowing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No G.P.M. flow _____          Artesian closed-in pressure _____ p.s.i.          Controlled by: <input type="checkbox"/> Valve <input type="checkbox"/> Cap <input type="checkbox"/> Plug          Temperature _____ °F. Quality _____  <small>Describe artesian or temperature zones below.</small></p>																																																																																																																
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<p><b>3. PROPOSED USE</b>  <input checked="" type="checkbox"/> Domestic <input type="checkbox"/> Irrigation <input type="checkbox"/> Monitor  <input type="checkbox"/> Industrial <input type="checkbox"/> Stock <input type="checkbox"/> Waste Disposal or Injection  <input type="checkbox"/> Other _____ (specify type)</p>	<p><b>9. LITHOLOGIC LOG</b> <span style="float: right;">81711</span></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th rowspan="2">Bore Diam.</th> <th colspan="2">Depth</th> <th rowspan="2">Material</th> <th colspan="2">Water</th> </tr> <tr> <th>From</th> <th>To</th> <th>Yes</th> <th>No</th> </tr> </thead> <tbody> <tr> <td>6</td> <td>0</td> <td>3</td> <td>Topsoil</td> <td></td> <td>✓</td> </tr> <tr> <td></td> <td>3</td> <td>6</td> <td>Sandy Clay</td> <td></td> <td>✓</td> </tr> <tr> <td></td> <td>6</td> <td>18</td> <td>Hard Brown Clay</td> <td>✓</td> <td></td> </tr> <tr> <td></td> <td>18</td> <td>26</td> <td>Sand &amp; Gravel</td> <td></td> <td>✓</td> </tr> <tr> <td></td> <td>26</td> <td>45</td> <td>Sandy Gravel</td> <td></td> <td>✓</td> </tr> <tr> <td></td> <td>45</td> <td>46</td> <td>Sandy Brown Clay</td> <td>✓</td> <td></td> </tr> <tr> <td></td> <td>46</td> <td>52</td> <td>Sand</td> <td></td> <td>✓</td> </tr> <tr> <td></td> <td>52</td> <td>54</td> <td>Sandy Brown Clay</td> <td>✓</td> <td></td> </tr> <tr> <td></td> <td>54</td> <td>72</td> <td>Sand</td> <td></td> <td>✓</td> </tr> <tr> <td></td> <td>72</td> <td>78</td> <td>Sandy Brown Clay</td> <td>✓</td> <td></td> </tr> <tr> <td></td> <td>78</td> <td>85</td> <td>Light Shale</td> <td></td> <td>✓</td> </tr> <tr> <td></td> <td>85</td> <td>96</td> <td>Gray fine sand</td> <td>✓</td> <td></td> </tr> <tr> <td></td> <td>96</td> <td>107</td> <td>Light Sandy Clay</td> <td>✓</td> <td></td> </tr> <tr> <td></td> <td>107</td> <td>111</td> <td>Light Clay</td> <td>✓</td> <td></td> </tr> <tr> <td></td> <td>111</td> <td>112</td> <td>fine Brown sand</td> <td>✓</td> <td></td> </tr> <tr> <td></td> <td>112</td> <td>117</td> <td>Light Brown Clay</td> <td>✓</td> <td></td> </tr> <tr> <td></td> <td>6</td> <td>117</td> <td>Brown sand</td> <td>✓</td> <td></td> </tr> </tbody> </table>	Bore Diam.	Depth		Material	Water		From	To	Yes	No	6	0	3	Topsoil		✓		3	6	Sandy Clay		✓		6	18	Hard Brown Clay	✓			18	26	Sand & Gravel		✓		26	45	Sandy Gravel		✓		45	46	Sandy Brown Clay	✓			46	52	Sand		✓		52	54	Sandy Brown Clay	✓			54	72	Sand		✓		72	78	Sandy Brown Clay	✓			78	85	Light Shale		✓		85	96	Gray fine sand	✓			96	107	Light Sandy Clay	✓			107	111	Light Clay	✓			111	112	fine Brown sand	✓			112	117	Light Brown Clay	✓			6	117	Brown sand	✓	
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<p><b>4. METHOD DRILLED</b>  <input type="checkbox"/> Rotary <input type="checkbox"/> Air <input type="checkbox"/> Auger <input type="checkbox"/> Reverse rotary  <input checked="" type="checkbox"/> Cable <input type="checkbox"/> Mud <input type="checkbox"/> Other _____  <small>(backhoe, hydraulic, etc.)</small></p>	<p><b>10.</b>          Work started <u>8/5/92</u> finished <u>8/10/92</u></p>																																																																																																																
<p><b>5. WELL CONSTRUCTION</b>          Casing schedule: <input checked="" type="checkbox"/> Steel <input type="checkbox"/> Concrete <input type="checkbox"/> Other _____          Thickness _____ Diameter _____ From _____ To _____  <u>52</u> inches <u>6</u> inches + <u>1</u> feet <u>115</u> feet          _____ inches _____ inches _____ feet _____ feet          _____ inches _____ inches _____ feet _____ feet          Was casing drive shoe used? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No          Was a packer or seal used? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No          Perforated? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No          How perforated? <input type="checkbox"/> Factory <input type="checkbox"/> Knife <input type="checkbox"/> Torch <input type="checkbox"/> Gun          Size of perforation? _____ inches by _____ inches          Number _____ From _____ to _____          _____ perforations _____ feet _____ feet          _____ perforations _____ feet _____ feet          _____ perforations _____ feet _____ feet          Well screen installed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No          Manufacturer _____ Type _____          Top Packer or Headpipe _____          Bottom of Tailpipe _____          Diameter _____ Slot size _____ Set from _____ feet to _____ feet          Diameter _____ Slot size _____ Set from _____ feet to _____ feet          Gravel packed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Size of gravel _____          Placed from _____ feet to _____ feet          Surface seal depth <u>12</u> Material used in seal: <input type="checkbox"/> Cement grout  <input type="checkbox"/> Bentonite <input checked="" type="checkbox"/> Puddling clay <input type="checkbox"/> _____          Sealing procedure used: <input type="checkbox"/> Slurry pit  <input type="checkbox"/> Temp. surface casing <input checked="" type="checkbox"/> Overbore to seal depth          Method of joining casing: <input type="checkbox"/> Threaded <input checked="" type="checkbox"/> Welded  <input type="checkbox"/> Solvent Weld <input type="checkbox"/> Cemented between strata          Describe access port _____</p>	<p><b>11. DRILLER'S CERTIFICATION</b>          I/We certify that all minimum well construction standards were complied with at the time the rig was removed.          Firm Name <u>Boise Valley Pumping</u> Firm No. <u>207</u>          Address <u>2950 S. Garden Blvd</u> Date <u>10/29/92</u>          Signed by Drilling Supervisor <u>Don E. Murphy</u>          and          (Operator) <u>Larry R. Tolton</u>  <small>(if different than the Drilling Supervisor)</small></p>																																																																																																																
<p><b>6. LOCATION OF WELL</b>          Sketch map location must agree with written location.            Subdivision Name <u>Plantation Acres Subst 1</u>          Lot No. _____ Block No. _____          County <u>Ada</u>          Address of Well Site <u>6644 Lakeside</u>  <small>(give at least name of road)</small>          T. <u>4</u> N <input type="checkbox"/> or S <input type="checkbox"/>  <u>NW</u> ¼ Sec. <u>30</u> R. <u>2</u> E <input type="checkbox"/> or W <input type="checkbox"/></p>	<p style="text-align: center;">RECEIVED NOV 19 1992 Department of Water Resources</p> <p style="text-align: center;">DEC 03 1992</p>																																																																																																																

USE ADDITIONAL SHEETS IF NECESSARY — FORWARD THE WHITE COPY TO THE DEPARTMENT

Nothing Follows

# Appendix B

## FEMA Floodplain Analysis



**FEMA Map Analysis**

Horizontal Scale: 1" = 60'

Project No.: 118161  
Date of Issuance: 05-19-2020

File Location: g:\2018\118161\cad\ex 118161 floodplain exhibit.dwg  
Last Plotted By: jason densmer  
Date Plotted: Tuesday, May 19 2020 at 06:47 PM



**FEMA Floodplain Analysis  
Glass Island View Subdivision  
Plantation Country Club**

**App B**

## Garden City Standard Construction Notes:

1. THE CONTRACTOR SHALL COMPLY WITH THE CITY OF GARDEN CITY'S APPROVED EROSION AND SEDIMENT CONTROL PLAN (ESCP) FOR THIS PROJECT. A RESPONSIBLE PARTY (RP) SHALL BE RESPONSIBLE TO COMPLY WITH THE ESCP REQUIREMENTS. IF THE OWNER HAS NOT DESIGNATED A RP, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE A RP. THE RP IS REQUIRED TO COMPLY WITH THE CITY OF GARDEN CITY'S ORDINANCE FOR CONTROL FOR EROSION FROM THIS CONSTRUCTION SITE. THE ESCP IS A DOCUMENT/PLAN THAT IS REQUIRED TO BE UPDATED AND AMENDED TO BEST FIT THE SITE AS CONSTRUCTION OCCURS. THE RP IS RESPONSIBLE TO KEEP THE PLAN CURRENT. AT COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND AFTER THE PROJECT SITE IS STABILIZED FOR EROSION CONTROL, THE ESCP IS TERMINATED.

2. ALL CONSTRUCTION, MATERIALS, APPURTENANCES AND TESTING SHALL COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), UNLESS SPECIFICALLY MODIFIED BY THESE CONSTRUCTION DOCUMENTS.

3. THE CONTRACTOR, ALL APPLICABLE SUB-CONTRACTORS, DEVELOPER/OWNER, UTILITY COMPANY REPRESENTATIVES, A GARDEN CITY DEPARTMENT OF PUBLIC WORKS REPRESENTATIVE AND AN ADA COUNTY HIGHWAY DISTRICT REPRESENTATIVE SHALL ATTEND A PRE-CONSTRUCTION CONFERENCE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

4. THE CONTRACTOR SHALL OBTAIN A CONSTRUCTION PERMIT FROM THE ADA COUNTY HIGHWAY DISTRICT AT LEAST 24 HOURS PRIOR TO COMMENCING CONSTRUCTION OF ANY OF THE IMPROVEMENTS SHOWN HEREON LOCATED WITHIN PUBLIC RIGHT-OF-WAY.

5. CONSTRUCTION INSPECTION SHALL BE PERFORMED BY THE PROJECT ENGINEER, THE ADA COUNTY HIGHWAY DISTRICT AND/OR THE GARDEN CITY DEPARTMENT OF PUBLIC WORKS. INSPECTION BY THE GARDEN CITY DEPARTMENT OF PUBLIC WORKS WILL BE FOR DEPARTMENT PURPOSES ONLY TO SPOT CHECK WORK COMPLIANCE WITH THE CITY'S REQUIREMENTS. IT IS THE PROJECT ENGINEER'S RESPONSIBILITY TO ASSURE COMPLIANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.

6. THE CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING WORK. ANY DEVIATIONS, OMISSIONS OR ERRORS SHALL BE PRESENTED TO THE PROJECT ENGINEER FOR RESOLUTION. ANY CHANGES TO THE PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO AND APPROVED BY THE GARDEN CITY DEPARTMENT OF PUBLIC WORKS PRIOR TO IMPLEMENTATION OF THE CHANGE. SAID CHANGE MAY ALSO NEED TO BE SUBMITTED TO THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY FOR APPROVAL.

7. THE CONTRACTOR SHALL CONTACT DIGLINE (811) AND OTHER APPROPRIATE UTILITY PROVIDERS FOR UTILITY LOCATIONS AT LEAST 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION.

8. ANY WATERS CREATED BY DEWATERING SHALL NOT BE PERMITTED TO DIRECTLY DISCHARGE TO ANY EXISTING SURFACE WATER FACILITY. PRIOR TO DISCHARGING TO WATERS OF THE STATE OF IDAHO, THE CONTRACTOR SHALL SECURE A SHORT-TERM ACTIVITY EXEMPTION FROM THE APPLICABLE REGIONAL OFFICE OF THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY.

9. HORIZONTAL AND VERTICAL SEPARATION OF POTABLE AND NON-POTABLE PIPELINES SHALL MEET THE REQUIREMENTS OF ISPCW SECTION 405 AND ISPCW DRAWING NO. 407.

### SANITARY SEWER NOTES

10. ALL SEWER PIPE AND FITTINGS WITH COVER GREATER THAN 3 FEET, SHALL BE POLYVINYL CHLORIDE (PVC) CONFORMING TO THE REQUIREMENTS OF ASTM D-3034, SDR-35 FOR SIZES 4-INCH THROUGH 15-INCH; ASTM F-679, SDR-35, T-1 WALL FOR SIZES 18-INCH THROUGH 27-INCH; OR ASTM F-794, T-46 FOR SIZES 18-INCH THROUGH 36-INCH. THE MINIMUM COVER FOR ALL PVC SEWER LINES SHALL BE 3 FEET. SEWER PIPE AND FITTINGS WITH COVER LESS THAN 3 FEET SHALL BE DUCTILE IRON (DI) CONFORMING TO ANSI A-21.51 OR AWWA C-151, MINIMUM CLASS 50.

11. SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE PER THE ISPCW WITH A MAXIMUM OF 12 INCHES OF CONCRETE GRADE RINGS, A 24-INCH DIAMETER CAST IRON RING AND COVER AND A CONCRETE COLLAR PER ISPCW DRAWINGS SD-501, SD-505, SD-507, SD-508, SD-509. MANHOLES SHALL NOT HAVE STEPS. THE SEWER CONTRACTOR SHALL FIELD VERIFY THAT NO MORE THAN 12-INCHES OF GRADE RINGS ARE NECESSARY TO ADJUST THE MANHOLE TO FINAL GRADE. GRADE RINGS, RING AND COVERS SHALL BE PROVIDED BY THE SEWER CONTRACTOR. MANHOLE CONES SHALL BE ECCENTRIC FOR ALL MANHOLES 4 FEET AND DEEPER. THE VERTICAL WALL OF THE CONE SHALL BE PLACED UPSTREAM AND ROTATED 45°. CONCENTRIC CONES SHALL BE USED FOR MANHOLES LESS THAN 4 FEET DEEP.

12. MANUFACTURED COMPRESSION BOOTHS SHALL BE USED IN MANHOLES WHERE PIPELINES ENTER AND LEAVE THE MANHOLE.

13. SEWER SERVICE LINES SHALL BE ISPCW TYPE "A" OR "B" AND CONSTRUCTED AND MARKED PER ISPCW DRAWING SD-511A. SERVICES SHALL NOT BE DEEPER THAN 5 FEET AT THE PROPERTY LINE, UNLESS SPECIFICALLY APPROVED BY THE CITY. SERVICES SHALL EXTEND HORIZONTALLY 10 FEET BEYOND THE PROPERTY LINE. SERVICE LINES SHALL INCLUDE AN INSPECTION CLEANOUT PLACED DIRECTLY ADJACENT TO AND INSIDE PUBLIC STREET RIGHT-OF-WAY OR THE SEWER EASEMENT LINE. THE CLEANOUT SHALL CONFORM TO SD-506A & SD-506B (BOLT DOWN COVER OPTION) WITH THE RISER BEING THE SAME SIZE AS THE SERVICE LINE.

14. SERVICE LINE CONNECTIONS TO NEW MAINLINES SHALL USE A FULL SERVICE TEE. SERVICE LINE CONNECTIONS TO EXISTING MAINLINES THAT ARE CONCRETE OR A CONCRETE DERIVATIVE SHALL USE A TAPPING SADDLE. SERVICE CONNECTIONS TO EXISTING MAINLINES THAT ARE NOT CONCRETE OR A CONCRETE DERIVATIVE SHALL USE AN INSERTA-TEE OR A PRIOR APPROVED EQUAL.

15. ALL SEWER MAINS AND SERVICES SHALL BE BEDDED PER THE REQUIREMENTS OF TYPE I BEDDING, EXCEPT THAT BEDDING MATERIAL SHALL BE SELECT ¾-INCH MAXIMUM CRUSHED GRAVEL CHIPS. ALL BEDDING SHALL BE THOROUGHLY SHOVEL-SLICED UNDER THE PIPE.

16. GROUNDWATER LEVELS SHALL BE MAINTAINED BELOW THE TRENCH BOTTOM AT ALL TIMES DURING CONSTRUCTION. GROUNDWATER SHALL NOT BE PERMITTED TO ENTER THE PIPELINE SYSTEM DURING CONSTRUCTION, AS SOON AS POSSIBLE THE CONTRACTOR SHALL INSTALL A REMOVABLE WATERTIGHT PLUG IN THE NEW PIPELINE AT THE POINT OF CONNECTION TO THE EXISTING SEWER SYSTEM.

17. SEWERS SHALL BE CLEANED AND TESTED AFTER ALL UTILITIES ARE INSTALLED AND PRIOR TO PAVING. MATERIAL CLEANED FROM THE CONSTRUCTION SHALL NOT BE PERMITTED TO DISCHARGE TO THE DOWNSTREAM RECEIVING PIPELINE. ALL INSTALLED SEWER PIPES SHALL BE TESTED IN ACCORDANCE WITH DIVISION 500 OF THE ISPCW. A REPRESENTATIVE OF THE CITY MUST BE PRESENT MUST OBSERVE THE TESTING. MAINLINE PIPELINE TESTING SHALL INCLUDE AIR

PRESSURE, DEFLECTION AND CLOSED CIRCUIT TELEVISION (CCTV) VISUAL INSPECTION. SERVICE LINE TESTING SHALL INCLUDE AIR PRESSURE AND CLOSED CIRCUIT TELEVISION (CCTV). THE CCTV REPORT SHALL BE IN THE FORM OF A VHS VIDEOTAPE OR DVD AND A WRITTEN LOG. MANHOLES SHALL BE VACUUM OR HYDROSTATICALLY TESTED FOR LEAKAGE. THE SEWER SYSTEM SHALL NOT ACCEPT ANY FLOWS UNTIL THE CITY ISSUES AN INITIAL ACCEPTANCE OF THE SYSTEM.

18. THE CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF AT LEAST A ONE-YEAR FOLLOWING THE CITY'S INITIAL ACCEPTANCE.

### WATERLINE NOTES

19. ALL WATER MAINS SHALL BE POLYVINYL CHLORIDE (PVC) CONFORMING TO THE REQUIREMENTS OF AWWA C-900, CLASS 235, DR-18. ALL FITTINGS SHALL BE MECHANICAL JOINT OR FLANGED DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF AWWA C-110. ALL PLASTIC PIPE SHALL BE INSTALLED WITH A #12 DIRECT BURIAL TRACER WIRE PLACED ALONG THE NORTH AND EAST SIDE OF THE MAIN. THE TRACER WIRE WILL NOT BE EXTENDED UP IN TO OR ALONG VALVE BOXES, BUT SHALL CONTINUE ALONG THE MAINLINE, UNINTERRUPTED. MINIMUM BURIAL DEPTHS FOR WATER MAINS SHALL BE 4 FEET FROM FINISH GRADE TO THE TOP OF THE PIPE.

20. INDIVIDUAL OR DUAL WATER SERVICE CONNECTIONS 1-INCH OR SMALLER SHALL BE POLYETHYLENE PIPE CONFORMING TO AWWA C-901, CLASS 200, DR-7.3. SERVICES SHALL BE CONSTRUCTED CONFORMING TO THE GARDEN CITY STANDARD DRAWING. SERVICE PIPELINES SHALL BE A MINIMUM 1-INCH, UNLESS OTHERWISE NOTED.

21. INDIVIDUAL WATER SERVICE CONNECTIONS LARGER THAN 1-INCH SHALL BE POLYETHYLENE PIPE CONFORMING TO AWWA C-901, CLASS 200, DR-7.3. SERVICES SHALL BE CONSTRUCTED CONFORMING TO THE ISPCW SD-402. SERVICE PIPELINES SHALL BE A MINIMUM 2-INCH, UNLESS OTHERWISE NOTED.

22. WATER VALVES SHALL BE RESILIENT-SEAT GATE VALVES CONFORMING TO AWWA C-509 OR AWWA C-515. ALL WATER VALVES SHALL BE INSTALLED WITH A STANDARD 5-1/4 INCH DIAMETER, TWO PIECE ADJUSTABLE CAST IRON VALVE BOX, TYLER/UNION SERIES 6855, OR EQUAL. THE CAST IRON COVER SHALL BE MARKED WITH THE WORD "WATER" AS AN INTEGRAL PART OF THE COVER.

23. FIRE HYDRANTS SHALL CONFORM TO AWWA C-502 AND ISPCW DRAWING SD-404. THE PUMPER NOZZLE OUTLET SHALL BE EQUIPPED WITH A "STORZ" ADAPTER.

24. ALL WATER MAINS AND SERVICES SHALL BE BEDDED PER THE REQUIREMENTS OF TYPE I BEDDING, EXCEPT THAT BEDDING MATERIAL SHALL BE SELECT ¾-INCH MAXIMUM CRUSHED GRAVEL CHIPS FOR WATER MAINS AND 3/8-INCH MAXIMUM CRUSHED GRAVEL CHIPS FOR SERVICE LINES. ALL BEDDING SHALL BE THOROUGHLY SHOVEL-SLICED UNDER THE PIPE.

25. ALL INSTALLED WATER LINES SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH SECTION 401.3.6 OF THE ISPCW FOLLOWING INSTALLATION OF ALL UTILITIES AND PRIOR TO PAVING. EACH METER SETTER SHALL BE OPENED TO BE SURE THAT THE SERVICE CORPORATION STOP IS OPEN AND THE SERVICE IS FUNCTIONAL PRIOR TO PAVING. A REPRESENTATIVE OF THE CITY MUST BE PRESENT MUST OBSERVE THE TESTING. ALL INSTALLED WATER LINES SHALL BE FLUSHED, DISINFECTED AND TESTED FOR BACTERIA IN ACCORDANCE WITH SECTION 401.3.9 OF THE ISPCW. THE WATER SYSTEM SHALL NOT BE OPENED TO THE CITY SYSTEM UNTIL THE CITY ISSUES AN INITIAL ACCEPTANCE OF THE SYSTEM.

26. THE CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF AT LEAST A ONE-YEAR FOLLOWING THE CITY'S INITIAL ACCEPTANCE.

### DRAINAGE NOTES

27. ALL INSPECTIONS SHALL REQUIRE A 24-HOUR NOTICE PRIOR TO THE REQUESTED INSPECTION TIME. CALL THE INSPECTION HOT LINE AT 208-472-2920.

28. PRIOR TO ANY EARTHWORK A 24-HOUR NOTICE TO BEGIN CONSTRUCTION IS REQUIRED. CALL INSPECTION HOT LINE AT 208-472-2920.

29. DRAINAGE INSPECTIONS SHALL BE CONDUCTED AT ANY GIVEN TIME OR UPON REQUEST. DURING CONSTRUCTION, VERIFYING COMPLIANCE WITH THE CITY REQUIREMENTS AND CONSTRUCTION ACTIVITIES ARE FOLLOWED AS PER THE APPROVED PLANS.

30. ALL DRAINAGE CONSTRUCTION OBSERVATIONS MUST BE PERFORMED BY THE APPLICANT'S DESIGN ENGINEER.

- A. SUBMIT TO THE GARDEN CITY ENVIRONMENTAL DIVISION THE FOLLOWING DOCUMENTATION PRIOR SIGNATURE OF THE CITY ON A FINAL SUBDIVISION PLAT OR PRIOR TO THE FINAL INSPECTION FOR A CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST:
  - i. THE DESIGN ENGINEER'S DRAINAGE CONSTRUCTION OBSERVATION REPORTS.
  - ii. A SIGNED, WRITTEN STATEMENT FROM THE DESIGN ENGINEER THAT ALL DRAINAGE STRUCTURES AND APPURTENANCES WERE CONSTRUCTED IN ACCORDANCE TO THE APPROVED PLANS.

31. THE DRAINAGE SYSTEM AND ANY FILTER FABRIC SHALL NOT BE COVERED PRIOR TO INSPECTION. CALL THE INSPECTION HOT LINE AT 208-472-2920.

32. THE SIZE AND LOCATION OF THE DRAINAGE SYSTEM SHALL CORRESPOND WITH THE APPROVED DRAINAGE SYSTEM PLAN AND SHALL BE INSPECTED.

33. FINAL INSPECTION OF THE STORM DRAINAGE SYSTEM SHALL BE CONDUCTED FOLLOWING THE PAVING AND FINAL LANDSCAPING.

34. ALL DRAINAGE CONVEYANCE ACCESS POINTS SHALL BE STENCILED OR MARKED WITH IDENTIFYING STATEMENT FOR THE PUBLIC "DO NOT DUMP - SYSTEM DRAINS TO GROUNDWATER" OR "RIVER", WHICHEVER IS RELEVANT TO THE SYSTEM DISPOSAL DESIGN.

35. TRAFFIC RATED MANHOLE LIDS SHALL BE USED.

36. ALL PARKING LOT GRADES SHALL BE AT LEAST 1% FOR ASPHALTIC-CONCRETE AND 0.4% FOR CONCRETE.

### ROADWAY CONSTRUCTION NOTES

37. MANHOLE GRADE RINGS, CAST IRON RINGS AND COVERS SHALL BE PROVIDED BY THE SEWER CONTRACTOR. THE ROAD CONTRACTOR SHALL INSTALL THE SEWER GRADE RINGS, CAST IRON RINGS, COVERS AND CONCRETE COLLARS TO FINISH GRADE. WATER VALVE BOXES AND COVERS SHALL BE PROVIDED BY THE WATER CONTRACTOR. THE ROAD CONTRACTOR SHALL INSTALL THE WATER VALVE BOXES COVERS AND CONCRETE COLLARS TO FINISH GRADE.

## General Notes:

1. UPON SUBMITTAL OF A BID PRICE BY THE CONTRACTOR, IT IS RECOGNIZED THAT THE CONTRACTOR HAS REVIEWED THE PLAN SET AND THE CONTRACTOR AGREES TO ABIDE BY THE REQUIREMENTS AND CONDITIONS CONTAINED THEREIN.

2. THE CONTRACTOR SHALL AT ALL TIMES COORDINATE HIS WORK WITH THAT OF OTHERS ON THE SITE. THE CONTRACTOR SHALL HAVE A RESPONSIBLE PARTY WHO SHALL HAVE THE AUTHORITY TO REPRESENT AND ACT FOR THE CONTRACTOR ON THE JOB SITE DURING ALL WORKING HOURS.

3. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL WORK INDICATED IN THESE PLANS. ANY ITEM INDICATED IN THESE PLANS, BUT NOT ITEMIZED IN THE BID DOCUMENTS, WILL BE INCLUDED UNDER A BID SCHEDULE ITEM TO WHICH IT MOST PERTAINS.

4. THE CONTRACTOR SHALL EXAMINE THE SITE, COMPARE IT WITH THE PLANS, CAREFULLY EXAMINE ALL OF THE CONTRACT DOCUMENTS, AND SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED BEFORE ENTERING INTO CONTRACT. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR ON ACCOUNT OF AN ERROR ON HIS PART AND/OR HIS NEGLIGENCE AND/OR FAILURE TO ACQUAINT HIMSELF WITH THE CONDITIONS OF THE SITE.

5. THE CONTRACTOR SHALL CONTACT DIGLINE 48 HOURS PRIOR TO ANY EXCAVATION. 1-800-342-1585 OR 811

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STREETS, SIDEWALKS, OR EXISTING STRUCTURES DURING THE CONSTRUCTION OF THIS PROJECT, AND SHALL REPAIR SUCH DAMAGE TO THE SATISFACTION OF THE GOVERNING AGENCY, AT NO EXTRA COST TO THE OWNER.

7. ALL MATERIALS AND FINISHES SHALL BE AS PER DRAWINGS, DETAILS AND SPECIFICATIONS. SOME MATERIALS MAY REQUIRE SEVERAL WEEK ORDER LEAD TIME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ANY AND ALL ORDERING LEAD TIMES, AND PROVIDING REQUIRED MATERIALS AT THE PROJECT SITE IN A TIMELY MANNER. NO UNAPPROVED SUBSTITUTIONS WILL BE ALLOWED. CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY IF A SPECIFIED MATERIAL IS NOT AVAILABLE.

8. ALL EXISTING CONDITIONS AND STRUCTURES NOT SPECIFICALLY NOTED FOR REMOVAL SHALL BE RETAINED AND PROTECTED. EXISTING CONDITIONS AND STRUCTURES THAT ARE DAMAGED DURING THE COURSE OF CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

9. ALL CONTRACTORS WORKING WITHIN THE PUBLIC RIGHT-OF-WAY ARE REQUIRED TO SECURE A RIGHT-OF-WAY CONSTRUCTION PERMIT FROM ADA COUNTY HIGHWAY DISTRICT AT LEAST 24 HOURS PRIOR TO ANY CONSTRUCTION.

10. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT EDITION OF THE ISPCW AND THE ACHD SUPPLEMENTAL SPECIFICATIONS. NO EXCEPTIONS TO THESE STANDARDS WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE GOVERNING AGENCY.

11. THE CONTRACTOR SHALL PERFORM ALL CLEARING AND SITE PREPARATION NECESSARY FOR THE PROPER EXECUTION OF ALL WORK INDICATED ON THESE PLANS AND SPECIFICATIONS.

12. ALL WORK IS TO BE PERFORMED BY LICENSED CONTRACTORS AND EXPERIENCED WORKERS.

13. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NECESSARY TO COMPLETE THE WORK, UNLESS OTHERWISE NOTED.

14. CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES.

15. THE LAND GROUP, INC. DOES NOT AND CANNOT GUARANTEE THE ACCURACY OF WORK DONE BY OTHERS AND INCLUDES THIS INFORMATION FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE OWNER'S REPRESENTATIVE TO REQUEST CLARIFICATION OF DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THIS PLAN AND INFORMATION SHOWN ELSEWHERE. IN THE EVENT THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT OFFICIAL CLARIFICATION FROM THE OWNER'S REPRESENTATIVE, HE SHALL BE LIABLE FOR THE COST OF CORRECTIVE WORK AND SHALL REPAIR OR RECONSTRUCT THE FAULTY WORK TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.

16. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING, ERECTING AND MAINTAINING THE REQUIRED MATERIALS, EQUIPMENT AND MANPOWER NECESSARY FOR PUBLIC SAFETY AND TRAFFIC CONTROL WITHIN THE PROJECT LIMITS AND ON THE APPROACHES TO THE PROJECT.

17. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

18. IF ANY ARCHAEOLOGICAL, CULTURAL OR HISTORICAL RESOURCES, OR ARTIFACTS OR OTHER FEATURES ARE DISCOVERED DURING THE COURSE OF CONSTRUCTION ANYWHERE ON THE PROJECT SITE, WORK SHALL BE SUSPENDED IN THAT LOCATION UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST ASSESSES THE SIGNIFICANCE OF THE DISCOVERY. THE OWNER SHALL BE NOTIFIED IMMEDIATELY OF ANY FINDS. IN CONSULTATION WITH THE ARCHAEOLOGIST AND THE GOVERNING AGENCY, APPROPRIATE MEASURES FOR PRESERVATION SHALL BE ESTABLISHED PRIOR TO THE COMMENCEMENT OF WORK.

19. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ON THESE PLANS ARE APPROXIMATE. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL UNDERGROUND FACILITIES, HOWEVER THE LAND GROUP, INC. OR ITS CONSULTANTS ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING FACILITIES SHOWN HERE OR FOR THE EXISTENCE OF OTHER UNDERGROUND UTILITIES OR OBJECTS WHICH MAY BE DISCOVERED BUT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

## Earthwork Notes:

### GENERAL

- A. WHERE IT IS NOT SPECIFICALLY STATED IN THESE SPECIFICATIONS THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION SHALL GOVERN.
- B. CONTRACTOR SHALL CONTACT "DIG LINE" 48 HOURS PRIOR TO ANY EXCAVATION. 1-800-342-1585.

### STRIP

- A. ORGANIC AND/OR DISTURBED SOILS, IF ENCOUNTERED, SHALL BE REMOVED TO DEPTHS OF 1-FOOT (MINIMUM), AND STOCKPILED FOR LATER USE.
- B. STOCKPILE EXCAVATED LANDSCAPE FILL MATERIALS AND STRUCTURAL FILL MATERIAL SEPARATELY WITHOUT INTERMIXING. PLACE, GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER.

### EXCAVATION

- A. ALL EXISTING ORGANIC AND/OR DISTURBED SOILS ARE TO BE COMPLETELY REMOVED FROM BENEATH THE BUILDING PAD AREAS AND WITHIN THE "LOAD STRESS ENVELOPE" AND FROM BENEATH THE PAVEMENT AREAS.
- B. STOCKPILE EXCAVATED LANDSCAPE FILL MATERIALS AND STRUCTURAL FILL MATERIAL SEPARATELY WITHOUT INTERMIXING. PLACE, GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER.

### SOIL FILL

#### A. STRUCTURAL FILL

- A.A. ACCEPTABLE SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, SM AND ML OR A COMBINATION OF THESE GROUPS; FREE OF ROCK OR GRAVEL LARGER THAN 6 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER.
- A.B. SILT SOILS (GM, SM AND ML) MAY BE USED AS STRUCTURAL FILL IF IT CONTAINS LESS THAN 3% ORGANICS AS DETERMINED BY A GEOTECHNICAL ENGINEER AND THE PLACEMENT AND COMPACTION OF THE MATERIAL IS SUPERVISED AND APPROVED BY A GEOTECHNICAL ENGINEER.

### COMPACTION OF SOIL BACKFILLS AND FILLS

- A. PLACE BACKFILL AND FILL SOIL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
- B. COMPACT SOIL MATERIALS TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 1557: UNDER STRUCTURES, BUILDING SLABS, STEPS, CONCRETE PAVEMENTS, AND WALKWAYS, COMPACT THE TOP OF EXISTING SUBGRADE AND EACH LAYER OF BACKFILL OR FILL SOIL MATERIAL AT 95 PERCENT UNDER LAWN OR UNPAVED AREAS, SCARIFY AND RECOMPACT TOP 6 INCHES BELOW SUBGRADE AND COMPACT EACH LAYER OF BACKFILL OR FILL SOIL MATERIAL AT 90 PERCENT. FOR UTILITY TRENCHES, COMPACT EACH LAYER OF INITIAL AND FINAL BACKFILL SOIL MATERIAL AT 95 PERCENT.
- C. UNDER FLEXIBLE PAVEMENTS, COMPACT THE TOP OF EXISTING SUBGRADE AND EACH LAYER OF BACKFILL OR FILL SOIL MATERIAL AT 95 PERCENT OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698.
- D. STRUCTURAL FILL WITHIN THE BUILDING PAD AREAS DESCRIBED ABOVE AND WITHIN THE "LOAD STRESS ENVELOPE" SHALL BE PLACED AND COMPACTED TO THE ELEVATIONS SHOWN ON THE GRADING PLAN.

### GRADING

- A. UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES. CUT OUT SOFT SPOTS, FILL LOW SPOTS, AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED SURFACE TOLERANCES.
- B. FINISH SUBGRADES TO REQUIRED ELEVATIONS WITHIN THE FOLLOWING TOLERANCES: PAVEMENTS: PLUS OR MINUS 1/2 INCH BASE COURSE, PLUS OR MINUS 0.1 FEET SUBGRADE; UNPAVED AREAS: PLUS OR MINUS 0.3 FEET.
- C. MAXIMUM SLOPE SHALL BE 3:1 UNLESS OTHERWISE INDICATED.

### FIELD QUALITY CONTROL

- A. OWNER WILL ENGAGE A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY TO PERFORM FIELD QUALITY-CONTROL TESTING.
- B. AFTER TESTING AGENCY TO INSPECT AND TEST SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS.
- C. BUILDING PAD AREA AND PAVEMENT AND WALKWAY AREAS SHALL BE TESTED AT A RATE OF 1 TEST PER 2000 SF PER LIFT OR A MINIMUM OF ONE TEST PER LOT BUILDING PAD AREA PER LIFT. SURFACE OF FINISHED GRADE SHALL BE TESTED AT A RATE OF 1 TEST PER 5000 SF.
- D. TRENCH BACKFILL: PER IDAHO STANDARD FOR PUBLIC WORKS DIVISION 200.
- E. WHEN TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED WITHOUT ADDITIONAL COMPENSATION.

### PROTECTION

- A. PROTECT EXCAVATED SUBGRADE AREAS OR AREAS STRIPPED FOR SUBSEQUENT FILL MATERIAL PLACEMENT BENEATH AREAS TO BE PAVED: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE AND CONSTRUCT WORK, AND PROVIDE PROTECTION, IN A MANNER TO AVOID CAUSING INSTABILITY OF THE EXISTING SOILS. SUCH PROTECTION MAY INCLUDE AVOIDING TRAFFIC OVER SUCH AREAS WITHOUT PROVISION OF A PROTECTIVE CONSTRUCTION ACCESS ROAD. CONTRACTOR SHALL KEEP SURFACES WELL DRAINED FREE FROM PUDDLING, PONDING, OR POTENTIAL MOISTURE BUILD UP IN THE FORM OF SNOW OR OTHERWISE, WHICH MAY CAUSE THE INSTABILITY OF THE SURFACE SOILS OR UNDERLYING SOILS.
- B. UPON COMPLETION OF EXCAVATION TO SUBGRADE LEVELS BENEATH SUBSEQUENT FILL, THE CONTRACTOR SHALL IMMEDIATELY OBTAIN COMPACTION LEVELS AS REQUIRED. IF AFTER APPROVAL, THE SUBGRADE SOILS RECEIVE MOISTURE WHICH RAISES THE MOISTURE CONTENT TO A LEVEL EXCEEDING THE TARGET MOISTURE LEVELS, THEY SHALL BE SCARIFIED AND ALLOWED TO DRY OR REMOVED AND REPLACED WITH ENGINEERED FILL AT THE CONTRACTOR'S EXPENSE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO KEEP THESE SUBGRADE SOILS DRY AND FREE OF TRAFFIC PRIOR TO AND DURING COMPACTION EFFORTS AND UNTIL THE FULL PAVEMENT SECTION HAS BEEN INSTALLED. THE CONTRACTOR SHALL OBTAIN APPROVAL OF THE SUBGRADE IMMEDIATELY AFTER COMPLETION OF SUBGRADE MOISTURE CONDITIONING AND/OR COMPACTION EFFORTS.

### REGULATORY REQUIREMENTS

- A. IF AN EPA NPDES PERMIT IS REQUIRED (IF THE DISTURBED AREA IS GREATER THAN AN ACRE) THE CONTRACTOR SHALL FILE A "NOTICE OF INTENT" WITH THE EPA. FOR INFORMATION CALL MISHA WITH THE EPA IN SEATTLE AT 800-424-4372. FORMS ARE ALSO AVAILABLE ONLINE OR LOCALLY BY CALLING 208-378-5746.
- B. CONTRACTOR SHALL MANAGE ALL WATER GENERATED FROM DEWATERING ACTIVITIES ONSITE. IF CONTRACTOR CHOOSES TO DISCHARGE WATER OFFSITE AND TO WATERS WHICH ARE, OR ULTIMATELY FLOW TO, WATERS OF THE STATE THEN A "SHORT TERM ACTIVITY EXEMPTION" OR EQUIVALENT SHALL BE OBTAINED FROM THE DEPARTMENT OF ENVIRONMENTAL QUALITY.

## Grading & Drainage Notes:

1. ALL INSPECTIONS SHALL REQUIRE A 24-HOUR NOTICE PRIOR TO THE REQUESTED INSPECTION TIME. CALL THE INSPECTION HOT LINE AT 472-2920.

2. PRIOR TO ANY EARTHWORK A 24-HOUR NOTICE TO BEGIN CONSTRUCTION IS REQUIRED. CALL INSPECTION HOT LINE AT 472-2920.

3. ALL PARKING LOT GRADES SHALL BE AT LEAST 1% FOR ASPHALTIC-CONCRETE AND 0.4% FOR CONCRETE.

4. CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS NOTED ON THIS PLAN AND NOTIFY DESIGN ENGINEER WHEN ELEVATIONS DO NOT MATCH PLANS.

5. WASTE SOIL SHALL BE HAULED TO AN OFFSITE DISPOSAL SITE FURNISHED BY THE CONTRACTOR.

6. ALL FINISHED GRADES SHALL BE SMOOTH AND UNIFORM.

7. PROVIDE POSITIVE DRAINAGE TO ALL CATCH BASINS, DRAINAGE STRUCTURES, CURB CUTS, AND DRAINAGE WINDOWS.

8. ALL CONCRETE SIDEWALKS SHALL HAVE A MINIMUM OF ONE PERCENT (1%) CROSS SLOPE UNLESS OTHERWISE NOTED.

9. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL CONCRETE AND DEBRIS FROM LANDSCAPE PLANTER AREAS PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIALS BY THE LANDSCAPE CONTRACTOR.

10. ALL IMPACTED STORM DRAINAGE CATCH BASIN INLETS AND MANHOLES SHALL BE COVERED WITH FILTER FABRIC BY THE STORM DRAIN CONTRACTOR TO PREVENT CONTAMINATION OF STORM DRAINAGE FACILITIES. FABRIC SHALL NOT BE REMOVED UNTIL AFTER CONSTRUCTION IS COMPLETE AND LANDSCAPE TURF AREAS HAVE MATURED.

## ACHD Notes:

1. THE ENGINEER OF RECORD CERTIFIES THAT THE PLANS ARE PREPARED IN SUBSTANTIAL CONFORMANCE WITH THE ACHD POLICY AND STANDARDS IN EFFECT AT THE TIME OF PREPARATION. THE ENGINEER ACKNOWLEDGES THAT ACHD ASSUMES NO LIABILITY FOR ERRORS OR DEFICIENCIES IN THE DESIGN. ALL VARIANCES FROM ACHD POLICY SHALL BE APPROVED IN WRITING. THE FOLLOWING VARIANCES, LISTED BY DATE AND SHORT DESCRIPTION, WERE APPROVED FOR THE PROJECT:  NONE .
2. ACTUAL FIELD CONDITIONS DURING TRENCHING MAY REQUIRE ADDITIONAL PAVEMENT REPAIR BEYOND THE LIMITS SHOWN ON PLANS. THE FOLLOWING CONDITIONS ARE LISTED IN SECTION 6000 OF THE ACHD POLICY MANUAL.

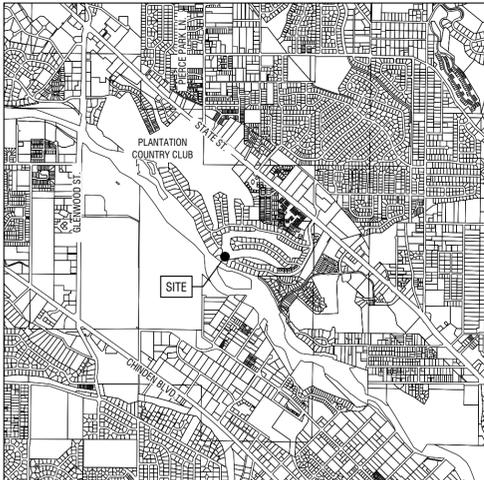
- 2.1. ALL ASPHALT MATCH LINES FOR PAVEMENT REPAIR SHALL BE PARALLEL TO THE CENTERLINE OF THE STREET AND INCLUDE ANY AREA DAMAGED BY EQUIPMENT DURING TRENCHING OPERATIONS.
- 2.2. IF THE CUMULATIVE DAMAGED PAVEMENT AREA EXCEEDS 50% OF THE TOTAL ROAD SURFACE, CONTRACTOR SHALL REPLACE THE ENTIRE ROADWAY SURFACE.
- 2.3. CONTRACTOR SHALL REPLACE THE PAVEMENT SURFACE TO ENSURE THE MATCH LINE DOES NOT FALL WITHIN THE WHEEL PATH OF A LANE. MATCH LINE SHALL ONLY FALL IN THE CENTER OR EDGE OF A TRAVEL LANE.
- 2.4. FLOWABLE FILL OR IMPORTED MATERIAL MAY BE REQUIRED IF THE NATIVE TRENCH MATERIAL IS DEEMED UNSUITABLE BY THE ACHD INSPECTOR, DOES NOT MEET COMPACTION STANDARDS OR TIME IS A CRITICAL FACTOR.
- 2.5. ANY EXCEPTIONS TO THESE RULES SHALL BE PRE-APPROVED IN WRITING BY DISTRICT STAFF BEFORE CONSTRUCTION BEGINS.

3. PAVEMENT SECTION WITHIN THE ACHD RIGHT-OF-WAY MUST MATCH THE EXISTING PAVEMENT SECTION OR TO USE THE FOLLOWING: 2.5 INCHES OF ASPHALT, 4 INCHES OF ¾" MINUS CRUSHED AGGREGATE, 14 INCHES OF 6 INCH MINUS PIT RUN. USE WHICHEVER SECTION IS GREATER.

## Certification of Compliance with Design Standards:

THE ENGINEER OF RECORD CERTIFIES THAT THE PLANS ARE PREPARED IN SUBSTANTIAL CONFORMANCE WITH THE ACHD POLICY AND STANDARDS IN EFFECT AT THE TIME OF PREPARATION. THE ENGINEER ACKNOWLEDGES THAT ACHD ASSUMES NO LIABILITY FOR ERRORS OR DEFICIENCIES IN THE DESIGN. ALL VARIANCES FROM ACHD POLICY SHALL BE APPROVED IN WRITING. THE FOLLOWING VARIANCES, LISTED BY DATE AND SHORT DESCRIPTION, WERE APPROVED FOR THE PROJECT:  NONE .

## Vicinity Map:



## Contact Information:

### DEVELOPER

GLASS CREEK, LLC.  
6501 FRUITVALE AVE  
BAKERSFIELD, CA 93308  
CONTACT: BOB TAUNTON  
PHONE: 208.401.5505  
EMAIL: BOB@TAUNTON@LANDGROUP.COM

### CIVIL ENGINEER / LANDSCAPE ARCHITECT

THE LAND GROUP, INC.  
462 E. SHORE DRIVE SUITE 100  
EAGLE, IDAHO 83616  
PHONE: 208.939.4041

CIVIL ENGINEER: JASON DENSMER, PE  
jason@thelandgroupinc.com

LANDSCAPE ARCHITECT: DOUG RUSSELL, RLA  
doug@thelandgroupinc.com

LAND SURVEYOR: JIM WASHBURN, PLS  
jim@thelandgroupinc.com

## Sheet Index:

Sheet Number Sheet Title

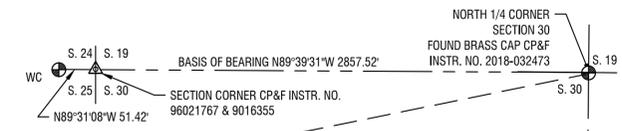
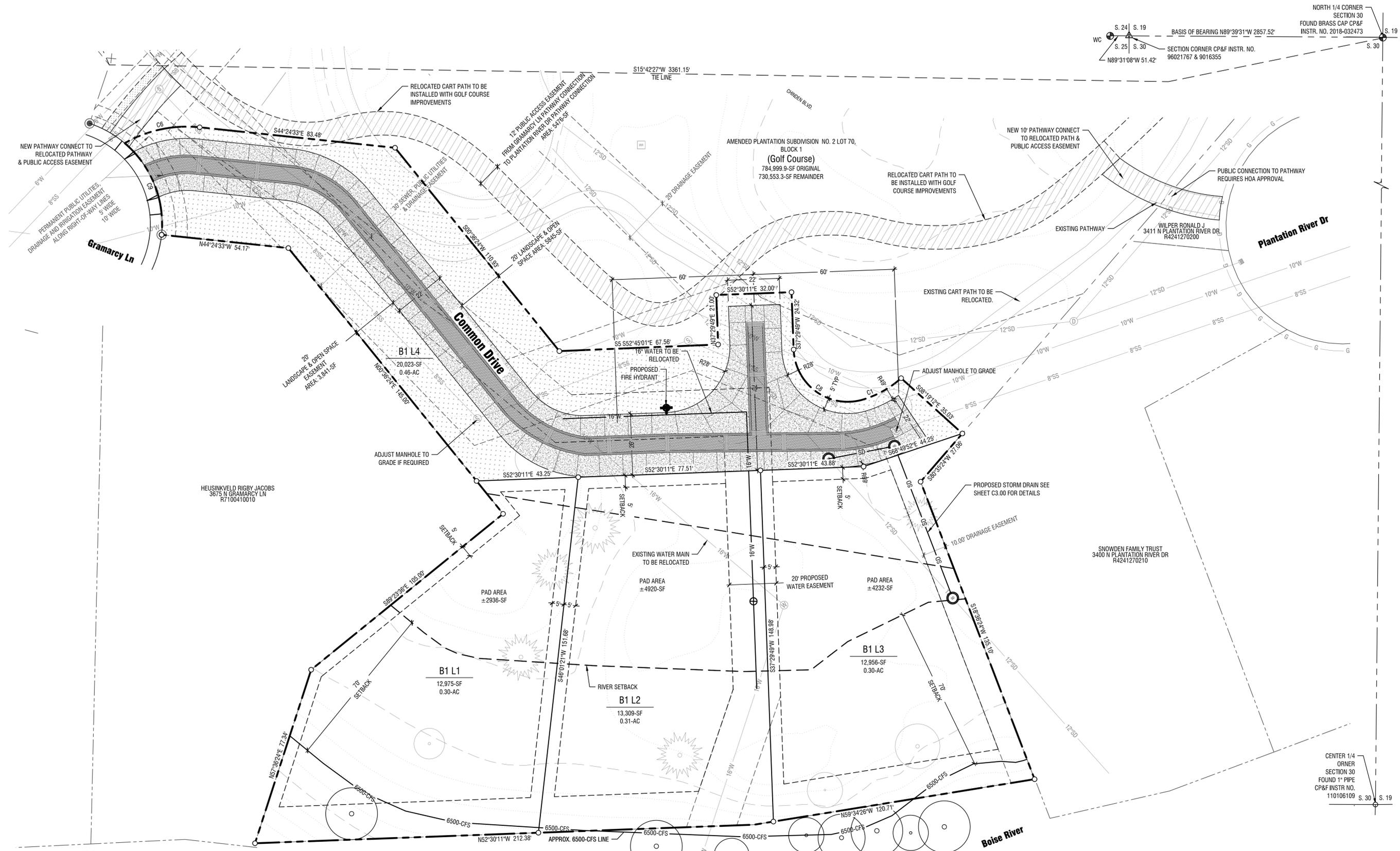
GLASS ISLAND VIEW SUBD: CONSTRUCTION DRAWINGS	
C0.10	COVER SHEET & GENERAL NOTES
C1.00	PROJECT AREA EXISTING CONDITIONS
C1	





**Sheet Notes:**

- ALL DIMENSIONS ARE MEASURED TO PROPERTY LINE OR FACE OF CURB UNLESS OTHERWISE SPECIFIED.



**GLASS ISLAND VIEW SUBDIVISION  
CONSTRUCTION DRAWINGS**

N. PLANTATION RIVER DR.  
GARDEN CITY, IDAHO

Revisions

1.	



Project No.: 118161  
Date of Issuance: 05-21-2020  
Project Milestone: PRELIMINARY PLAT

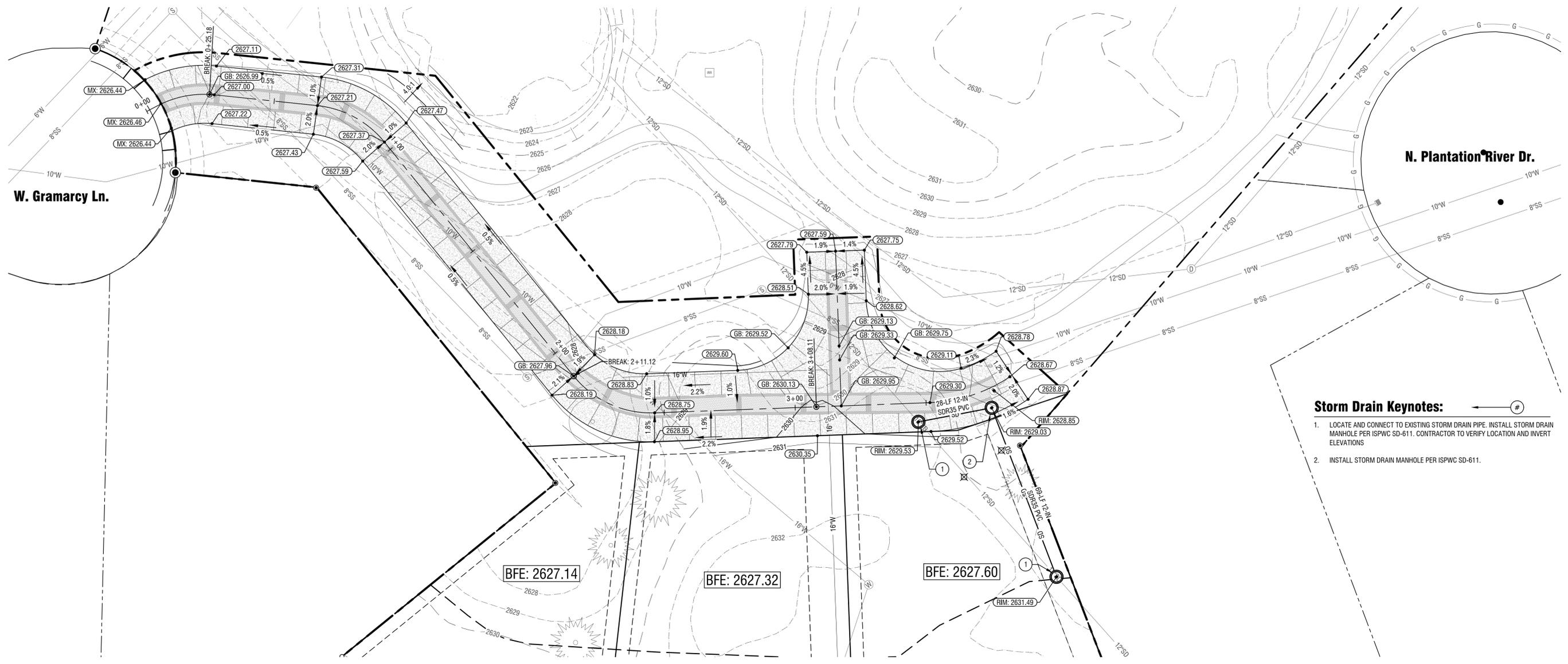
Site Plan

**C2.00**

**Site Plan**  
Horizontal Scale: 1" = 20'



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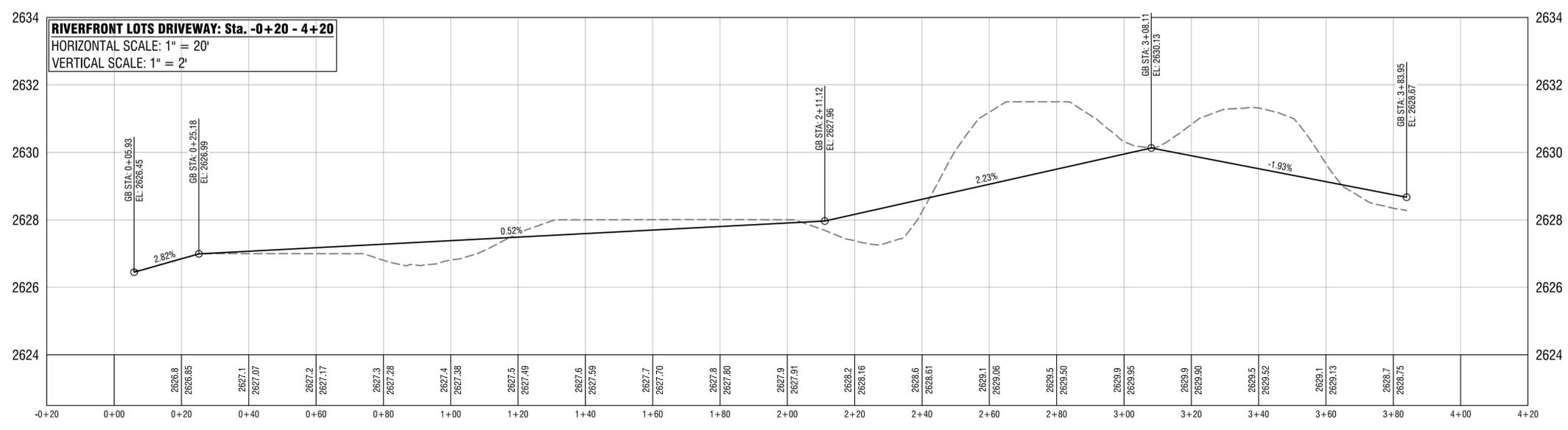
**Storm Drain Keynotes:**

1. LOCATE AND CONNECT TO EXISTING STORM DRAIN PIPE. INSTALL STORM DRAIN MANHOLE PER ISPPWC SD-611. CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATIONS
2. INSTALL STORM DRAIN MANHOLE PER ISPPWC SD-611.

**Grading Plan**



Horizontal Scale: 1" = 20'



**Sheet Notes:**

1. GRADING PLAN DOES NOT INCLUDE RECONFIGURATION OF GOLF COURSE HOLE.
2. ALL CONSTRUCTION AND MATERIAL SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPPWC), CITY OF GARDEN STANDARDS, AND ADA COUNTY HIGHWAY DISTRICT STANDARDS. NO EXCEPTIONS ARE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL.
3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED AS A RESULT OF FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES OR DIG-LINE (342-1585) FOR EXACT LOCATIONS A MINIMUM OF 48-HOURS PRIOR TO DIGGING.
4. CONTRACTOR SHALL COMPLY WITH GENERAL NOTES, PLAN SHEET C0.10.
5. EXISTING AND PROPOSED CONTOURS ARE AT A 1-FT INTERVAL.
6. INDICATE TOP OF FINISHED SURFACE UNLESS NOTED OTHERWISE AS FOLLOWS:
  - 6.A. MX = MATCH EXISTING
  - 6.B. RIM = RIM OF STRUCTURE
  - 6.C. GB = GRADE BREAK
7. REFER TO SHEET C1.80, C4.00, C5.00 & C5.50 DETAILED DRAINAGE AND UTILITY PLANS.
8. TRANSITION OF CURVES TO OTHER CURVES AND CURVES TO TANGENTS SHALL BE SMOOTH AND CONTINUOUS.
9. COORDINATE INSTALLATION OF ELECTRICAL AND IRRIGATION CONDUIT AND SLEEVES WITH RESPECTIVE CONTRACTORS.

**GLASS ISLAND VIEW SUBDIVISION  
CONSTRUCTION DRAWINGS**

N. PLANTATION RIVER DR.  
GARDEN CITY, IDAHO

**Revisions**

No.	Description
1.	



Project No.: 118161  
Date of Issuance: 05-21-2020  
Project Milestone: PRELIMINARY PLAT

**Grading Plan**

**C3.00**

PLAT NO. 2020-01111 (PLAT), APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF GARDEN COUNTY, IDAHO, ON 05/21/2020. THE PLAT IS SUBJECT TO THE IDAHO CONVEYANCE ACT, CHAPTER 12, TITLE 55, I.C. 55-1201 THROUGH 55-1205.

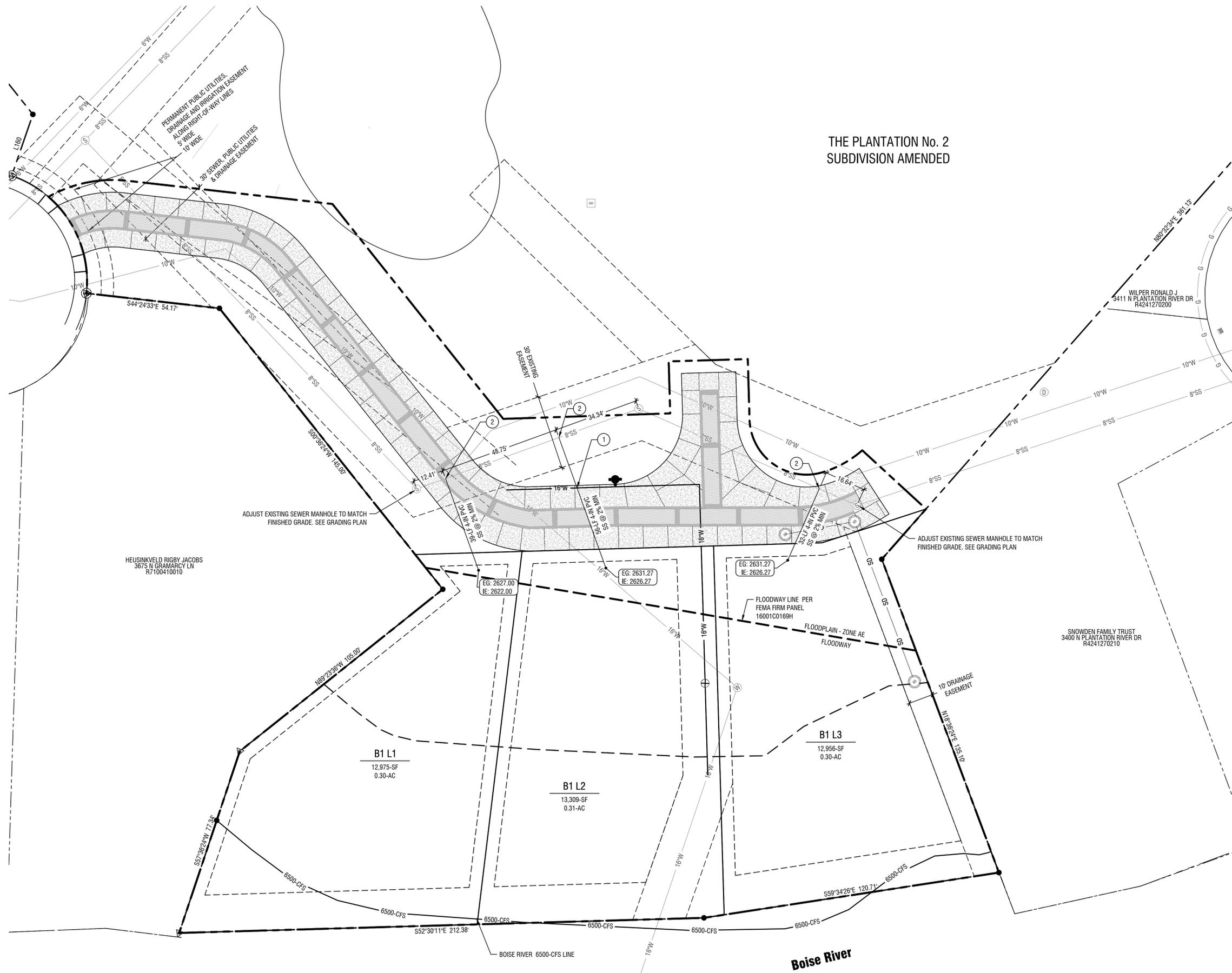
**Sheet Notes:**

- A. CONTRACTOR SHALL COMPLY WITH GENERAL NOTES ON SHEET C0.10.
- B. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ISPCW.
- C. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ON THESE PLANS ARE APPROXIMATE. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL UNDERGROUND FACILITIES, HOWEVER THE LAND GROUP, INC. OR ITS CONSULTANTS ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING FACILITIES SHOWN HERE OR FOR THE EXISTENCE OF OTHER UNDERGROUND UTILITIES OR OBJECTS WHICH MAY BE DISCOVERED BUT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CONTACT DIG LINE 48 HOURS PRIOR TO ANY EXCAVATION. 1-800-342-1585.
- D. PIPE LENGTHS SPECIFIED ARE FROM FITTING TO FITTING OR FITTING TO CONNECTION POINT AND ARE SHOWN FOR CONVENIENCE ONLY AS ACTUAL INSTALLED LENGTH MAY VARY FROM PLAN. CONTRACTORS SHALL VERIFY ALL UTILITY ROUTES AND LENGTHS.
- E. ALL WATER SERVICE LINES SHALL BE CONSTRUCTED WITH MINIMUM CLASS 200 POLYETHYLENE PIPE CONFORMING TO AWWA C-901.
- F. CONTRACTOR TO FIELD VERIFY INVERTS OF EXISTING MANHOLES PRIOR TO CONSTRUCTION

**Sewer Keynotes:**

1. MAINTAIN HORIZONTAL AND VERTICAL SEPARATION OF POTABLE AND NON-POTABLE WATER LINES PER ISPCW STANDARD DRAWING NO SD-407
2. INSTALL SEWER SERVICE PER ISPCW STANDARD DRAWING SD-511 AND MARK PER ISPCW STANDARD DRAWING SD-511A, 2% MIN. GRADE

**THE PLANTATION No. 2  
SUBDIVISION AMENDED**



**GLASS ISLAND VIEW SUBDIVISION  
CONSTRUCTION DRAWINGS**

N. PLANTATION RIVER DR.  
GARDEN CITY, IDAHO

Revisions

1.	
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Project No.: 118161  
Date of Issuance: 05-21-2020  
Project Milestone: PRELIMINARY PLAT

Sewer Plan

**C4.00**



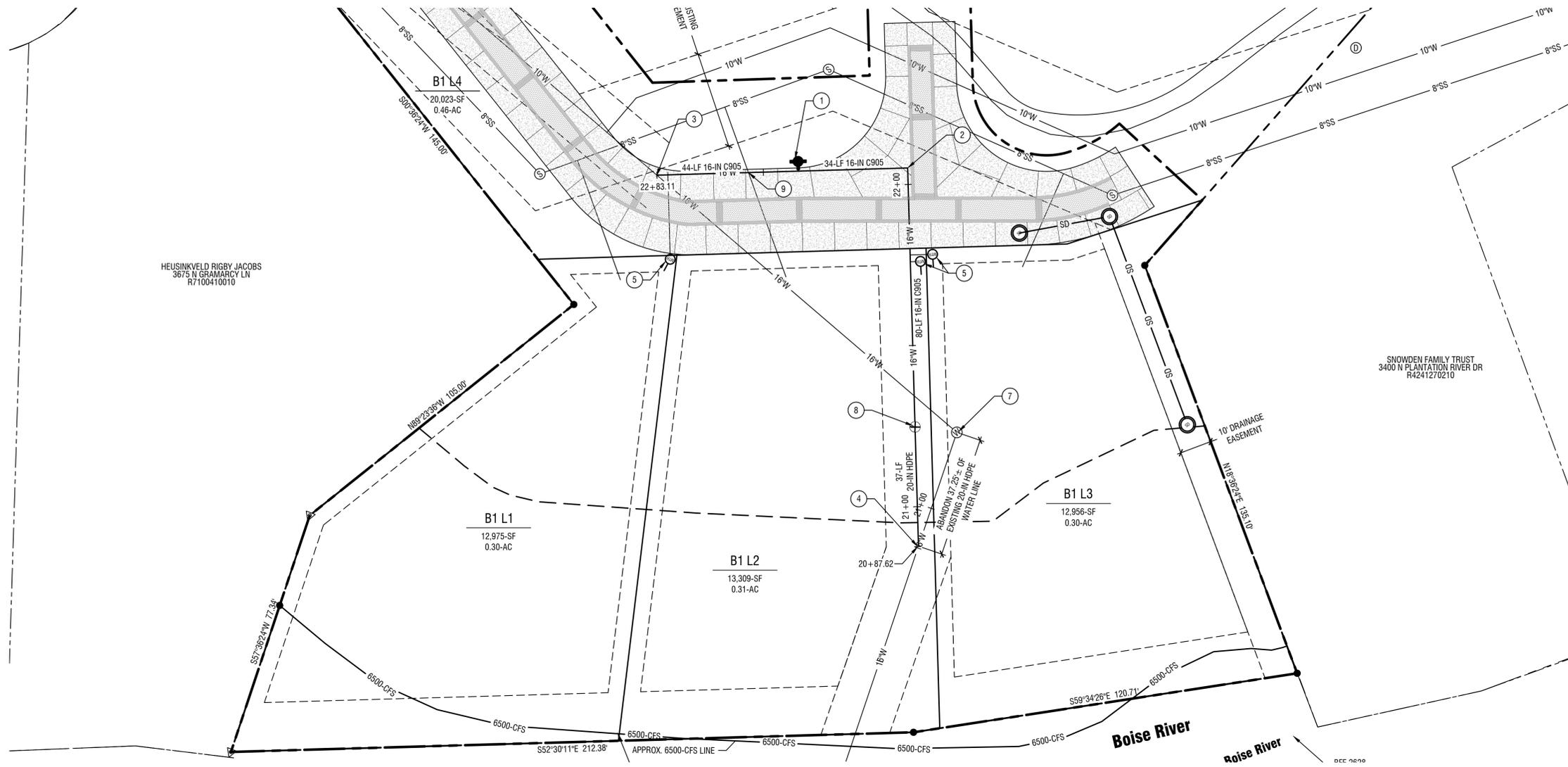
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**Sheet Notes:**

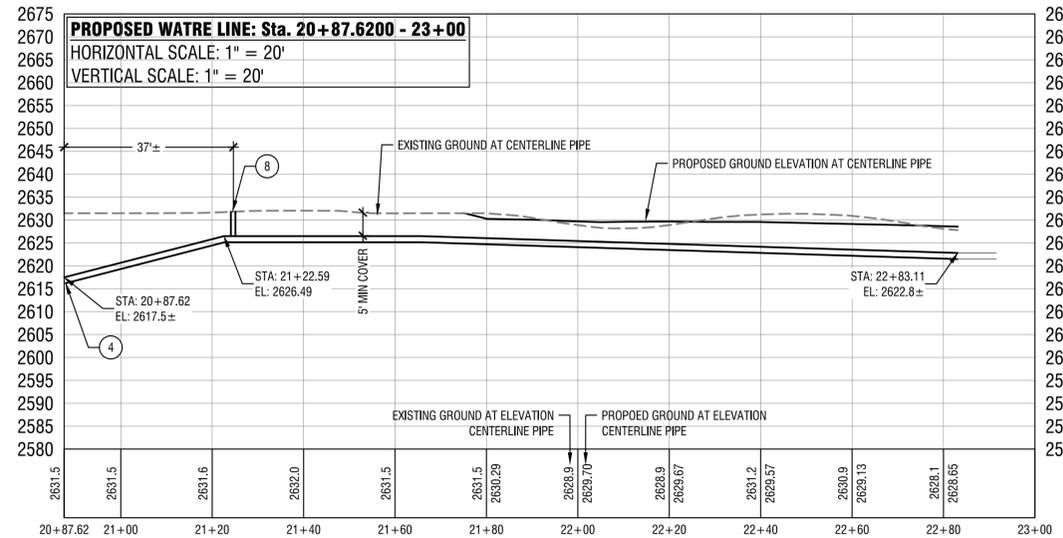
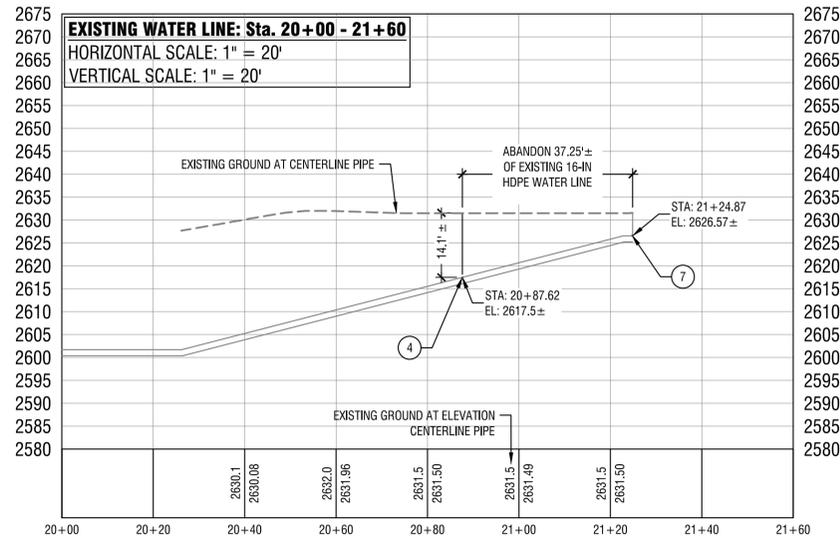
- A. CONTRACTOR SHALL COMPLY WITH GENERAL NOTES ON SHEET C0.10.
- B. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ISFWC.
- C. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ON THESE PLANS ARE APPROXIMATE. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL UNDERGROUND FACILITIES, HOWEVER THE LAND GROUP, INC. OR ITS CONSULTANTS ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING FACILITIES SHOWN HERE OR FOR THE EXISTENCE OF OTHER UNDERGROUND UTILITIES OR OBJECTS WHICH MAY BE DISCOVERED BUT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CONTACT DIG LINE 48 HOURS PRIOR TO ANY EXCAVATION. 1-800-342-1585.
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- E. ALL WATER SERVICE LINES SHALL BE CONSTRUCTED WITH MINIMUM CLASS 200 POLYETHYLENE PIPE CONFORMING TO AWWA C-901.
- F. CONTRACTOR TO FIELD VERIFY INVERTS OF EXISTING MANHOLES PRIOR TO CONSTRUCTION
- G. ALL ELEVATIONS SHOWN ON EXISTING WATERLINE ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY BEFORE ORDERING PARTS AND BEGINNING CONSTRUCTION.

**Water Keynotes:**

1. INSTALL NEW FIRE HYDRANT ASSEMBLY PER ISFWC SD-404 AND WATERLINE NOTE 23/C0.10
2. INSTALL 16-IN 90° ELBOW WITH THRUST BLOCK
3. CONNECT TO EXISTING 16-IN WATER MAIN, INSTALL 16-IN 45° ELBOW WITH THRUST BLOCK
4. CONNECT TO EXISTING 20-IN HDPE INSTALL 11.25° ELBOW
5. INSTALL SINGLE 1-IN WATER SERVICE PER WATERLINE NOTE 20/C0.10
6. INSTALL DOUBLE 1-IN WATER SERVICE PER WATERLINE NOTE 20/C0.10
7. REMOVE EXISTING 16-IN BUTTERFLY VALVE AND SAMPLING STATION
8. REINSTALL 16-IN BUTTERFLY VALVE AND SAMPLING STATION. SEE SHEET C5.50 FOR DETAILS.
9. MAINTAIN HORIZONTAL AND VERTICAL SEPARATION OF POTABLE AND NON-POTABLE WATER LINES PER ISFWC STANDARD DRAWING NO SD-407



**Water Plan**  
Horizontal Scale: 1" = 20'



Revisions

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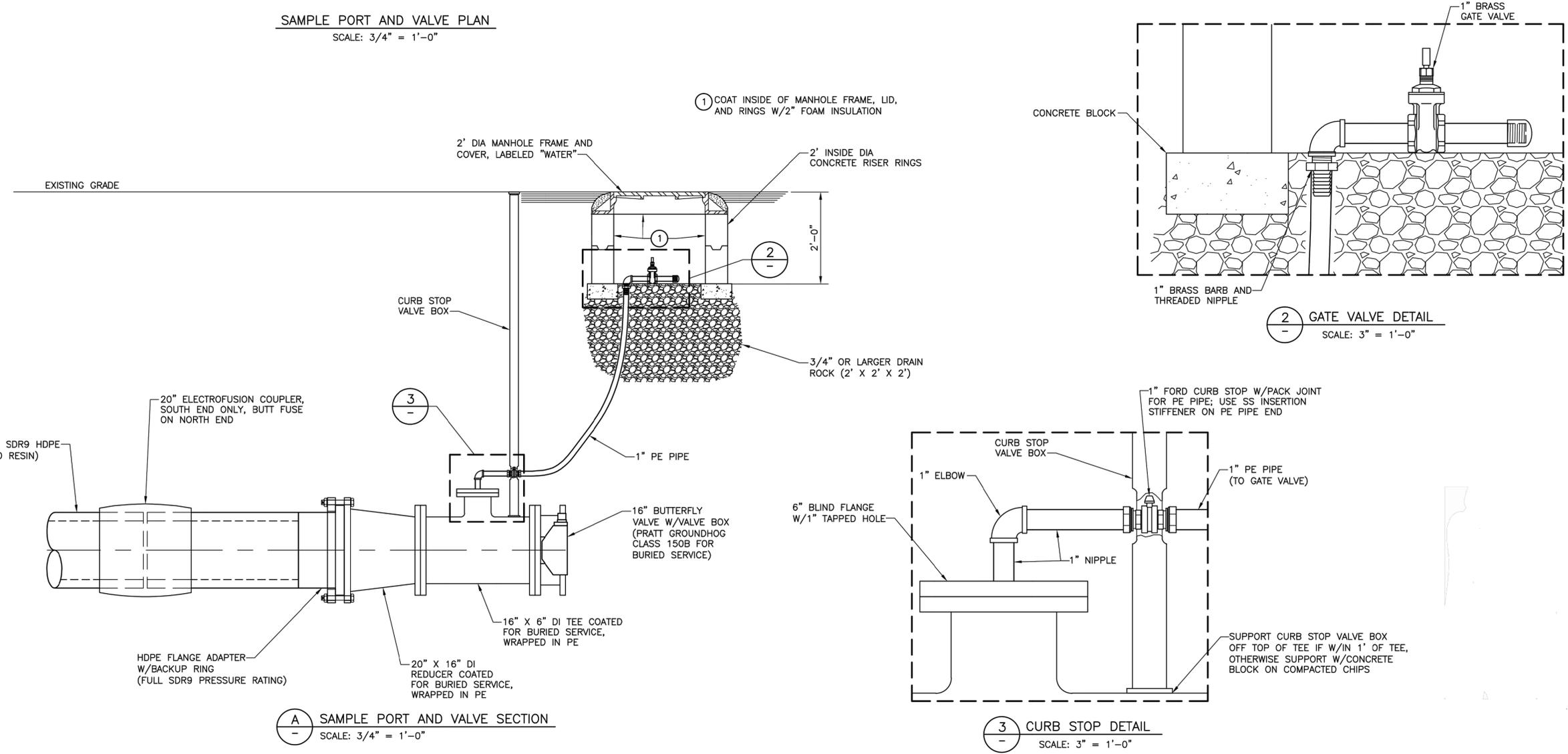
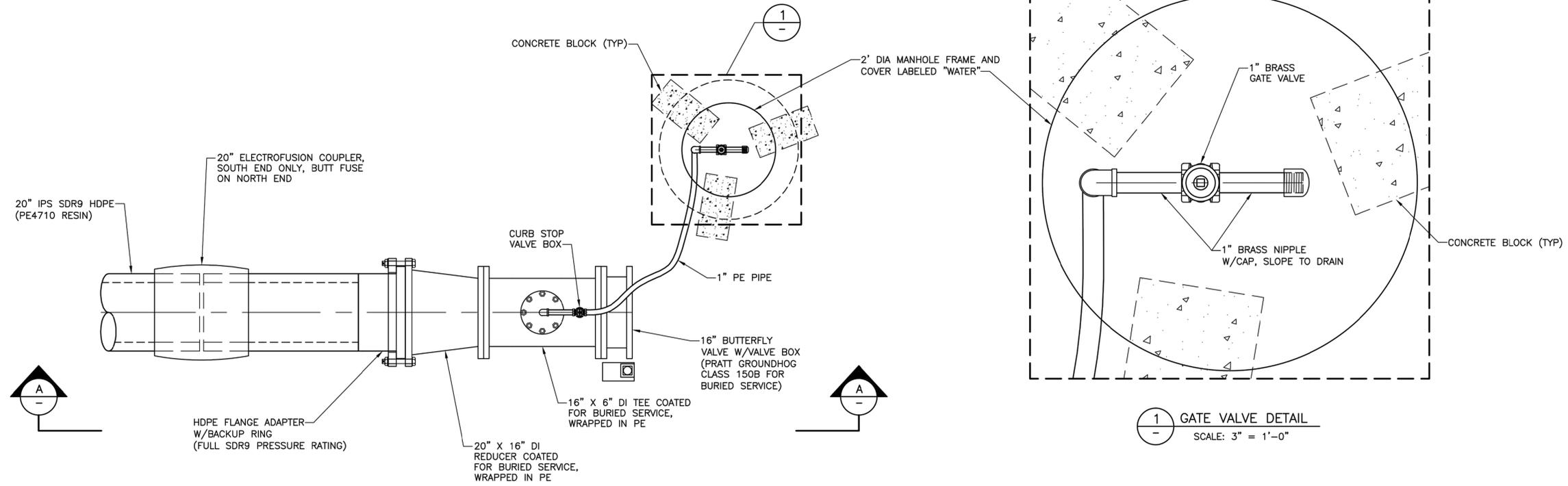


Project No.: 118161  
Date of Issuance: 05-21-2020  
Project Milestone: PRELIMINARY PLAT

Water Plan

**C5.00**

P:\124266 - 1237111171.dwg, Version: 11/11/21 11:05:00 AM  
 User: jhughes  
 Date: 11/11/21 11:05:00 AM



Revisions

1.	
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Project No.: 118161  
Date of Issuance: 05-21-2020  
Project Milestone: PRELIMINARY PLAT

**Water Details**

PLAT NO. 2020-01117 (PLAT), APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF GARDEN CITY, IDAHO, ON 05/21/2020. THE BOARD OF COUNTY COMMISSIONERS OF GARDEN CITY, IDAHO, HAS REVIEWED AND APPROVED THIS PLAT FOR RECORDATION. THE BOARD OF COUNTY COMMISSIONERS OF GARDEN CITY, IDAHO, HAS REVIEWED AND APPROVED THIS PLAT FOR RECORDATION.

**AFFIDAVIT REGARDING NEIGHBORHOOD MEETING**

State of Idaho

County of Ada

I, Robert Taunton, being first duly sworn upon oath, depose and say:

In accordance with the Garden City Neighborhood Meeting Guidelines for Remotely Held Meetings, I held a neighborhood meeting on Tuesday, April 21, 2020 at 7:00 p.m.

A written notice of the neighborhood meeting was sent via U.S. Mail to the property owners within 300 feet of the subject property on April 10, 2020. Written notice was also provided to the Management Company for the Plantation Homeowners Association. An additional notice was sent on April 15, 2020 to provide property owners with telephone instructions on how to join the meeting.

A copy of the complete mailing list is attached as Schedule A.

A copy of the neighborhood meeting notice is attached as Schedule B. The notice contains all of the meeting exhibits.

A copy of the list of meeting attendees is attached as Schedule C.

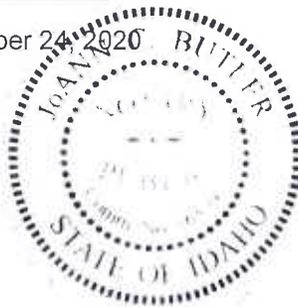
*Robert Taunton*

Robert Taunton, Taunton Group, LLC  
Project Manager for Glass Creek, LLC,  
Owner of Plantation Country Club

Signed and sworn to before me on May 2, 2020 by Robert Taunton.

*JoAnn C. Butler*

Signature of notary public  
My commission expires: September 24, 2020



## SCHEDULE A

GERALD & BARBARA LEE LIVING TRUST  
3431N PLANTATION RIVER DR  
GARDEN CITY ID 83703

GEORGE LAKE  
6175 W STERLING LANE  
GARDEN CITY ID 83703

BARBARA BROWN  
3710 N GRAMARCY LANE  
GARDEN CITY ID 83703

MITCHELL WILLIAMS  
3421N PLANTATION RIVER DR  
GARDEN CITY ID 83703

MATTHEW STENSHOEL  
6163 W STERLING LANE  
GARDEN CITY ID 83703

RIGBY JACOBS LEUSINKVELD  
3675 N GRAMARCY LANE  
GARDEN CITY ID 83703

RODNEY REESE  
3411N PLANTATION RIVER DR  
GARDEN CITY ID 83703

RICHARD & WANDA SERROS  
FAMILY TRUST  
6141W STERLING LANE  
GARDEN CITY ID 83703

RONALD BUSH  
3695 N GRAMARCY LANE  
GARDEN CITY ID 83703

SNOWDEN FAMILY TRUST  
3400 N PLANTATION RIVER DR  
GARDEN CITY ID 83703

ALINA JENSEN  
6101W STERLING LANE  
GARDEN CITY ID 83703

RUBY STUBBLEFIELD FAMILY LP  
3749 N GRAMARCY LANE  
GARDEN CITY ID 83703

DANIEL DONEGAN  
3410 N PLANTATION RIVER DR  
GARDEN CITY ID 83703

MARK JOHNSON  
6281W PLANTATION LANE  
GARDEN CITY ID 83703

RUBY STUBBLEFIELD FAMILY LP  
PO BOX 327  
MERIDIAN ID 83680

PHILIP GORDON  
3420 N PLANTATION RIVER DR  
GARDEN CITY ID 83703

LOIS BAUER  
3790 N GRAMARCY LANE  
GARDEN CITY ID 83703

MICHAEL THIRY  
3791 N GRAMARCY LANE  
GARDEN CITY ID 83703

TINA ELLIS  
3430 N PLANTATION RIVER DR  
GARDEN CITY ID 83703

STANLEY HOLTON  
3760 N GRAMARCY LANE  
GARDEN CITY ID 83703

JAMES MCENANEY  
6178 W STERLING LANE  
GARDEN CITY 83703

STEVEN JOHNSON  
3440 N PLANTATION RIVER DR  
GARDEN CITY ID 83703

PIERCE ROAN JR  
3740 N GRAMARCY LANE  
GARDEN CITY ID 83703

VESTAL FAMILY TRUST  
6158 W STERLING LANE  
GARDEN CITY ID 83703

## SCHEDULE B

### Taunton Group

Community Development

**DATE:** April 9, 2020

**TO:** Neighbors

**FROM:** Glass Creek, LLC, Owner of Plantation Country Club

**RE:** Neighborhood Meeting Notice

Dear Neighbors,

The purpose of a neighborhood meeting is to afford neighboring property owners the opportunity to review and discuss with the applicant or its representative a proposed development application. The City requires that property owners within 300' of the property be noticed by mail. This meeting is not a public hearing and no Garden City public officials will be present.

**When:** April 21, 2020 at 7:00 pm.

With the Governor's stay at home order in effect, Garden City is requiring that neighborhood meetings be held remotely utilizing a phone-in option. Video conferencing apps may be used in addition. Glass Creek will send owners a second notice with instructions on how to participate in the meeting.

#### Property Location

Glass Creek is proposing to develop three single-family residential lots consistent with the R-2 zoning regulations on a portion of the applicant's property. The site is between N. Plantation River Dr. and W. Gramarcy Ln. as shown on the illustrative site plan below.





Brian Curley, the golf course architect engaged by Glass Creek, has prepared a concept design for the reconfiguration of the course to fit with the planned lot improvements. His concept enhances the golf experience and improves the function and appearance of the two ponds. The plan includes a new green on existing Hole 15 (new Hole 6) and reconfigures existing Hole 16 (new Hole 7).

I look forward to providing more details at the meeting.

Sincerely,  
Bob Taunton, Project Manager  
Taunton Group, LLC  
208-401-5505  
bobtaunton@tauntongroup.com

## Taunton Group

Community Development

**DATE:** April 14, 2020

**TO:** Neighbors

**FROM:** Glass Creek, LLC, Owner of Plantation Country Club

**RE:** Neighborhood Meeting Notice #2

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Dear Neighbors,

On April 10 Glass Creek mailed a notice to property owners to invite them to a neighborhood meeting on **April 21, 2020 at 7:00** to discuss a proposed single-family custom lot application. Property owners within 300' of the proposed project received the notice. The notice indicated that Garden City currently requires neighborhood meetings to be held remotely utilizing a phone-in option. Glass Creek committed to send property owners a second notice with instructions on how to access the meeting.

Neighbors wishing to participate are requested to dial in a few minutes before the meeting start. The meeting will end no later than 8:00 pm.

**Dial: 1-267-930-4000**

**Enter the meeting PIN: 954-519-097#**

The City requires a list of the meeting attendees. We will need to collect all the names at the beginning of the meeting and that will take a few moments.

Given the call-in logistics, the number of people, and the desire to ensure that all that wish to speak have the opportunity, Glass Creek asked Michael Spink to be the moderator. Michael is a local attorney with a practice focused on mediation and is the partner of Glass Creek's attorney. He will go over the format at the beginning of the call and provide instructions. For example, individuals will be asked to identify themselves before speaking. Michael will also monitor the conversation to allow everyone to speak and keep the meeting flowing.

If you have any questions or cannot attend, please feel free to contact me.

Sincerely,

Bob Taunton, Project Manager

Taunton Group, LLC

208-401-5505

[bobtaunton@tauntongroup.com](mailto:bobtaunton@tauntongroup.com)

SCHEDULE C

DON & BARBARA BRANDT

LLOYD K. (KENT) BROWN

RONALD BUSH

JOANN BUTLER

BILL & ANN CONNORS

KAREN HAUSER

VAL & JAKE HEUSINKVELD

GEORGE & LUCIA LAKE

KENT JOHNSON

JIM & MAUREEN MCENANEY

MIKE NERO

RICHARD & WANDA SERROS

MATTHEW & LINDSEY STENSHOEL

MIKE SPINK

BOB TAUNTON

ANN & DON VESTAL

**AFFIDAVIT REGARDING NEIGHBORHOOD MEETING**

State of Idaho

County of Ada

I, Robert Taunton, being first duly sworn upon oath, depose and say:

In accordance with the Garden City Neighborhood Meeting Guidelines for Remotely Held Meetings, I held a neighborhood meeting on Monday, May 18, 2020 at 7:00 p.m.

A written notice of the neighborhood meeting was sent via U.S. Mail to the property owners within 300 feet of the subject property on May 4, 2020. Written notice was also provided to the Management Company for the Plantation Master Association, Inc.

A copy of the complete mailing list is attached as Schedule A.

A copy of the neighborhood meeting notice is attached as Schedule B. The notice contains all of the meeting exhibits.

A copy of the list of meeting attendees is attached as Schedule C.

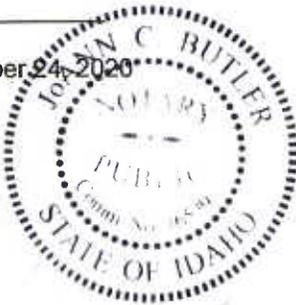
Robert Taunton

Robert Taunton, Taunton Group, LLC  
Project Manager for Glass Creek, LLC,  
Owner of Plantation Country Club

Signed and sworn to before me on May 21, 2020 by Robert Taunton.

John C Butler

Signature of notary public  
My commission expires: September 24, 2020



## SCHEDULE A

GERALD & BARBARA LEE LIVING TRUST  
3431N PLANTATION RIVER DR  
GARDEN CITY ID 83703

GEORGE LAKE  
6175 W STERLING LANE  
GARDEN CITY ID 83703

BARBARA BROWN  
3710 N GRAMARCY LANE  
GARDEN CITY ID 83703

MITCHELL WILLIAMS  
3421N PLANTATION RIVER DR  
GARDEN CITY ID 83703

MATTHEW STENSHOEL  
6163 W STERLING LANE  
GARDEN CITY ID 83703

RIGBY JACOBS LEUSINKVELD  
3675 N GRAMARCY LANE  
GARDEN CITY ID 83703

RODNEY REESE  
3411N PLANTATION RIVER DR  
GARDEN CITY ID 83703

RICHARD & WANDA SERROS  
FAMILY TRUST  
6141W STERLING LANE  
GARDEN CITY ID 83703

RONALD BUSH  
3695 N GRAMARCY LANE  
GARDEN CITY ID 83703

SNOWDEN FAMILY TRUST  
3400 N PLANTATION RIVER DR  
GARDEN CITY ID 83703

ELIZABETH OTANDER  
6161 W PLANTATION LN  
GARDEN CITY, ID 83703

RUBY STUBBLEFIELD FAMILY LP  
3749 N GRAMARCY LANE  
GARDEN CITY ID 83703

DANIEL DONEGAN  
3410 N PLANTATION RIVER DR  
GARDEN CITY ID 83703

ALINA JENSEN  
6101W STERLING LANE  
GARDEN CITY ID 83703

RUBY STUBBLEFIELD FAMILY LP  
PO BOX 327  
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PHILIP GORDON  
3420 N PLANTATION RIVER DR  
GARDEN CITY ID 83703

MARK JOHNSON  
6281W PLANTATION LANE  
GARDEN CITY ID 83703

MICHAEL THIRY  
3791 N GRAMARCY LANE  
GARDEN CITY ID 83703

TINA ELLIS  
3430 N PLANTATION RIVER DR  
GARDEN CITY ID 83703

LOIS BAUER  
3790 N GRAMARCY LANE  
GARDEN CITY ID 83703

JAMES MCENANEY  
6178 W STERLING LANE  
GARDEN CITY 83703

STEVEN JOHNSON  
3440 N PLANTATION RIVER DR  
GARDEN CITY ID 83703

STANLEY HOLTON  
3760 N GRAMARCY LANE  
GARDEN CITY ID 83703

RIVERSIDE MANAGEMENT CO.  
8919 W ARDENE STREET  
BOISE IDAHO 83709

VESTAL FAMILY TRUST  
6158 W STERLING LANE  
GARDEN CITY ID 83703

PIERCE ROAN JR  
3740 N GRAMARCY LANE  
GARDEN CITY ID 83703

PLANTATION MASTER ASSOCIATION, INC.  
C/O RIVERSIDE MANAGEMENT CO.  
8919 W ARDENE STREET  
BOISE IDAHO 83709

PATRICIA HYLE  
6395 W PLANTATION LN  
GARDEN CITY ID 83703

BAKER BRYANT FAMILY TRUST  
6128 W STERLING LN  
GARDEN CITY ID 83703

RONALD WILPER  
3411 N PLANTATION RIVER DR  
GARDEN CITY ID 83703

WILLIAM CONNORS  
6269 W PLANTATION LN  
GARDEN CITY ID 83703

MARK SMITH  
6259 W PLANTATION LN  
GARDEN CITY ID 83703



## Adjacent Neighbors



Apr 29, 2020 - landproDATA.com  
Scale: 1 inch approx 200 feet

The materials available at this website are for informational purposes only and do not constitute a legal document.

## SCHEDULE B

### Taunton Group

Community Development

**DATE:** May 4, 2020  
**TO:** Neighbors  
**FROM:** Glass Creek, LLC, Owner of Plantation Country Club  
**RE:** Neighborhood Meeting #2 Notice

---

Dear Neighbors,

Glass Creek held an initial neighborhood meeting on April 21, 2020 utilizing a conference call-in number to discuss a proposed subdivision application adjacent the Boise River at the south end of the #16 golf hole. All property owners within 300' of the proposed project location were noticed by mail. Additional property owners beyond 300' were also notified.

Since the first meeting Glass Creek has developed more detailed plans and wishes to offer the neighbors an opportunity to review and discuss this information at a second neighborhood meeting. All neighbors included in the first meeting notice will receive this second notice. We have also added a small number of property owners beyond the 300' distance and have updated the list to reflect a change of ownership due to a recent property resale. We are providing a copy of the first meeting notice to these added property owners for background reference. We are sending a copy of this notice to the Plantation Master Association c/o Riverside Property Management. As before, this meeting is not a public hearing and no Garden City public officials will participate.

**When:** May 18, 2020 at 7:00 pm.

Garden City continues to require that neighborhood meetings be held remotely utilizing a phone-in option. Neighbors wishing to participate are requested to dial in a few minutes before the meeting start. The meeting will end at approximately 8:00 pm.

**Dial:** 1-267-930-4000  
**Enter the meeting PIN:** 954-519-097#

The City requires a list of the meeting attendees. We will need to collect all the names at the beginning of the meeting and that will take a few moments. Please identify yourself before speaking during the meeting.

Included with this notice are a site plan and landscape plan for the project. Please note that the plans are a work in progress and revisions will occur before an application is submitted to Garden City. We welcome your comments. In summary the proposed project will create four lots – 3 custom home lots and 1 common lot for a shared drive and landscaped open space. The property is zoned R-2 Low Density Residential, and the subdivision will meet the use regulations and

development standards for that zoning district, including the 35' height limitation. No variances will be requested.

For the benefit of the new property owners noticed, a conceptual plan for the reconfiguration of #15 and #16 golf holes to accommodate the subdivision is illustrated in the first meeting notice. Any revision to the course is not part of the subdivision land use application. Any course changes are a modification of an existing permitted use. Glass Creek's golf course architect prepared the conceptual plan to inform the Plantation Country Club Members and then provided it with the first meeting notice as a courtesy to the neighbors. The plan will be refined in the future and neighbors will have an opportunity to comment. Glass Creek will undertake any renovation as part of the overall reconfiguration and improvement to the course announced in 2019. Many of you are aware that ACHD postponed the State Street/Pierce Park Project planned for 2021 and that decision has delayed Glass Creek's planned course renovation for a year or more. Some temporary adjustments to tee boxes on #16 will be constructed with development of the lots.

If you have any questions or cannot attend, please feel free to contact me.

Sincerely,  
Bob Taunton, Project Manager for Glass Creek  
Taunton Group, LLC  
208-401-5505  
bobtaunton@tauntongroup.com





## SCHEDULE C

MIKE & KAREN BOYD

RONALD BUSH

JOANN BUTLER

TINA ELLIS

KAREN HAUSER

VAL & JAKE HEUSINKVELD

PHILLIP GORDON

GERALD & BARBARA LEE

JIM & MAUREEN MCENANEY

BRUCE MOORE

MIKE NERO

PETER SNOWDEN

MATTHEW & LINDSEY STENSHOEL

BOB TAUNTON

MITCH WILLIAMS

RON WILPUR



**LAND DIVISION**

Permit info: \_\_\_\_\_  
 Application Date: \_\_\_\_\_ Rec'd by: \_\_\_\_\_  
 FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921 (tel.)  
 208.472.2926 (FAX) ▪ [www.gardencityidaho.org](http://www.gardencityidaho.org) ▪ [planning@gardencityidaho.org](mailto:planning@gardencityidaho.org)

**CONTACT INFORMATION**

**APPLICANT - DESIGNATED AGENT & ATTORNEY FOR GLASS CREEK, LLC**

**Name:** Robert Taunton, Taunton Group      **Address:** 2724 S. Palmatier Way  
**Email:** bobtaunton@tauntongroup.com      Boise, ID 83716  
**Phone:** (208) 401-5505

**OWNER**

**Name:** Glass Creek LLC      **Address:** 6501 Fruitvale Ave  
**Email:** will@willgus.com      Bakersfield, CA 93308  
**Phone:** (805) 448-3552

**PROPERTY INFORMATION**

**Subdivision/Project Name:**  
 Glass Island View Subdivision

**Site address:**  
 6515 W. State Street

**Description of Existing Use(s):**  
 Golf Course

**Description of Surrounding Uses:**  
 Single family residential, Boise River and Golf Course.

**APPLICATION INFORMATION**

- Minor Land Division       Preliminary Plat       Planned Unit Development  
 Combined Preliminary/Final Plat       Final Plat       Condominium

If final plat have there been any changes since the preliminary plat? Y/ N n/a

Number of residential lots 3      Number of commercial lots 0      Number of mixed use lots \_\_\_\_\_

Number of common lots 1      Square feet of common open space 20,023-SF

Are any improvements planned within the common open space area? If so, specify.  
Common drive and landscape.

What public services and facilities are required for this development?  Fire Protection  Police Protection  Water  Sewer  Drainage  
 Streets  Schools

What housing types are proposed? MARK ALL THAT APPLY

Single Family       Condos \_\_\_\_\_      Townhomes \_\_\_\_\_      Live/Work \_\_\_\_\_  
 Manufactured/ Mobile Homes \_\_\_\_\_      N/A \_\_\_\_\_

Is this plat a portion of a larger land holding intended for subsequent development? If yes, please explain. No.

Is the project within the Floodplain? Yes.

Are there any proposed uses not allowed in the zoning district where the project is located? If so, specify. If so, what is the gross land area devoted to such uses?

No. All proposed uses are allowed in the zoning district.

**What is the effect of this site development on roadways and traffic conditions?** None expected.

**Are there new roads proposed/required?** None proposed/required.

**Are there new ingress/egress being proposed?** Yes. New shared common drive.

**How has off-street parking and loading been arranged and sized to prevent traffic congestion?** Each proposed residence will provide sufficient on-property parking and loading.

**How has vehicular and pedestrian circulation been arranged with respect to adjacent facilities and internal circulation?** Veh and Ped circulation connects with available facilities in the vicinity. The shared drive provides space for ped. circulation as part of the drive.

**Has there been connection to or access provided for future connections to bicycle and pedestrian pathways or regional transit?**

Common drive & proposed easement/pathway connects to public streets & available bike/ped pathways & regional transit.

**What neighborhood characteristics exist or are planned which make this development compatible with the neighborhood and adjoining properties?**

Single family lots accommodate housing commensurate with the Plantation neighborhood and adjoining properties.

**What is the effect of this site development on the adequacy of storm and surface water facilities?**

Adequate storm drain facilities will be developed to serve the lots and common drive.

**How will the design create a sense of place (usable open space, public art, visual focus points)?**

The design integrates with both the adjacent golf course and Boise River.

**How has landscaping been used to protect existing trees, utilize existing features, create harmony with adjacent development and prevent erosion and dust?**

Landscape buffers provide separation from existing development and the nearby golf course. Mitigation for 2 trees.

**What type of water will be used for landscaping?**  Irrigation - Non-Potable

Irrigation - Potable  City Water System New lots will irrigate from the municipal system. The adjacent golf course will continue to be irrigated by the existing non-potable system.

**Have native or drought resistant plants been utilized in the landscaping plan? If so what types and what percentage of the overall landscape is dedicated to these plants?**

Landscape plantings will incorporate regionally-appropriate low-water-use and drought resistant species.

**What sustainable concepts have been incorporated into the design?**

Permeable paver drainage systems are a sustainable system that promotes groundwater/aquifer recharge.

**APPLICATION INFORMATION REQUIRED**

**NOTE:**

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED**  
**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

**TWO (2) HARD COPIES OF EACH CHECKLIST ITEM REQUIRED**

- |                                     |  |   |                      |
|-------------------------------------|--|---|----------------------|
| <input checked="" type="checkbox"/> | Planning Submittal Form  | <input checked="" type="checkbox"/>                         | Compliance Statement |
| <input checked="" type="checkbox"/> | Preliminary Title Report   | <input checked="" type="checkbox"/>                         | Statement of Intent  |
| <input checked="" type="checkbox"/> | Legal Description  | WAIVER <input type="checkbox"/>                             | Approved Sketch Plat |
| <input checked="" type="checkbox"/> | Neighborhood Map   |   |                      |
| WAIVER <input type="checkbox"/>     | Sketch Map (Required for subs with 4 or more proposed lots)                  |   |                      |
| <input checked="" type="checkbox"/> | Subdivision Map  |   |                      |
| <input checked="" type="checkbox"/> | Site Plan  |   |                      |
| <input checked="" type="checkbox"/> | Landscape Plan   |   |                      |
| <input type="checkbox"/>            | Schematic Drawings   | <i>n/a. Future building architecture not known.</i>         |                      |
| <input type="checkbox"/>            | Lighting Plan  | <i>n/a. None proposed.</i>                                  |                      |
| <input checked="" type="checkbox"/> | Topographic Survey   |   |                      |
| <input checked="" type="checkbox"/> | Grading Plan   |   |                      |
| <input checked="" type="checkbox"/> | Soils Report   |   |                      |
| <input checked="" type="checkbox"/> | Hydrology Report   |   |                      |
| <input checked="" type="checkbox"/> | Engineering Drawings and Specifications                                      | PRELIMINARY PLANS ENCLOSED                                  |                      |
| <input checked="" type="checkbox"/> | Natural Hazard and Resources Analysis  |   |                      |
| <input checked="" type="checkbox"/> | Dedications and Easements  | SEE PRELIMINARY PLAT  |                      |
| <input type="checkbox"/>            | Covenants and Deed Restrictions  | <i>n/a. None proposed.</i>                                  |                      |
| <input type="checkbox"/>            | Ability to Serve Letter  | <i>Pending. Has been requested by separate application.</i> |                      |
| <input checked="" type="checkbox"/> | Neighborhood Meeting Verification  |   |                      |
| WAIVER <input type="checkbox"/>     | Affidavit of Legal Interest  |   |                      |
| FUTURE <input type="checkbox"/>     | Affidavit of Posting and Photos (Due 7 days before the hearing)              |   |                      |
| WAIVER <input type="checkbox"/>     | Irrigation/Ditch Company Information Form                                    | <i>n/a</i>  |                      |
| WAIVER <input type="checkbox"/>     | Locations, elevations, and materials of proposed signage or Master Sign Plan | <i>n/a. None proposed.</i>                                  |                      |
| <input checked="" type="checkbox"/> | Waiver Request of Application Materials                                      |   |                      |

**FOR CONDOMINIUM SUBDIVISIONS:**

**IN ADDITION TO THE ABOVE REQUIRED DOCUMENTS AND INFORMATION, THE FOLLOWING MUST BE SUBMITTED:**

- Diagrammatic floor plans of the building or buildings built or to be built in sufficient detail to identify each unit's location and approximate dimensions, showing elevations where multi-level or multi-story structures are diagrammed
  - A declaration and by-laws consistent with the provisions contained in Idaho Code 15-1505
- Not Applicable

**INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS (PLEASE CHECK):**

- Statement must include a list of the application materials to be waived and an explanation for the request.

**INFORMATION REQUIRED ON COMPLIANCE STATEMENT (PLEASE CHECK):**

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application

**INFORMATION FOR STATEMENT OF INTENT(PLEASE CHECK):**

- Should include purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

**INFORMATION FOR PRELIMINARY TITLE REPORT (PLEASE CHECK):**

- Document confirming property has been purchased contingent to approvals by city and other agencies
- Document should confirm if there are liens on property and if there are other issues with title
- Document typically generated by lender or title company

**INFORMATION FOR LEGAL DESCRIPTION (PLEASE CHECK): SEE ENCLOSED DEED AS SUPPLEMENTAL INFO.**

- A document legally describing the property.
- Must have Ada County instrument number or county seal inscribed.

**WAIVER** **INFORMATION FOR SKETCH PLAT (PLEASE CHECK):**

- A plat preliminary to the preparation of a preliminary plat that show the basic outline of the plat, including lots, roads, and dedicated sites.
- Required for subs with 4 or more proposed lots

**INFORMATION REQUIRED ON NEIGHBORHOOD MAP (PLEASE CHECK):**

- 8 ½" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

**INFORMATION REQUIRED ON PRELIMINARY SUBDIVISION MAP (PLEASE CHECK):**

- WAIVER**  30" x 42" minimum size **22"X34" SHEETS PROVIDED**
- Scale no less than one inch (1") to one hundred feet (100')
- The names, addresses, and telephone numbers of the planners, engineers, surveyors or other persons who designed the subdivision and prepared the plat
- The legal description of the proposed subdivision, and a topographical map showing the proposed subdivision at a scale of not less than one inch (1") to one hundred feet (100') **SEE ACCOMPANYING MATERIALS**
- The intended use of the lot such as: residential single-family, duplex, townhouse and multiple housing, commercial, industrial or recreational;
- A proposed building envelope shall be designated and dimensioned on each lot to demonstrate that a building can comply with the required setbacks. This building footprint is not binding on future building on the lot.
- Streets and public rights of way, including proposed street names and dimensions
- Blocks, if any, building envelopes and lot lines as required by subsection 10-4-4F of this Title, showing the dimensions and numbers of each. In addition to providing this information on the plat or supporting addenda, the applicant shall stake the perimeters of each lot and the center of its building envelope sufficiently to permit the Commission to locate the same when inspecting the site of the proposed subdivision
- Contour lines, shown at two foot (2') intervals, reference to an established bench mark, including location and elevation

- Location of any proposed or existing utilities, including, but not limited to, domestic water supply, storm and sanitary sewers, irrigation laterals, ditches, drainages, bridges, culvers, water mains, fire hydrants, and their respective profiles
- N/A  Location of bicycle parking **BICYCLE PARKING WILL BE INTERIOR TO UNITS**
- N/A  Location of existing and proposed street lights
- N/A  Location of existing and proposed pedestrian and bicycle pathways

**INFORMATION REQUIRED ON SITE PLAN(PLEASE CHECK):**

- WAIVER  24" x 36" size minimum **22"X34" SHEETS PROVIDED**
- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- N/A  Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- N/A  For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- Sidewalks, bike and pedestrian paths.
- Berms, walls, screens, hedges and fencing.
- Location and width of easements, canals, ditches, drainage areas.
- N/A  Location, dimensions and type of signs.
- Trash storage and mechanical equipment and screening.
- Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- Log depicting square footage of impervious surface, building and landscaping *Cannot be determined.*
- N/A  Location and height of fences and exterior walls *Future building sizes unknown. Pad sizes provided.*
- N/A  Location and dimensions of outdoor storage areas
- Location of utilities and outdoor serviced equipment and areas
- N/A  Location of any proposed public art
- N/A  Location of any proposed exterior site furniture
- N/A  Location of any exterior lighting
- N/A  Location of any existing or proposed signage

**INFORMATION REQUIRED ON LANDSCAPE PLAN (PLEASE CHECK):**

- WAIVER  24" x 36" size minimum **22"X34" SHEETS PROVIDED**
- Scale the same as the site plan.
- Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- Size, location and species of existing vegetation labeled to remain or to be removed.
- All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- N/A  Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location *Landscape areas dimensioned.*

- ✓ Proposed storm water systems
- ✓ Locations and dimensions of open space

INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (PLEASE CHECK):

- 11" x 17" size minimum
- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade lines; or any site preparation, grading or filing
- Decks, porches, patios, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color
- Sample materials (as determined by the staff)

Not Applicable  
Future building architecture is unknown.

INFORMATION REQUIRED ON LIGHTING PLAN (PLEASE CHECK):

- 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- Location of municipal street lights

No New Lighting Proposed

INFORMATION FOR TOPOGRAPHIC SURVEY (PLEASE CHECK):

- ✓ The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20'). If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site.

INFORMATION REQUIRED ON GRADING PLAN (PLEASE CHECK): SEE PRELIMINARY ENGINEERING PLANS

- ✓ 11" x 17" size minimum
- ✓ Scale not less than one inch equals twenty feet (1" = 20')
- ✓ Two foot (2') contours for the entire proposal site
- ✓ One foot (1') contours for details, including all planimetric features
- ✓ Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- ✓ Existing easement and utility locations
- ✓ Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surfaces
- ✓ Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- ✓ Proposed storm water systems

SEE LANDSCAPE PLANS  
FOR REVEGETATION

INFORMATION FOR SOILS REPORT (PLEASE CHECK):

- ✓ Prepared by a licensed engineer
- ✓ Report showing the nature, distribution, and strength of existing soil;
- ✓ Conclusions and recommendations for grading procedures

- ✓ Opinions and recommendations regarding the adequacy of the soil for the proposed development
- ✓ The design criteria for any corrective measures which are recommended

**INFORMATION FOR HYDROLOGY REPORT(PLEASE CHECK):**

- ✓ Prepared by a licensed engineer
- ✓ Description of the hydrological conditions existing within the proposed site, the adequacy of the existing conditions for the proposed project and the design criteria for any recommended corrective measures
- ✓ Map or drawing showing existing surface drainage patterns in the proposed site and identifying any anticipated changes in those patterns due to the project development **SEE TOPOGRAPHIC SURVEY**
- ✓ For preliminary plat: Preliminary plans and approximate locations of all surface and subsurface drainage devices or other devices to be employed in controlling drainage water within the project site, including proposed, existing, and natural drainage swales, culverts, catch basins, and subsurface drain piping

- ☐ For final plat: A storm drainage plan shall be submitted showing compliance with the standards of section 8-4B-1. The storm drainage plan shall include:
  - a. A map indicating the on-site and off-site drainage applicable to the site
  - b. Detailed engineering plans of all subsurface drainage improvements to be constructed as a part of the proposed development
  - c. Location of all drainage easements, or drainage rights of way

No Final Plat Proposed

- ✓ For a subdivision within a floodplain, documentation shall be provided that will show and explain at the following to demonstrate conformance with Chapter 3, Article B. Flood Hazard. Location of all planned improvements:
  - a. The location of the floodway and the floodway fringe per engineering practices as specified by the Army Corp of Engineers
  - b. The location of the present water channel
  - c. Any planned re-routing of waterways
  - d. All major drainage ways
  - e. Areas of frequent flooding
  - f. Means of flood proofing buildings, and means of insuring loans for improvements within the floodplain

**INFORMATION FOR ENGINEERING DRAWINGS AND SPECIFICATIONS (PLEASE CHECK):** PRELIMINARY ENGINEERING PLANS SUBMITTED

- ✓ Prepared by a licensed engineer
- ✓ The engineering drawings and specifications are for streets, water systems, sewers, and other required public improvements to support the proposal
- ✓ The plans shall contain sufficient information and detail to enable the Planning Official to make a determination as to conformance of the proposed improvements to applicable regulations, ordinances, and standards
- N/A ☐ For a sexually oriented business: The applicant shall provide evidence certified by a professional land surveyor licensed in the State of Idaho that the proposed adult entertainment establishment conforms to the separation requirements as set forth in Section 8-2C-33 of this Title

**INFORMATION FOR NATURAL HAZARD AND RESOURCES ANALYSIS (PLEASE CHECK):**

- ✓ Prepared by a licensed engineer
- ✓ The natural hazards and resources analysis shall provide an inventory and recommendation regarding natural conditions existing on the site.
- ✓ The analysis shall include: significant natural resources existing on the site shall be identified including vegetation; fish and wildlife habitat; and water, including streams and riparian zones. A plan for preservation and/or

mitigation of significant resources should be prepared by a qualified professional.

- ✓ For subdivisions within a floodplain: Detained information on the nature, source, and extent of the hazard and the proposed actions to minimize or eliminate danger to public health, safety or property. The analysis shall include the following information:
  - a. The location of existing water channels and drainage ways, floodway, flood plain and base flood elevation
  - b. The location of all planned improvements including dams, dikes, and similar structures
  - c. All planned diversions, alterations or rerouting of channels and drainage ways.

**INFORMATION FOR DEDICATIONS AND EASEMENTS (PLEASE CHECK):**

- ✓ The statement of intent for dedications and/or easements shall include the location, size, dimensions, and purpose. SEE PRELIMINARY PLAT

**INFORMATION FOR COVENANTS AND DEED RESTRICTIONS (PLEASE CHECK):**

- The draft of any proposed covenants and deed restrictions to be recorded with the plat or plat amendment. **Not Applicable**

**INFORMATION FOR WILL SERVE LETTER(PLEASE CHECK):** *Pending. Has been requested by separate application.*

- A document from the City Engineer certifying that a property has adequate access to city services.

**INFORMATION FOR NEIGHBORHOOD MEETING VERIFICATION (PLEASE CHECK):**

- ✓ Copy of notice sent to property owners within 300' of an applicable property
- ✓ List of notice recipients with names and addresses
- N/A  Sign-up sheet from meeting *Remote meeting required.*

**INFORMATION FOR AFFIDAVIT OF LEGAL INTEREST (PLEASE CHECK):**

- WAIVER  A signed affidavit indicating legal interest in a property and application

**INFORMATION FOR AFFIDAVIT OF PROPERTY POSTING AND PHOTOS(PLEASE CHECK):**

- FUTURE  A signed affidavit affirming that the required sign has been posting on the property ten days before the hearing
- Photos (digital or print) of posted sign

**INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM (PLEASE CHECK):**

- Required if irrigation or ditches are impacted on property or along property lines. **No irrigation / ditches impacted.**

**INFORMATION REQUIRED FOR MASTER SIGN PLAN (PLEASE CHECK):**

- Required for commercial signs consisting of two or more buildings
- Location, elevations, and materials of proposed signage. **No signs proposed.**