

# CITY OF GARDEN CITY

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**MLDFY2019 - 0001**  
**Site Layout Template – Minor Planned Unit Development**  
**For: Sue Samson**  
**Location: 322 E. 44<sup>th</sup> Street, Garden City, Idaho**  
**Applicant: Pam Gaines**



② South Colored  
1/8" = 1'-0"



① East Colored  
1/8" = 1'-0"



③ West Colored  
1/8" = 1'-0"



④ North Colored  
1/8" = 1'-0"

**Staff Contact: Chris Samples (208) 472-2921; [planning@gardencityidaho.org](mailto:planning@gardencityidaho.org)**

**City of Garden City**  
**Planning and Zoning Commission Staff Report**

***Project Description:***

**Planning and Zoning Commission Public Hearing Date:** Wednesday April 17, 2019 at 6:30 p.m.

**Application File Number:** MLDFY2019-0001

**Applicant:** The applicant is Pam Gaines, representing Sue Samson

**Location:** 322 E. 44<sup>th</sup> Street, Garden City, Idaho; Ada County Parcel: R2734500512

**Requested Use:** Site Layout Template and Minor Planned Unit Development Approval

**Project Synopsis:** Pam Gaines with neUdesign Architecture is requesting approval for a Minor Planned Unit Development to be located at 322 E. 44<sup>th</sup> Street; Ada County Parcel R2734500512, S 170' Lot 16 Blk 2 Fairview Acres Sub No. 1. The property is zoned R-3 and located in the Mixed Use Residential designation of the Comprehensive Plan.

The Design Committee recommended **APPROVAL** at the March 18, 2019 meeting. The draft recommendation is attached to this report.

**Existing Conditions:**

- The subject property is 0.39 acres
- The project is in the R-3 Medium Density Residential Zoning District
- The project is located in the Mixed Use Residential Comprehensive Plan Land Use Designation.
- The subject property is not in the 100 year floodplain designation or floodway.
- Surrounding Uses: Residential Uses, Commercial Uses
- Existing Use: Vacant Land
- Access to the site is from E. 44<sup>th</sup> Street.
- A sidewalk is not installed on the site.

***Standards for Review:***

The following standards were reviewed in association with this application:

- 8-6B-8 Minor Planned Unit Development
- Title 8 Chapter 4 Design and Development Regulations
- 8-4E Transportation and Connectivity Provisions

The following other plans and decisions are noted:

- The Garden City Sidewalk Policy

### **Staff Analysis:**

#### **8-6B-8 Minor Planned Unit Development: Compliant as conditioned**

#### **Site Layout Template:**

Garden City Code 8-6B-8 (Minor Planned Unit Development) requires the Commission to decide upon site layout templates. A site layout template is defined in Garden City Code 8-7A (Definitions) as:

*Site Layout Template: A site design that shows a layout of building footprints, common areas, access lanes, and parking that is adopted by the city and that can be generally applied on a number of similarly situated sites.*

An approved site layout template can be utilized by other properties seeking Minor Planned Unit Development approval.

The applicant has requested the approval of one site layout template. The Design Committee recommended approval of the site layout template and made the following recommendations:

1. A revised template shall be provided to the Commission showing the following:
  - a. Items such as the storage structure, patio, and pergola shall be removed from the site layout template.
  - b. The specific analysis shall be replaced with a general analysis of the template.

The site layout template is required to address the criteria found in 8-6B-8(D):

<b><u>Requirements</u></b>	<b><u>Design Committee Recommendation</u></b>
<b>8-6B-8(D)(2) Required Elements</b>	
<b>Location of building footprints, common areas, private open space, paved areas, service areas, access lanes, parking, pedestrian walkways and linkages</b>	Compliant as conditioned
<b>Number of units, building stories, parking spaces and amount of common area</b>	Compliant as conditioned
<b>Future Connectivity Opportunities</b>	Compliant as conditioned
<b>8-6B-8(D)(3) Required Criteria</b>	
<b>Fire access</b>	Compliant as conditioned
<b>Common Area 8% of site</b>	Compliant as conditioned
<b>20' Minimum Access Lane</b>	Compliant as conditioned
<b>Interconnectivity Opportunities</b>	Compliant as conditioned
<b>550 Sq. Ft. Minimum Dwelling Unit Size</b>	Compliant as conditioned
<b>Minimum Setbacks</b>	Compliant as conditioned
<b>Maximum Building Height</b>	Compliant as conditioned

<b>Required Parking</b>	<b>Compliant</b>
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**Minor Planned Unit Development (Minor PUD):**

Minor PUD applications are usually approved administratively. However, if a site layout template is submitted concurrently, the Commission must also approve the MPUD application. The applicant is requesting approval under the proposed template noted above.

The Design Committee recommended approval of the Minor PUD with the following site specific conditions:

1. Minor Planned Unit Development:
  - a. Landscaping shall be installed to break up parking and driveway areas. This condition shall be reviewed administratively.
  - b. The swinging gate noted in the application materials shall not be installed. This condition shall be reviewed administratively.
  - c. The landscape plan shall be amended to met the landscape buffer requirements of Garden City Code 8-4I. This condition shall be reviewed administratively.
  - d. Evergreen trees shown along E. 44<sup>th</sup> Street in the landscape plan shall be deciduous. This condition shall be reviewed administratively.
  - e. The sidewalk along E. 44<sup>th</sup> Street shall either be widened to 6.5 feet or the fence along E. 44<sup>th</sup> Street shall be moved back 1.5 feet. This condition shall be reviewed administratively.
  - f. The end gable on the east elevation facing E. 44<sup>th</sup> Street shall be enlarged to resemble a covered patio. This condition shall be reviewed administratively.
  - g. The public art proposed in the application materials shall be strengthened with landscape material in a horseshoe shape around the artwork. This condition shall be reviewed administratively.

**A Minor PUD must be in conformance with the following requirements:**

<b><u>Required Elements</u></b>	<b><u>Design Committee Recommendation</u></b>
<b>8-6B-8(E) General Provisions</b>	
<b>Substantial Conformance/Allowed Deviations</b>	None requested
<b>Required Elements</b>	Compliant as conditioned
<b>Site Layout Template General Provisions</b>	Compliant as conditioned
<b>Landscaping</b>	Compliant as conditioned
<b>Street Trees</b>	Compliant as conditioned
<b>Common Area</b>	Compliant as conditioned
<b>Private Open Space</b>	Compliant as conditioned
<b>Building Orientation</b>	Compliant as conditioned
<b>Public Street Elevation</b>	Compliant as conditioned
<b>Access Lane</b>	Compliant as conditioned
<b>Service Areas</b>	Compliant as conditioned

<b>Utility Vaults</b>	Compliant as conditioned
<b>Storm Drainage</b>	Compliant as conditioned

#### **Title 8 Chapter 4.**

The Design Committee recommended approval of the site layout template and the minor planned unit development with conditions.

#### **GCC 8-4E Transportation and Connectivity Provisions**

At times there is overlap between design and use. Code requires that whenever a new use commences at a site, that the property be compliant with transportation and connectivity provisions.

**Garden City Sidewalk Policy** notes that sidewalk or pathway shall be detached as required by **Garden City Code 8-4E-6 E** and provide for a 6' with root barrier/ 8' without root barrier landscape buffer prescribed by ACHD's policy for Class II or III trees. It further requires that if the sidewalk is adjacent to curb on an arterial roadway the sidewalk shall be at least 7' in width and be free of obstructions.

The applicant proposed a sidewalk and landscape buffer in accordance with this code section and the Policy. A condition of approval is recommended requiring installation of the sidewalk and landscaping.

#### **Other Plans and Approvals Analysis: Noted**

The Garden City Sidewalk Policy was reviewed for this application.

#### **8-6B-8(G)(1) Site Layout Template: Required Findings**

In order to approve a site layout template the Planning and Zoning Commission must find:

1. Recommendation from the design review committee;
2. The layout is in conformity with the purpose and intent of this article and the city's comprehensive plan;
3. The layout demonstrates innovation and creativity in residential lot development;
4. The layout creates usable open space areas and the opportunity to create a sense of place and neighborhood on a site;
5. The layout could provide for a variety of housing products that respond to changing demographics and housing needs including cottages, compact housing, residential courts, co-housing, and attached units;
6. The layout provides for interconnectivity within blocks and between lots of record; and

7. The layout creates an incentive for residential development that is designed with consideration for future development on adjoining lots and for combining lots of record.

**8-6B-8(G)(1) Minor Planned Unit Development: Required Findings**

The minor PUD is in general conformance with an adopted site layout template and any deviations are minor as defined in this section;

1. The minor PUD meets all the findings for a site layout template as set forth in this subsection G;
2. The minor PUD complies with requirements of the city and other agencies with jurisdiction; and
3. The minor PUD has been designed to minimize impacts on adjacent properties.

In approving a minor PUD, the decision maker may prescribe appropriate conditions and limitations in conformity with this title which:

1. Minimize adverse impacts on adjacent properties; and
2. Provide a guarantee for interconnectivity between the site and adjacent properties.

BEFORE THE PLANNING AND ZONING COMMISSION  
GARDEN CITY, ADA COUNTY, IDAHO

In the Matter of: ) ) Fourplex Multi-Family Building ) 322 E. 44 <sup>th</sup> St. ) Garden City, Ada County, Idaho ) _____ )	MPUDFY2019-1  FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION
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THIS MATTER, came before the Garden City Planning And Zoning Commission for consideration on April 17, 2019. The Planning and Zoning Commission reviewed the application and materials submitted. Based on the evidence presented, pursuant to Garden City Code Table 8-6A-1, the Planning and Zoning Commission makes the following Findings of Fact, Conclusions of Law and Decision:

**FINDINGS OF FACT**

1. The applicant is Pam Gaines with neUdesign Architecture.
2. The property owner is Susan G. Samson.
3. The application is for the following:
  - a. Site Layout Template
  - b. Minor Planned Unit Development
4. The location of the project is 322 E. 44<sup>th</sup> St., Garden City, ID. Assigned Ada County Parcel No.: R2734500512.
5. The subject property is .39 acres.
6. The project is located in the Garden City R-3 Medium Density Residential Zoning District.
7. The project is located in the Mixed Use Residential designation of the Garden City Comprehensive Plan Land Use.
8. The existing use on the site is: None
9. Current access to the site is from E. 44<sup>th</sup> Street.
10. There is not a sidewalk adjacent to E. 44<sup>th</sup> Street.
11. The following sections of the Garden City Municipal Code apply to this proposal:

<b>This is drafted based on a approval of the request by the Planning and Zoning Commission. The is subject to change based on the Commission's decision.</b>			
<b>GCC 8-6B-8 MINOR PLANNED UNIT DEVELOPMENT – SITE LAYOUT TEMPLATE: REQUIRED FINDINGS</b>			
Conclusion			
Compliant	Not Compliant	Not Applicable to this Application	Standard
X			<b>Standard:</b> Recommendation of the Design Committee

			<b>Explanation: The Design Committee recommended approval of the Site Layout Template.</b>
X			The layout is in conformity with the purpose and intent of this article and the City's Comprehensive Plan. <b>Explanation: The layout is in conformity with the intent and purpose of the Minor Planned Unit Development ordinance and the City's Comprehensive Plan.</b>
X			The layout demonstrates innovation and creativity in residential lot development. <b>Explanation: The layout demonstrates innovation and creativity through a unique site plan and connectivity opportunities.</b>
X			The layout creates usable open space areas and the opportunity to create a sense of place and neighborhood on a site. <b>Explanation: Usable open space is provided in a separate open space area in the development.</b>
X			The layout could provide for a variety of housing products that respond to changing demographics and housing needs including cottages, compact housing, residential courts, co-housing, and attached units. <b>Explanation: The layout can respond to changing demographics and housing needs through smaller building footprints and adjustments to outdoor areas.</b>
X			The layout provides for interconnectivity within blocks and between lots of record. <b>Explanation: Future interconnectivity is possible with adjoining property by possible extension of the driveway.</b>
X			The layout creates an incentive for residential development that is designed with consideration for future development on adjoining lots and for combining lots of record.

			<b>Explanation: The layout creates an incentive for future residential development by enabling future connectivity with other properties and through smaller unit sizes.</b>
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**GCC 8-6B-8 MINOR PLANNED UNIT DEVELOPMENT – REQUIRED FINDINGS**

Conclusion			Standard
Compliant	Not Compliant	Not Applicable to this Application	
X			<p><b>Standard:</b> The minor PUD is in general conformance with an adopted site layout template and any deviations are minor as defined in this section.</p> <p><b>Explanation: The minor PUD is in general conformance with requested site template. Deviations from the template have not been requested.</b></p>
X			<p>The minor PUD meets all findings for a site layout template as set forth in this subsection G.</p> <p><b>Explanation: The minor PUD, as conditioned, meets all required findings of this ordinance.</b></p>
X			<p>The minor PUD complies with requirements of the city and other agencies with jurisdiction.</p> <p><b>Explanation: The minor PUD is required by the conditions of approval to comply with city and agency requirements.</b></p>
X			<p>The minor PUD has been designed to minimize impacts on adjacent properties.</p> <p><b>Explanation: The minor PUD, as conditioned, is specifically designed to minimize impacts on adjacent properties through building footprint placement, landscaping and outdoor spaces.</b></p>

13. A copy of the application and plans was transmitted to interested and affected public agencies and written comments were received from:
  - a. Central District Health Department
  - b. Garden City Engineer
14. The record contains:
  - a. Application Materials
  - b. Letter of Application Acceptance
  - c. Agency Review Transmittal
  - d. Staff report, and referenced materials
  - e. Design Committee Recommendation
  - f. Planning and Zoning Commission Hearing Sign Up Sheet
  - g. Signed Findings of Fact, Conclusions of Law, and Decision
15. The application was received November 7, 2018. Notification of application acceptance and completion was sent to the applicant within 30 days of receipt of the application.
16. On April 17, 2019, at the Planning and Zoning Commission public hearing
  - a. This is a placeholder only. It will change based on the actual proceedings.

#### **CONCLUSIONS OF LAW**

The Planning and Zoning Commission reviewed the application with regard to Garden City Code Title 8, and based on the conditions required herein, concludes the application **meets/does not meet** the standards of approval under **GCC 8-6B-8 Minor Planned Unit Development**

#### **DECISION**

WHEREFORE, based upon the foregoing Findings of Fact and Conclusions of Law contained herein, the Planning and Zoning Commission hereby **APPROVES/DENIES** of the application subject to the following conditions:

Items in grey font are potential conditions of approval that apply only to an approval of this application.

Items in red font are potential conditions of denial that apply only to a denial of this application.

#### **Site Specific Requirements:**

1. Site Layout Template:
  - a. The site layout template labeled T-101, received April 11, 2019 and dated August 2, 2019 is the adopted site layout template.
  - b. The site layout template condition concerning specific site layout template items should read "Items such as the storage structure, patio, and pergola shall be removed from the site layout template".
  - c. An additional condition on the site layout template should read "The specific analysis shall be replaced with a general analysis of the template".
2. Minor Planned Unit Development:
  - a. Landscaping shall be installed to break up parking and driveway areas. This condition shall be reviewed administratively.

- b. The swinging gate noted in the application materials shall not be installed. This condition shall be reviewed administratively.
- c. The landscape plan shall be amended to met the landscape buffer requirements of Garden City Code 8-4I. This condition shall be reviewed administratively.
- d. Evergreen trees shown along E. 44<sup>th</sup> Street in the landscape plan shall be deciduous. This condition shall be reviewed administratively.
- e. The sidewalk along E. 44<sup>th</sup> Street shall either be widened to 6.5 feet or the fence along E. 44<sup>th</sup> Street shall be moved back 1.5 feet. This condition shall be reviewed administratively.
- f. The end gable on the east elevation facing E. 44<sup>th</sup> Street shall be enlarged to resemble a covered patio. This condition shall be reviewed administratively.
- g. The public art proposed in the application materials shall be strengthened with landscape material in a horseshoe shape around the artwork. This condition shall be reviewed administratively.

### **General Requirements**

1. Any changes in the design, construction, operation or use shall be brought to the immediate attention of the Planning Official for determination if the changes are in substantial conformance with the City's action. Any changes to the plans and specifications upon which this approval is based, other than those required by the above conditions, will require submittal of an application for modification and approval of that application prior to commencing any change.
2. This approval is only approval of the site layout template and the minor planned unit development. All other applicable permits must be obtained and completed prior to a certificate of compliance or occupancy.
3. The approval is specific to the application provided and reviewed. Final approval is based on substantial conformance. Any changes to the plans and specifications upon which this approval is based, other than those required by the above conditions, will require submittal of an application for modification and approval of that application prior to commencing any change.
4. Final approval is subject to the approval of other reviewing agencies and City Departments. Any more restrictive standards adopted and made applicable by any Transportation Authority, Fire Authority or other Federal, State or Local regulatory agencies shall prevail.
5. All improvements and operations shall comply with applicable local, state and federal requirements and procedures whether specifically addressed in the analysis of this application or not. This shall include but not be limited to 8-4A General Provisions of Design and Development Regulations.
6. Unobstructed easements, including but not limited to, drainage, water, and sewer easements shall be provided as required by the City Public Works or Planning Official.
7. The property owner is responsible to maintain the site to edge of roadway asphalt.
8. If there are any tree grates, they shall be widened to accommodate the growing tree trunk and prevent girdling of any trees planted in tree wells within sidewalks or other public right of way.
9. Plant materials which exhibit evidence of insect pests, disease, and/or damage shall be appropriately treated to correct the problem. Dead and diseased plant materials shall be replaced.
10. Where landscaping might impact motorist or pedestrian sight distance, shrubs shall be maintained below three feet (3') in height and trees shall be pruned so that the lowest branches will be at least seven feet (7') above the ground level.

11. A three foot (3') clearance zone shall be maintained around the circumference of fire hydrants.
12. Retain and protect existing trees, vegetation, and native soils and integrate these features into the overall landscape plan.
13. If trees are staked, the stakes shall be removed within twelve (12) months to prevent damage to the tree.
14. All planting areas that border driveways, parking lots, and other vehicle use areas shall be protected by curbing, wheel stops, or other approved protective devices.
15. Trees shall be planted at least three feet (3') from curbs, sidewalks, driveways and other hard surfaces to buffer from stress caused by vehicle overhang and compacted soils, or planted with sufficient space to provide for the full maturity of the particular tree species. All other plant material, except sod or ground cover, shall be set back a minimum of one foot (1') from any curb edge to protect from vehicle overhang and mechanical damage.
16. The landscape installation shall stabilize all soil and slopes.
17. All required landscaping shall be provided with an automatically controlled irrigation system in conformance with the best management practices for automatic irrigation systems.
18. This approval is for this application only. Additional permits, licenses and approvals may be necessary.
19. Property maintenance standards shall be maintained as required by Garden City Code.
20. The property owner is responsible for the maintenance of all landscaping and screening devices required.
21. Cross-Connections: All cross-connections between the domestic water lines and the irrigation water lines shall be in accord with the City's adopted standards, specifications and ordinances.
22. Materials submitted after the decision shall not be considered part of the record for this decision. If additional materials or information is submitted after the decision the application may be remanded to the decision making body during which time the decision shall be stayed provided that there is no immediate threat to life or safety.
23. No change in terms and conditions of this approval shall be valid unless in writing and signed by the applicant or his or her authorized representative and an authorized representative of the reviewing agency. The burden shall be upon the applicant to obtain the written confirmation of any change and not upon Garden City.
24. The Commission may revoke a conditional use permit for any of the following: A) Violation of Garden City Code or State or Federal Laws; B) Failure to abide by any conditions of this permit; C) Causing or allowing a nuisance as determined by Garden City Code, in connection with the use for which the permit is granted.
25. Any violation of the conditions of this application is a criminal offence.
26. The Commission may revoke a conditional use permit for any of the following: A) Violation of Garden City Code or State or Federal Laws; B) Failure to abide by any conditions of this permit; C) Causing or allowing a nuisance as determined by Garden City Code, in connection with the use for which the permit is granted.
27. A certificate of occupancy or an application for a building permit shall be considered commencement of the use.
28. All previous uses are null and void unless otherwise conditioned.
29. This approval shall become null and void if a building permit or certificate of occupancy has not been issued within one year of the approval. An extension may be granted by the Commission upon findings that the application and or the applicable City regulations have not changed. Such extension shall be applied for sixty (60) days prior to the expiration date for the original approval; only one extension of not more than three hundred sixty five (365) days shall be granted.

30. Should there be a change in use, there is a clear intent to cease the use, or the use is discontinued for more than one year without written documentation submitted to the City, legal noticing, and property posting indicating intent to continue the use, this approval shall become void.
31. There is a 10 day right to appeal to City Council. An appeal shall be made on the form provided by the City and filed with the City Clerk within ten (10) days after the action of the decision.
32. Final decisions are subject to judicial review pursuant to The Idaho Administrative Procedures Act, Chapter 65 Title 67 Idaho Code.
33. Pursuant to Idaho Code, a request for reconsideration must be submitted within 14 days of the final decision and prior to judicial review. The written request must identify specific deficiencies in the decision for which reconsideration is sought.
34. A takings analysis pursuant to Idaho Code may be requested on final decisions.
35. If any term or provision of this decision, to any extent, is held invalid or unenforceable, the remaining terms and provisions hereof shall not be affected thereby, but each such remaining term and provision shall be valid and enforced to the fullest extent permitted by law.

### Decision for Denial

1. There is a 15 day right to appeal to City Council. An appeal shall be made on the form provided by the City and filed with the City Clerk within ten (10) days after the action of the decision.
2. Final decisions are subject to judicial review pursuant to The Idaho Administrative Procedures Act, Chapter 65 Title 67 Idaho Code.
3. Pursuant to Idaho Code, a request for reconsideration must be submitted within 14 days of the final decision and prior to judicial review. The written request must identify specific deficiencies in the decision for which reconsideration is sought.
4. A takings analysis pursuant to Idaho Code may be requested on final decisions.
5. If any term or provision of this decision, to any extent, is held invalid or unenforceable, the remaining terms and provisions hereof shall not be affected thereby, but each such remaining term and provision shall be valid and enforced to the fullest extent permitted by law.

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Chairman, Planning and Zoning Commission

Date

BEFORE THE DESIGN REVIEW COMMITTEE  
GARDEN CITY, ADA COUNTY, IDAHO

In the Matter of:	)	MLDFY2019 - 1
	)	
Site Layout Template/	)	
Minor Planned Unit Development	)	FINDINGS OF FACT,
322 E. 44 <sup>th</sup> Street	)	CONCLUSIONS OF LAW;
Garden City, Ada County, Idaho	)	AND RECOMMENDATION
_____	)	

THIS MATTER, came before the Garden City Design Committee for consideration on January 22, 2019 and March 4, 2019. The Design Committee reviewed the application and materials submitted. Based on the evidence presented, pursuant to Garden City Code Table 8-6A-1, the Design Committee makes the following Findings of Fact, Conclusions of Law and Recommendation:

**FINDINGS OF FACT**

1. The applicant is Pam Gaines with neUdesign Architecture.
2. The property owner is Susan G. Samson.
3. The location of the project is 322 E. 44<sup>th</sup> St., Garden City, ID. Assigned Ada County Parcel No.: R2734500512.
4. The application is for the following:
  - a. Site Layout Template
  - b. Minor Planned Unit Development
5. The subject property is .39 acres.
6. The project is located in the Garden City R-3 Medium Density Residential Zoning District.
7. The project is located in the Mixed Use Residential designation of the Garden City Comprehensive Plan Land Use.
8. The existing use on the site is: vacant land.
9. Current access to the site is from E. 44<sup>th</sup> Street.
10. Due to noncompliance with Garden City Code 8-6A-7 (Public Hearing Notice) and Garden City Code 8-6B-3 (Design Review Committee), a formal hearing could not be held on the application. Pursuant to Garden City Code 8-6B-3 (Design Review Committee), the required pre-application meeting was held on January 22, 2019.
11. The application was scheduled for a hearing on March 4, 2019.
12. The applicant met with the Design Review Committee for a pre-application meeting on January 22, 2019.
  - a. Applicants Susan Samson, Pam Gaines, Pat Corbett, Bryan McCoy, and Derret Kerner were present to represent the request.
  - b. Public testimony was received from John Amlin and Don Fern
  - c. The Committee provided the following feedback:
    - i. Questions regarding the application itself, application timelines, and administrative matters should be referred to Development Services staff.

- ii. Landscape buffers are required by GCC 8-4I-5 to be adjacent to property lines shared by single family dwelling uses. The Committee recognized a discrepancy between the required 10' buffer width and the required 6' vegetation width. The Committee interpreted this to mean a 6' wide landscape strip with 4' of pavers or similar hardscape.
  - iii. The façade along E. 44<sup>th</sup> Street needed to be changed to show a front door along the street.
  - iv. The proposed sidewalk should be realigned to be completely detached, as required by GCC 8-4E and the Garden City Sidewalk Policy.
  - v. Pedestrian connectivity to the sidewalk is required by GCC 8-4E
  - vi. HVAC equipment is required to be screened per GCC 8-4A.
  - vii. A draft site maintenance agreement is required per GCC 8-2C-15.
  - viii. Quality of life amenities are required per GCC 8-2C-15.
  - ix. A new fencing ordinance is being enacted and could affect the proposed location and height of fencing on the property.
  - x. The garages should not dominate the building facades, but integrate better into the overall design.
13. The applicant met with the Design Review Committee for a formal meeting on March 4, 2019.
- a. Applicants Susan Samson, Pam Gaines, Pat Corbett, Bryan McCoy, and Derret Kerner were present to represent the request.
  - b. Public testimony was received from John Amlin and Don Fern
  - c. Committee member Labrie moved to recommend approval the Minor Planned Unit Development and Site Layout Template with the following additional site specific conditions:
    - 1. Minor Planned Unit Development:
      - a. Landscaping shall be installed to break up parking and driveway areas. This condition shall be reviewed administratively.
      - b. The swinging gate noted in the application materials shall not be installed. This condition shall be reviewed administratively.
      - c. The landscape plan shall be amended to met the landscape buffer requirements of Garden City Code 8-4I. This condition shall be reviewed administratively.
      - d. Evergreen trees shown along E. 44<sup>th</sup> Street in the landscape plan shall be deciduous. This condition shall be reviewed administratively.
      - e. The sidewalk along E. 44<sup>th</sup> Street shall either be widened to 6.5 feet or the fence along E. 44<sup>th</sup> Street shall be moved back 1.5 feet. This condition shall be reviewed administratively.
      - f. The end gable on the east elevation facing E. 44<sup>th</sup> Street shall be enlarged to resemble a covered patio. This condition shall be reviewed administratively.
      - g. The public art proposed in the application materials shall be strengthened with landscape material in a horseshoe shape around the artwork. This condition shall be reviewed administratively.
    - 2. Site Layout Template:

- a. The site layout template condition concerning specific site layout template items should read “Items such as the storage structure, patio, and pergola shall be removed from the site layout template”.
  - b. An additional condition on the site layout template should read “The specific analysis shall be replaced with a general analysis of the template”.
  - d. Committee member Hurd seconded. The motion carried unanimously.
13. A copy of the application and plans was transmitted to interested and affected public agencies and written comments were received from:
- a. None
14. Public comments were received from :
- a. None
15. The record contains:
- a. Application Materials
  - b. Letter of Application Acceptance
  - c. Agency Review Transmittal
  - d. Staff report, and referenced materials
  - e. Design Committee Recommendation
  - f. Agency Comments
16. The application was received December 21, 2018. Notification of application acceptance and completion was sent to the applicant within 30 days of receipt of the application.
17. A transmittal to other agencies including notice, application and other documents was sent on January 16, 2019 more than fifteen days prior to the public hearing on March 4, 2019.
18. The following sections of the Garden City Municipal Code apply to this proposal:

<b>GCC 8-6B-8 MINOR PLANNED UNIT DEVELOPMENT – SITE LAYOUT TEMPLATE: REQUIRED FINDINGS</b>			
Conclusion			Standard
Compliant	Not Compliant	Not Applicable to this Application	
X			<b>Standard:</b> Recommendation of the Design Committee <b>Explanation: The Design Committee recommended approval of the Site Layout Template.</b>
X			The layout is in conformity with the purpose and intent of this article and the

			City's Comprehensive Plan.
			<b>Explanation: The layout is in conformity with the intent and purpose of the Minor Planned Unit Development ordinance and the City's Comprehensive Plan.</b>
X			The layout demonstrates innovation and creativity in residential lot development.
			<b>Explanation: The layout demonstrates innovation and creativity through a unique site plan and connectivity opportunities.</b>
X			The layout creates usable open space areas and the opportunity to create a sense of place and neighborhood on a site.
			<b>Explanation: Usable open space is provided in a separate open space area in the development.</b>
X			The layout could provide for a variety of housing products that respond to changing demographics and housing needs including cottages, compact housing, residential courts, co-housing, and attached units.
			<b>Explanation: The layout can respond to changing demographics and housing needs through smaller building footprints and adjustments to outdoor areas.</b>
X			The layout provides for interconnectivity within blocks and between lots of record.
			<b>Explanation: Future interconnectivity is possible with adjoining property by possible extension of the driveway.</b>
X			The layout creates an incentive for residential development that is designed with consideration for future development on adjoining lots and for combining lots of record.
			<b>Explanation: The layout creates an incentive for future residential development by enabling future</b>

			connectivity with other properties and through smaller unit sizes.
--	--	--	--

<b>GCC 8-6B-8 MINOR PLANNED UNIT DEVELOPMENT – REQUIRED FINDINGS</b>			
Conclusion			
Compliant	Not Compliant	Not Applicable to this Application	Standard
X			<p><b>Standard:</b> The minor PUD is in general conformance with an adopted site layout template and any deviations are minor as defined in this section.</p> <p><b>Explanation: The minor PUD is in general conformance with the Site Layout Template. Deviations from the template have not been requested.</b></p>
X			<p>The minor PUD meets all findings for a site layout template as set forth in this subsection G.</p> <p><b>Explanation: The minor PUD, as conditioned, meets all required findings of this ordinance.</b></p>
X			<p>The minor PUD complies with requirements of the city and other agencies with jurisdiction.</p> <p><b>Explanation: The minor PUD is required by the conditions of approval to comply with city and agency requirements.</b></p>
X			<p>The minor PUD, as conditioned, has been designed to minimize impacts on adjacent properties.</p> <p><b>Explanation: The minor PUD, as conditioned, is specifically designed to minimize impacts on adjacent properties through building footprint placement, landscaping and outdoor spaces.</b></p>

## **CONCLUSIONS OF LAW**

The Design Committee reviewed the application with regard to Garden City Code Title 8, and based on the conditions required herein, concludes the application meet the standards of approval under **GCC 8-6B-8 Minor Planned Unit Development**

## **RECOMMENDATION**

WHEREFORE, based upon the foregoing Findings of Fact and Conclusions of Law contained herein, the Design Committee hereby recommends **APPROVAL** of the application subject to the following conditions:

### **Site Specific Requirements:**

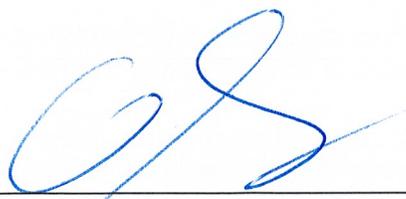
1. Site Layout Template:
  - a. The site layout template condition concerning specific site layout template items should read "Items such as the storage structure, patio, and pergola shall be removed from the site layout template".
  - b. An additional condition on the site layout template should read "The specific analysis shall be replaced with a general analysis of the template".
  
2. Minor Planned Unit Development:
  - a. Landscaping shall be installed to break up parking and driveway areas. This condition shall be reviewed administratively.
  - b. The swinging gate noted in the application materials shall not be installed. This condition shall be reviewed administratively.
  - c. The landscape plan shall be amended to met the landscape buffer requirements of Garden City Code 8-4I. This condition shall be reviewed administratively.
  - d. Evergreen trees shown along E. 44<sup>th</sup> Street in the landscape plan shall be deciduous. This condition shall be reviewed administratively.
  - e. The sidewalk along E. 44<sup>th</sup> Street shall either be widened to 6.5 feet or the fence along E. 44<sup>th</sup> Street shall be moved back 1.5 feet. This condition shall be reviewed administratively.
  - f. The end gable on the east elevation facing E. 44<sup>th</sup> Street shall be enlarged to resemble a covered patio. This condition shall be reviewed administratively.
  - g. The public art proposed in the application materials shall be strengthened with landscape material in a horseshoe shape around the artwork. This condition shall be reviewed administratively.

### **General Requirements**

1. Any changes in the design, construction, operation or use shall be brought to the immediate attention of the Planning Official for determination if the changes are in substantial conformance with the City's action. Any changes to the plans and specifications upon which this approval is based, other than those required by the above conditions, will require submittal of an application for modification and approval of that application prior to commencing any change.
2. This approval is only approval of the site layout template and the minor planned unit development. All other applicable permits must be obtained and completed prior to a certificate of compliance or occupancy.
3. The approval is specific to the application provided and reviewed. Final approval is based on substantial conformance. Any changes to the plans and specifications upon

- which this approval is based, other than those required by the above conditions, will require submittal of an application for modification and approval of that application prior to commencing any change.
4. Final approval is subject to the approval of other reviewing agencies and City Departments. Any more restrictive standards adopted and made applicable by any Transportation Authority, Fire Authority or other Federal, State or Local regulatory agencies shall prevail.
  5. All improvements and operations shall comply with applicable local, state and federal requirements and procedures whether specifically addressed in the analysis of this application or not. This shall include but not be limited to 8-4A General Provisions of Design and Development Regulations.
  6. Unobstructed easements, including but not limited to, drainage, water, and sewer easements shall be provided as required by the City Public Works or Planning Official.
  7. The property owner is responsible to maintain the site to edge of roadway asphalt.
  8. If there are any tree grates, they shall be widened to accommodate the growing tree trunk and prevent girdling of any trees planted in tree wells within sidewalks or other public right of way.
  9. Plant materials which exhibit evidence of insect pests, disease, and/or damage shall be appropriately treated to correct the problem. Dead and diseased plant materials shall be replaced.
  10. Where landscaping might impact motorist or pedestrian sight distance, shrubs shall be maintained below three feet (3') in height and trees shall be pruned so that the lowest branches will be at least seven feet (7') above the ground level.
  11. A three foot (3') clearance zone shall be maintained around the circumference of fire hydrants.
  12. Retain and protect existing trees, vegetation, and native soils and integrate these features into the overall landscape plan.
  13. If trees are staked, the stakes shall be removed within twelve (12) months to prevent damage to the tree.
  14. All planting areas that border driveways, parking lots, and other vehicle use areas shall be protected by curbing, wheel stops, or other approved protective devices.
  15. Trees shall be planted at least three feet (3') from curbs, sidewalks, driveways and other hard surfaces to buffer from stress caused by vehicle overhang and compacted soils, or planted with sufficient space to provide for the full maturity of the particular tree species. All other plant material, except sod or ground cover, shall be set back a minimum of one foot (1') from any curb edge to protect from vehicle overhang and mechanical damage.
  16. The landscape installation shall stabilize all soil and slopes.
  17. All required landscaping shall be provided with an automatically controlled irrigation system in conformance with the best management practices for automatic irrigation systems.
  18. This approval is for this application only. Additional permits, licenses and approvals may be necessary.
  19. Property maintenance standards shall be maintained as required by Garden City Code.
  20. The property owner is responsible for the maintenance of all landscaping and screening devices required.
  21. Cross-Connections: All cross-connections between the domestic water lines and the irrigation water lines shall be in accord with the City's adopted standards, specifications and ordinances.
  22. Materials submitted after the decision shall not be considered part of the record for this decision. If additional materials or information is submitted after the decision the

- application may be remanded to the decision making body during which time the decision shall be stayed provided that there is no immediate threat to life or safety.
23. No change in terms and conditions of this approval shall be valid unless in writing and signed by the applicant or his or her authorized representative and an authorized representative of the reviewing agency. The burden shall be upon the applicant to obtain the written confirmation of any change and not upon Garden City.
  24. The Commission may revoke a conditional use permit for any of the following: A) Violation of Garden City Code or State or Federal Laws; B) Failure to abide by any conditions of this permit; C) Causing or allowing a nuisance as determined by Garden City Code, in connection with the use for which the permit is granted.
  25. Any violation of the conditions of this application is a criminal offence.
  26. The Commission may revoke a conditional use permit for any of the following: A) Violation of Garden City Code or State or Federal Laws; B) Failure to abide by any conditions of this permit; C) Causing or allowing a nuisance as determined by Garden City Code, in connection with the use for which the permit is granted.
  27. A certificate of occupancy or an application for a building permit shall be considered commencement of the use.
  28. All previous uses are null and void unless otherwise conditioned.
  29. This approval shall become null and void if a building permit or certificate of occupancy has not been issued within one year of the approval. An extension may be granted by the Commission upon findings that the application and or the applicable City regulations have not changed. Such extension shall be applied for sixty (60) days prior to the expiration date for the original approval; only one extension of not more than three hundred sixty five (365) days shall be granted.
  30. Should there be a change in use, there is a clear intent to cease the use, or the use is discontinued for more than one year without written documentation submitted to the City, legal noticing, and property posting indicating intent to continue the use, this approval shall become void.
  31. There is a 10 day right to appeal to City Council. An appeal shall be made on the form provided by the City and filed with the City Clerk within ten (10) days after the action of the decision.
  32. Final decisions are subject to judicial review pursuant to The Idaho Administrative Procedures Act, Chapter 65 Title 67 Idaho Code.
  33. Pursuant to Idaho Code, a request for reconsideration must be submitted within 14 days of the final decision and prior to judicial review. The written request must identify specific deficiencies in the decision for which reconsideration is sought.
  34. A takings analysis pursuant to Idaho Code may be requested on final decisions.
  35. If any term or provision of this decision, to any extent, is held invalid or unenforceable, the remaining terms and provisions hereof shall not be affected thereby, but each such remaining term and provision shall be valid and enforced to the fullest extent permitted by law.



4/10/2019  
Date

This signature verifies that this decision document has been reviewed and approved by the Design Review Committee

BEFORE THE DESIGN REVIEW COMMITTEE  
GARDEN CITY, ADA COUNTY, IDAHO

In the Matter of:	)	MPUDFY2019-1
Design Review	)	
Fourplex Multi-Family Building	)	FINDINGS OF FACT,
322 E. 44 <sup>th</sup> St.	)	CONCLUSIONS OF LAW
Garden City, Ada County, Idaho	)	AND DECISION
<hr/>		

THIS MATTER, came before the Garden City Design Review Committee for consideration on January 22, 2019 and March 4, 2019. The Design Review Committee reviewed the application and materials submitted. Based on the evidence presented, pursuant to Garden City Code Table 8-6A-1, the Design Review Committee makes the following Findings of Fact, Conclusions of Law and Decision:

**FINDINGS OF FACT**

1. The applicant is Pam Gaines with neUdesign Architecture.
2. The property owner is Susan G. Samson.
3. The location of the project is 322 E. 44<sup>th</sup> St., Garden City, ID. Assigned Ada County Parcel No.: R2734500512.
4. The application is for a design review new construction of a structure.
5. The applicant is also requesting a site layout template and a minor planned unit development approval, concurrent with the design review application.
6. The project is located in the Garden City R-3 Zoning District.
7. The project is not located in the floodplain according to the 2003 FIRM.
8. The project is located in the floodplain according to the 2017 FIS.
9. The applicant did not meet with the Design Review Committee for a pre-application consultation.
10. The application was received December 21<sup>st</sup>, 2018. The application was scheduled for a meeting on January 22<sup>nd</sup>, 2019.
11. Due to noncompliance with Garden City Code 8-6A-7 (Public Hearing Notice) and Garden City Code 8-6B-3 (Design Review Committee), a formal hearing could not be held on the application. Pursuant to Garden City Code 8-6B-3 (Design Review Committee), the required pre-application meeting was held on January 22, 2019.
12. The application was scheduled for a hearing on March 4, 2019.
13. A copy of the application was transmitted to affected public agencies on January 16, 2019 and written comments were received from:
  - a. Garden City Engineer
14. The applicant met with the Design Review Committee on January 22<sup>nd</sup>, 2019 for a pre-application meeting.
  - a. Applicant Susan Samson, Pam Gains, Pat Corbett, Brian McCoy, and Derret Kerner was present to represent the request.

- b. Interested Parties John Amlin and Don Fern were present at the meeting. They noted concerns related to access and utilities.
  - c. The Committee provided the following feedback:
    - i. Questions regarding the application itself, application timelines, and administrative matters should be referred to Development Services staff.
    - ii. Landscape buffers are required by GCC 8-4I-5 to be adjacent to property lines shared by single family dwelling uses. The Committee recognized a discrepancy between the required 10' buffer width and the required 6' vegetation width. The Committee interpreted this to mean a 6' wide landscape strip with 4' of pavers or similar hardscape.
    - iii. The façade along E. 44<sup>th</sup> Street needed to be changed to show a front door along the street.
    - iv. The proposed sidewalk should be realigned to be completely detached, as required by GCC 8-4E and the Garden City Sidewalk Policy.
    - v. Pedestrian connectivity to the sidewalk is required by GCC 8-4E.
    - vi. HVAC equipment is required to be screened per GCC 8-4A.
    - vii. A draft site maintenance agreement is required per GCC 8-2C-15.
    - viii. Quality of life amenities are required per GCC 8-2C-15.
    - ix. A new fencing ordinance is being enacted and could affect the proposed location and height of fencing on the property.
    - x. The garages should not dominate the building facades, but integrate better into the overall design.
15. The applicant provided verification that the property was posted on February 18, 2019, ten or more days prior to the meeting.
16. The applicant met with the Design Review Committee again on March 4, 2019. All Interested Parties were notified of the meeting on February 21, 2019.
- a. Applicants Susan Samson, Pam Gaines, Pat Corbett, Bryan McCoy, and Derret Kerner were present to represent the request.
  - b. John Amlin and Don Fern testified concerning access and utilities.
  - c. Committee member Labrie moved to approve the Design Review for the structure as presented.
  - d. Committee member Hurd seconded the motion.
  - e. The motion carried unanimously.
17. The record contains:
- a. Application Materials including all revisions.
  - b. Staff Report;
  - c. Design Review Findings of Fact, Conclusions of Law and Decision;
  - d. Design Review Committee Minutes.
18. The following standards apply to this proposal:
- a. Title 8-Chapter 4, Article A: "General Provisions;"
  - b. Title 8-Chapter 4, Article C: "Design Provisions for Nonresidential Structures;"
  - c. Title 8-Chapter 4, Article D: "Parking and Off Street Loading Provisions;"
  - d. Title 8-Chapter 4 Article E: "Transportation and Connectivity Provisions;"
  - e. Title 8-Chapter 4, Article I: "Landscaping and Tree Protection Provisions."

19. The applicant provided the following application information:

<b>Materials Provided Per GCC Table 8-6A-2 Required Application Information</b>			
Provided			
Yes	No	NA	
X			Compliance Statement
X			Neighborhood Map
X			Site Plan
X			Landscape Plan
X			Schematic Drawings
X			Lighting Plan
X			Topographic Survey
X			Grading Plan
X			Will Serve
X			Verification that address is an Ada County Approved Address

20. In order to approve a design review application and based on the standards set forth in chapter 4, article C of this title, the design review committee shall make the following findings:

<b>GCC 8-6B-3 DESIGN REVIEW COMMITTEE: REQUIRED FINDINGS</b>			
Conclusion			
Compliant	Not Compliant	Not Applicable to this Application	Standard
X			<p><b>Standard:</b> The proposed design is in conformance with the purpose of the zoning district and all dimensional regulations of that district.</p> <p><b>Explanation:</b> The proposed design is in conformance with the purpose of the R-3 Medium Density Zoning District. The dimensional regulations of the district are superseded by Garden City Code 8-6B-8 (Minor Planned Unit Development).</p>
X			<p>The proposed design adheres to standards for the protection of health, safety, and general welfare.</p> <p><b>Explanation:</b> The proposed design adheres to applicable Garden City Code to protect the health, safety and</p>

			<b>general welfare.</b>
X			<p>The proposed design creates a sense of place and contributes to the uniqueness of the different districts and neighborhoods within the city.</p> <p><b>Explanation: The proposed design creates a sense of place through the structures design and is unique when compared to adjacent properties, districts, and neighborhoods in the City.</b></p>
X			<p>The proposed design improves the accessibility of development to non-motorized and public modes of transportation.</p> <p><b>Explanation: The proposed design, through the Minor Planned Unit Development ordinance, creates and improves non-motorized transportation to the site.</b></p>
X			<p>The proposed design supports a development pattern in nodes rather than strip commercial along arterial corridors.</p> <p><b>Explanation: The proposed design contributes to a node like development pattern through density and building footprint.</b></p>
X			<p>The proposed design supports a compact development pattern that enables intensification of development and</p>

			changes over time.
			<b>Explanation: The proposed design is intended to be compact. The property is large enough to create additional development over time.</b>
X			The proposed design provides outdoor spaces and landscaping compatible with the southwest Idaho climatic conditions and encourages pedestrian activity.
			<b>Explanation: The landscape plan demonstrates compatible landscaping and encourages pedestrian activity.</b>

21. On March 4, 2019 the Design Review Committee moved to approve the application in accordance with Garden City Code 8-6A-5 Administrative Process with Notice.
- a. Notice of the Design Review Committee’s intent to approve the application was mailed to all property owners within 300’ radius of the property on March 14, 2019 in compliance with the public notice requirements under GCC 8-6A-5.
  - b. A public hearing was set with the Garden City Council for April 9, 2019.
  - c. No objections were received related to the design of the application within 10 days of the notice.
  - d. The hearing was canceled and the application was approved.

**CONCLUSIONS OF LAW**

The Design Review Committee reviewed the application with regard to Garden City Code, Title 8, Chapter 4, and based on the conditions required herein, concludes the application meets the standards of approval under GCC 8-4C and the required findings under 8-6B-3D.

**DECISION**

WHEREFORE, based upon the foregoing Findings of Fact and Conclusions of Law contained herein, the Design Review Committee hereby **APPROVES** the application, subject to the following conditions:

**Site Specific Requirements:**

1. Materials submitted shall comply with those that were approved. The approved documents include:
  - a. Compliance Statement, Site Plan, Landscape Plan, Schematic Drawings (Building Elevations), and Lighting Plan reviewed on March 4, 2019 and subsequently approved.
2. The Grading Plan will be reviewed for compliance with the building permit application.
3. The site layout template and minor PUD approval associated with this application shall be complied with.

**General Requirements:**

1. This review and approval is specific to the design of the project. Final approval is subject to the approval of other reviewing agencies. Any more restrictive standards adopted and made applicable by any Transportation Authority, Fire Authority or other Federal, State or Local regulatory agencies shall prevail. This approval shall not annul any portion of Garden City Code or other applicable regulation unless specifically noted.
2. Any changes to the plans and specifications upon which this approval is based, other than those required by the above conditions, will require submittal of an application for modification and approval of that application prior to commencing any change.
3. All improvements and operations shall comply with applicable local, state and federal requirements and procedures whether specifically addressed in the analysis of this application or not. This shall include but not be limited to 8-4A General Provisions of Design and Development Regulations; 8-4I-3 and Landscape Maintenance Provisions 8-4I-9; and Standards for Transportation and Connectivity Provisions identified in 8-4E.
4. All utilities on the site, including telephone, cable television, and electrical systems shall be underground and in compliance with Garden City Code 8-4A-8.
5. Driveway openings in curbs shall comply with the requirements of the Transportation Authority. The driveway shall be straight or provide a 28-foot inside and 48-foot outside turning radius.
6. Plant materials which exhibit evidence of insect pests, disease, and/or damage shall be appropriately treated to correct the problem. Dead plant materials shall be replaced.
7. Where landscaping might impact motorist or pedestrian sight distance, shrubs shall be maintained below three feet (3') in height and trees shall be pruned so that the lowest branches will be at least seven feet (7') above the ground level.
8. A three foot (3') clearance zone shall be maintained around the circumference of fire hydrants.
9. Retain and protect existing trees, vegetation, and native soils and integrate these features into the overall landscape plan.
10. Required landscape areas shall be at least seventy percent (70%) covered with vegetation at maturity, with mulch used under and around the plants. Use of mulch, organic or rock as the only ground cover in required planting areas is prohibited.

11. If trees are staked, the stakes shall be removed within twelve (12) months to prevent damage to the tree.
12. All planting areas that border driveways, parking lots, and other vehicle use areas shall be protected by curbing, wheel stops, or other approved protective devices.
13. Trees shall be planted at least three feet (3') from curbs, sidewalks, driveways and other hard surfaces to buffer from stress caused by vehicle overhang and compacted soils, or planted with sufficient space to provide for the full maturity of the particular tree species.
14. All other plant material, except sod or ground cover, shall be set back a minimum of one foot (1') from any curb edge to protect from vehicle overhang and mechanical damage.
15. The landscape installation shall stabilize all soil and slopes.
16. All required landscaping shall be provided with an automatically controlled irrigation system in conformance with the best management practices for automatic irrigation systems.
17. Demonstrate compliance with 8-4G-1 prior to certificate of occupancies.
18. This approval is for this application only. Additional permits, licenses and approvals may be necessary. All other applicable permits must be obtained prior to a Certificate of Occupancy.
19. Property Maintenance Standards shall be maintained as required by Garden City Code.
20. The property owner is responsible for the maintenance of all landscaping and screening devices required.
21. System Installation Required: Each and every lot within the subdivision shall have underground pressurized irrigation water. The pressurized irrigation system shall be constructed and installed at the same time as the domestic water lines, but shall not necessarily be in the same trenches.
22. Materials submitted after the decision shall not be considered part of the record for this decision. If additional materials or information is submitted after the decision the application may be remanded to the decision making body during which time the decision shall be stayed provided that there is no immediate threat to life or safety.
23. Any changes in the design, construction, operation or use shall be brought to the immediate attention of the Planning Official for determination if the changes are in substantial conformance with the City's action. Any modification to approved plans shall require submittal and approval of these modifications prior to construction. Final approval is based on substantial conformance with the plans reviewed and approved.
24. Any substantial changes to the design shall be reviewed by the Design Review Committee for compliance with Garden City Code 8-4. Any other changes that are not in substantial conformance with the approval shall be remanded to the decision-making body.
25. Occupying the site prior to Certificate of Occupancy is a criminal offense.
26. There is a 10 day right to appeal to City Council. The applicant or any interested parties may appeal the decision or a part of the decision. An appeal shall be made

on the form provided by the City and filed with the City Clerk within ten (10) days after the action of the decision.

27. Final decisions are subject to judicial review pursuant to The Idaho Administrative Procedures Act, Chapter 65 Title 67 Idaho Code.
28. Pursuant to Idaho Code, a request for reconsideration must be submitted within 14 days of the final decision and prior to judicial review. The written request must identify specific deficiencies in the decision for which reconsideration is sought.
29. A takings analysis pursuant to Idaho Code may be requested on final decisions.
30. If any term or provision of this decision, to any extent, is held invalid or unenforceable, the remaining terms and provisions hereof shall not be affected thereby, but each such remaining term and provision shall be valid and enforced to the fullest extent permitted by law.



4/10/19

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This signature verifies that this decision document has been reviewed and approved by the Design Review Committee

Date

11.07.18



Attn: Garden City Planning Department  
Garden City City Hall  
6015 N Glenwood St, Garden City, ID 83714

Re: S & S Townhomes  
Garden City, 83714

#### Design Review Letter:

Near the corner of 44<sup>th</sup> St. and Adams St. is a vacant lot zoned R-3. The surrounding lots are all single family residential. The intended development for this property would be residential units with the idea of creating some diversity and helping with the gentrification of the area since that section of Garden City is undergoing some renovations and new additions.

The building itself within this development will add to the visual interest and connectivity, both from vehicular and pedestrian viewpoints – eliminating an idle overgrown parcel of land that is highly visible from the street and from the homes abutting it. The structure will include a 1-story dwelling unit with attached garages and a storage shed. The complex building will have undulating facades – composed of materials such as batten board, cultured stone, cementitious siding, wood elements, etc. – with projections and recessions, all working to add to the tangible.

Internal driveway, sidewalks, parking, and a covered area will be developed – connecting the site to 44<sup>th</sup> street. The development will provide diverse housing, minimize sprawl, yet still address the major street it's accessed from. We have given thoughtful planning to site amenities and are trying to design a sense of place and home.

It is our intent to have some varying features so as to establish the development as it's own destination point or landmark while still ensuring the character of the entire community is linked together. Additionally, we have addressed all four sides of the building to have similar design quality (not simply the front facade). With wall façade modulations, stone accents, various fenestration assemblies, etc., we feel the beauty of the building is well within the guidelines criteria of the Garden City's Plan. However, we will address each item below as it might relate to this building:

#### 1. Architectural Character:

- a. Facades - there are enhancements such as changes in plane with recessed entries, popouts, etc. We have varied the color and materials as well.
- b. Primary Public Entrances - allowing the pronounced portions of the building to be the main entrances creates visual understanding as soon as one looks at the building as to where the entrances can be found on each side of the building. It enhances importance and creates a building language.

- c. Roof Lines - wall undulations accomplishes, in an aesthetic way, variation that allows the buildings to show different forms as one travels by, particularly at the entrance of the building.
  - d. Pattern Variations - the differences in wall undulations, materials and colors creates a cohesive tapestry of natural elements.
  - e. Fenestration - natural light is important to us, thus we have located numerous windows around the perimeter of the building and on the roof of interior units. They also serve as a connection to the outside.
  - f. Mechanical – the mechanical equipment will be located on the ground, but screened from the street and neighboring building views with various plantings/shrubbery or opaque fencing if necessary.
2. Color and Materials – Uses a color palette that has cool neutral colors that come together to compliment the surrounding area. The well composed mixture of cultured stone to batten board, combined with a complimentary colored asphalt shingle creates an attractive building with variations in textures, colors and materials - similar (and even improved) to other attractive buildings in the Garden City area.
3. Site Plan and Building Layout:
- a. Building Location – as it pertains to the nearby streets and neighboring homes
  - b. Parking areas - same note as above
  - c. Access – to the east of the property for main site access.
  - d. Street Layout and Internal Circulation – as pertains to the dwelling units and neighboring streets
  - e. Pedestrian Walkways and Facilities – a concrete sidewalk will be added along parking allowing for multiple access to the building as well as connecting to the street.

#### Cohesive Design –

This building is similar in style to other newer buildings in the neighborhood. Connectivity is present through unified use of drives and walks through the area. Our project relates well to the overall character and intent of Garden City's design objectives and shall have a positive impact on the area by fulfilling needs. It is our goal to make this one of the premier places for people to live, as our great city continues to expand in all directions.



neUdesign  
ARCHITECTURE  
725 E 2nd St  
Meridian, ID 83642  
208.884.2824

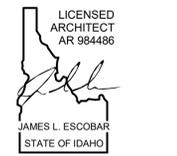
CONSULTANT

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CLIENT:  
**Sue Samson**  
**S & S Townhomes**  
322 E. 44th St. Garden City, ID 83714

PROFESSIONAL SEAL



NO. DESCRIPTION DATE

Site Plan

SHEET

A.101

DATE 08.02.18  
JOB NUMBER 18090  
DRAWN BY Author

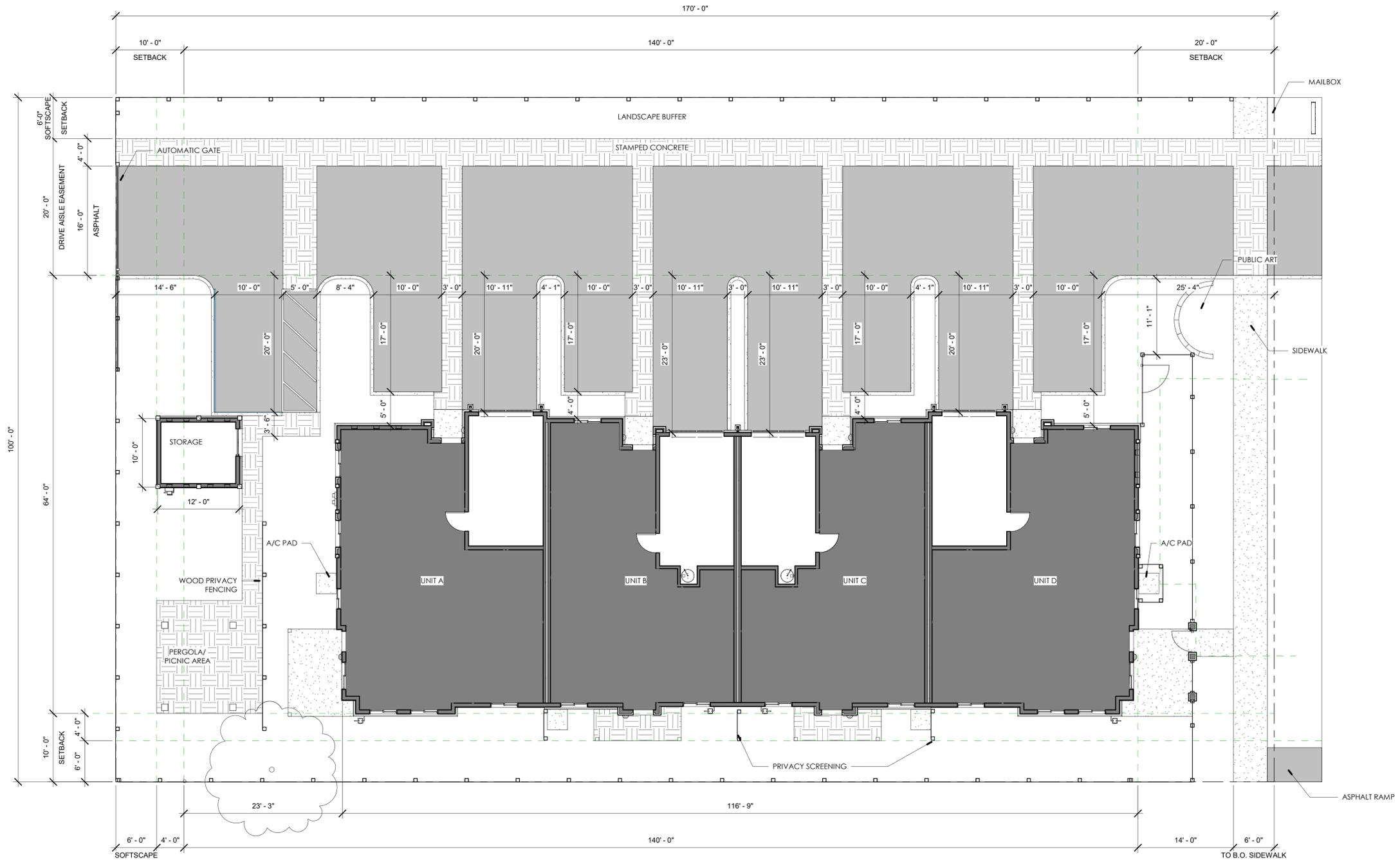
**SITE ANALYSIS:**

SITE CHARACTERISTICS  
ZONING DISTRICT: R-3  
LOT AREA: 17,000 sf  
BUILDING AREA: 4,830 sf  
HARDSCAPE: 6,882 sf  
LANDSCAPE: 5,288 sf

PARKING STALLS:  
(8-6B-8-D-3 TABLE h)  
CALCULATION:  $700-1000 \text{ SF } 1.5 / 2 = 3 \text{ STALLS}$   
 $1000+ \text{ SF } 2 / 2 = 4 \text{ STALLS}$

REQUIRED STANDARD STALLS: 7  
REQUIRED ADA STALLS: 1

PROVIDED STANDARD STALLS: 9  
PROVIDED ADA STALLS: 1



1 Site NEW  
1/8" = 1'-0"





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725 E 2nd St  
Meridian, ID 83642  
208.884.2824

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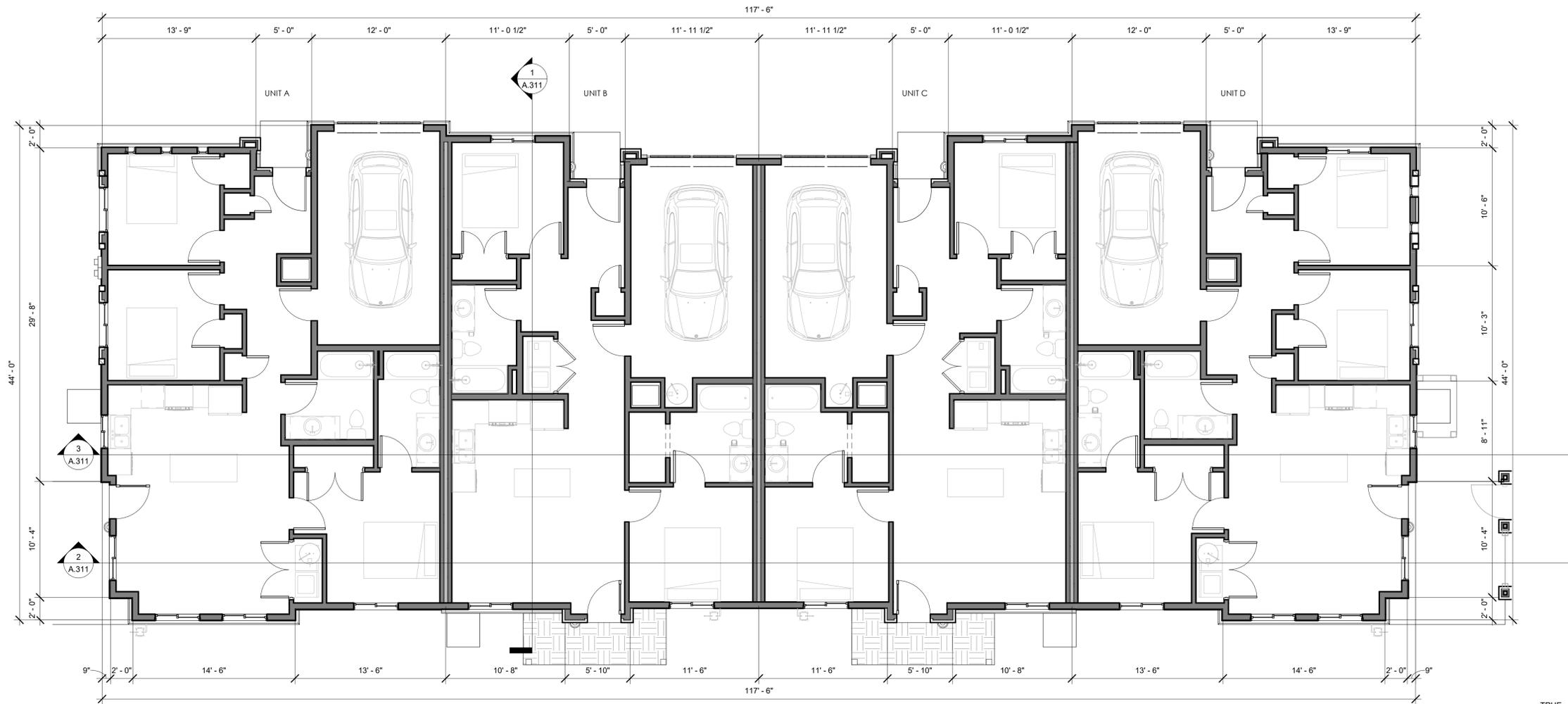
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PROFESSIONAL SEAL



NO.	DESCRIPTION	DATE
A	Schematic Layout	11.21.16



1 Fourplex Floor Plan  
3/16" = 1'-0"



AREA TABLE

	2 BEDROOM	3 BEDROOM
LIVING	906 SF	1051 SF
GARAGE	231 SF	227 SF



2 FINISH Floor  
1/16" = 1'-0"

Floor Plan

SHEET

A.111

DATE 08.02.18  
JOB NUMBER 18090  
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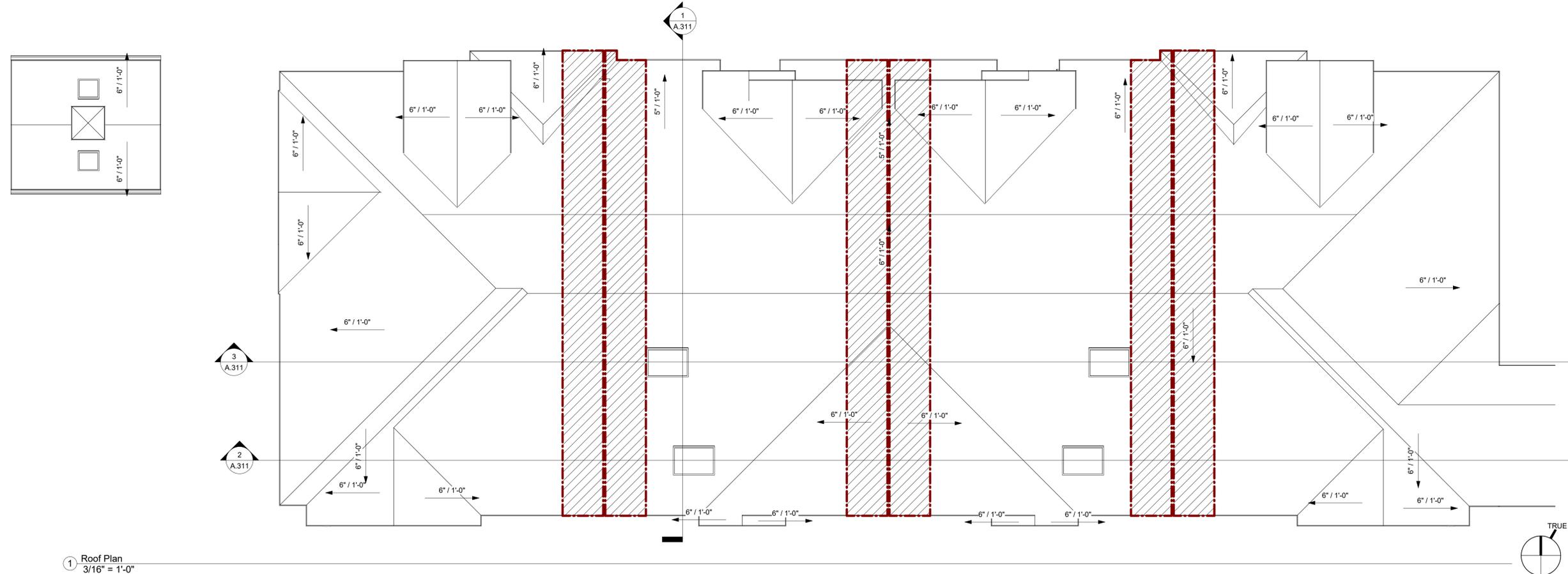
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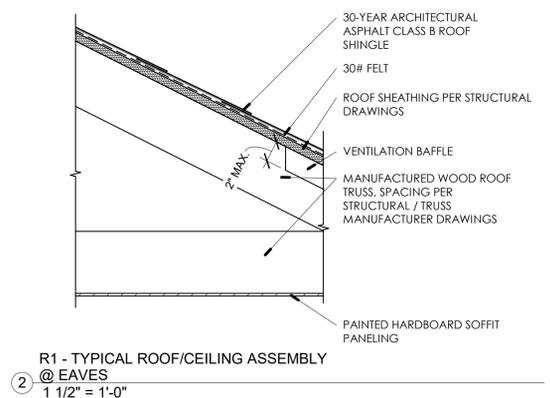
PROFESSIONAL SEAL



NO.	DESCRIPTION	DATE



1 Roof Plan  
3/16" = 1'-0"



2 R1 - TYPICAL ROOF/CEILING ASSEMBLY  
@ EAVES  
1 1/2" = 1'-0"

Roof Plan

SHEET

A.131

DATE 08.02.18  
JOB NUMBER 18090  
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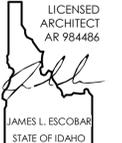
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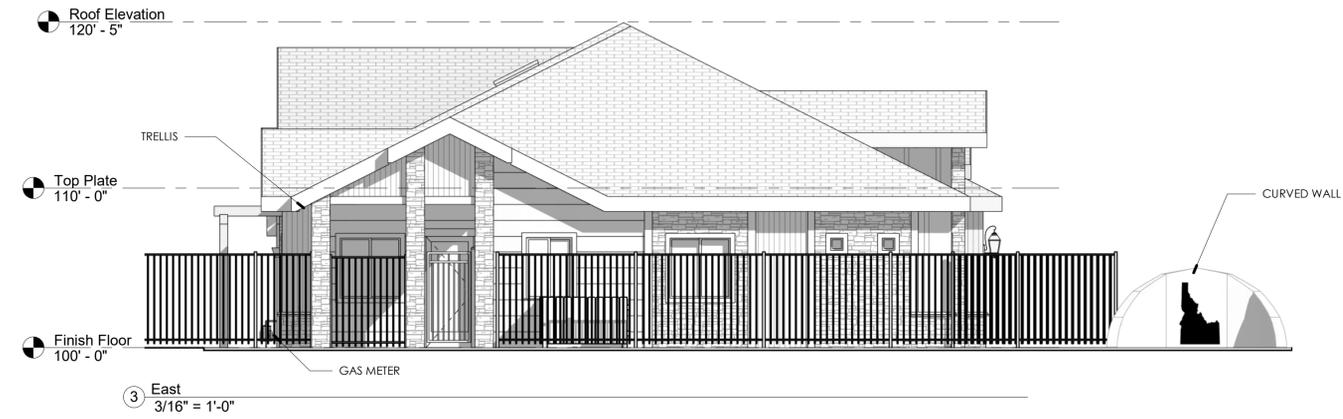
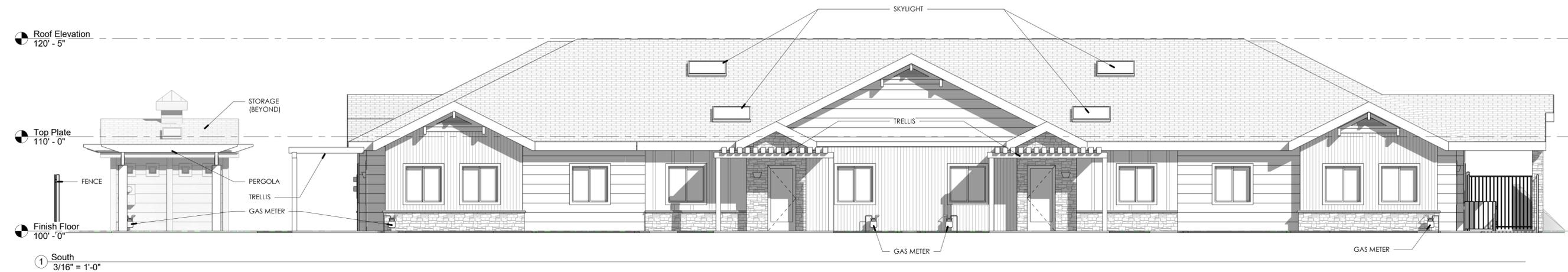
NO.	DESCRIPTION	DATE

Exterior Elevations

SHEET

A.211

DATE 08.02.18  
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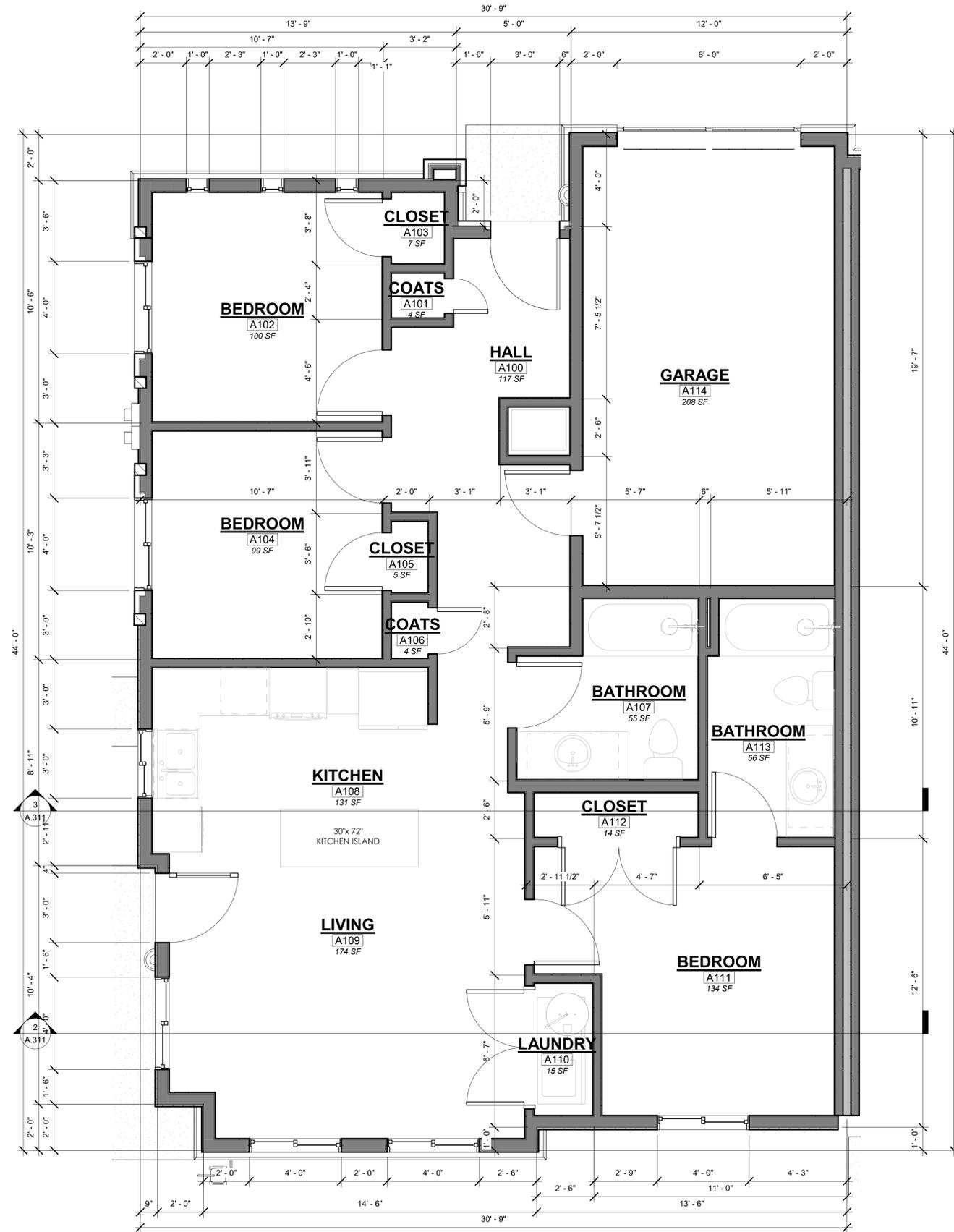
NO. DESCRIPTION DATE

Unit A/D  
Enlarged  
Plan

SHEET

A.411

DATE 08.02.18  
JOB NUMBER 18090  
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① UNIT TYPE A/D - FIRST FLOOR  
3/8" = 1'-0"



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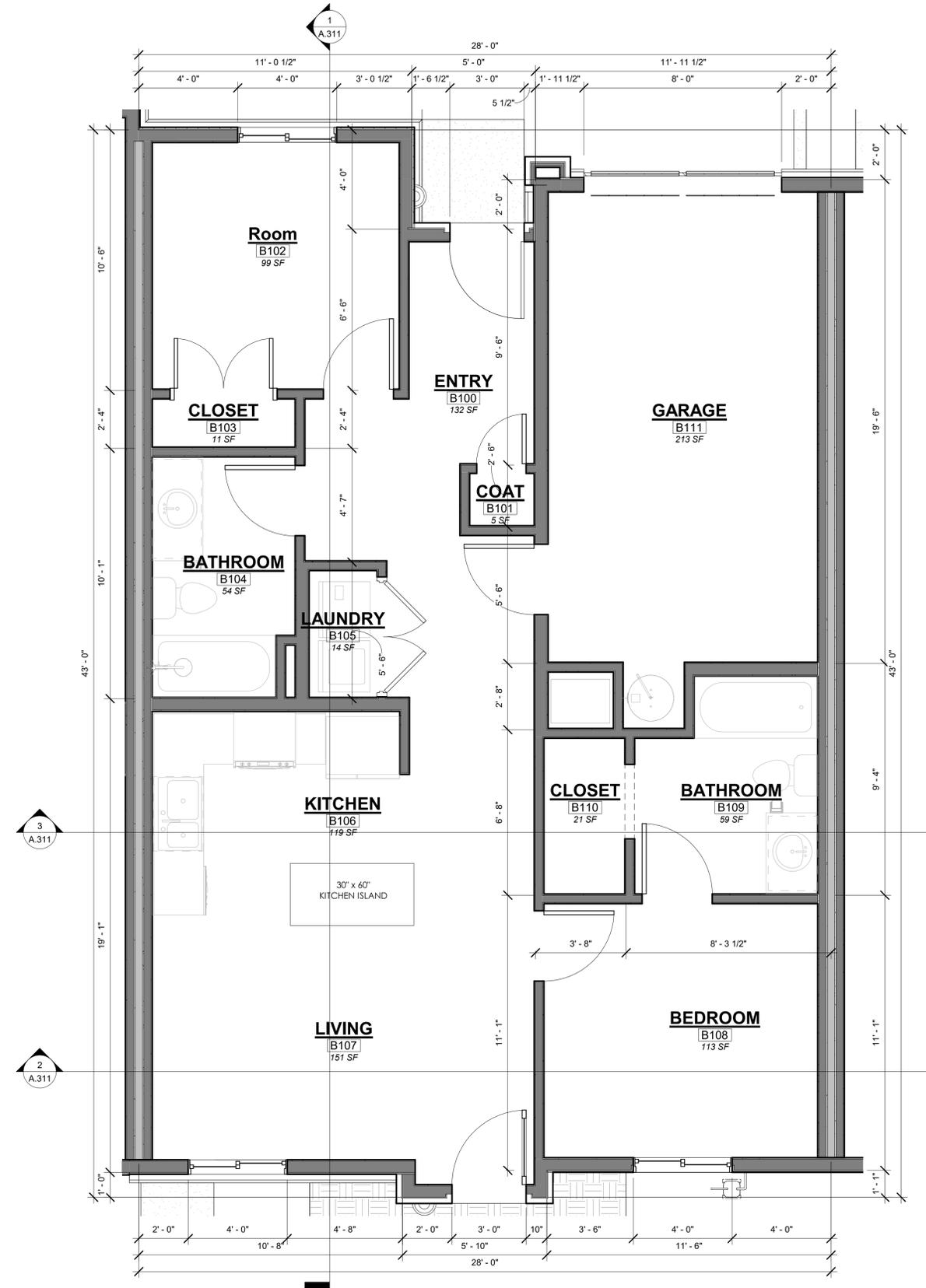
NO.	DESCRIPTION	DATE

Unit B/C  
Enlarged  
Plan

SHEET

A.412

DATE 08.02.18  
JOB NUMBER 18090  
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1 UNIT TYPE B/C - FIRST FLOOR  
3/8" = 1'-0"



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CLIENT:  
**KYLE ENZLER**  
**Knob Hill - Storage Facility**  
USTICK AND MAPLE GROVE

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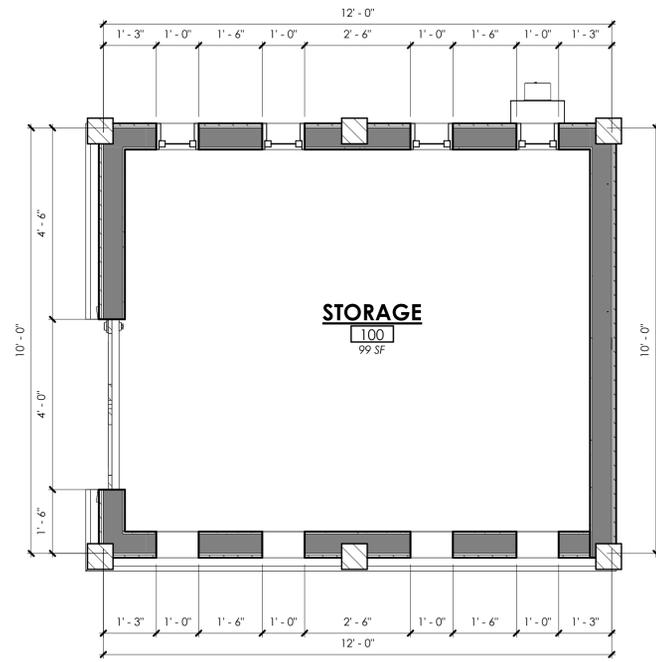
**NOT FOR PERMIT**

NO.	DESCRIPTION	DATE

Storage  
Shed

A.501

DATE: 2.13.2017  
JOB NUMBER: 16156  
DRAWN BY: Author



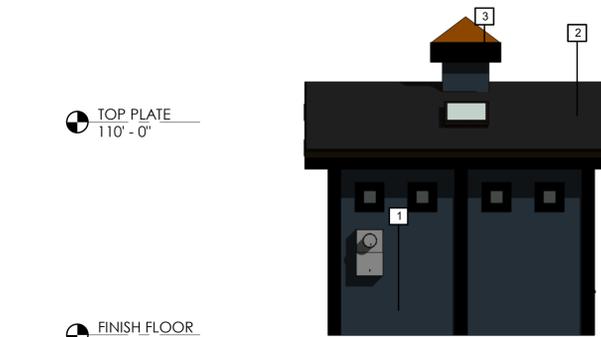
**1** Floor Plan  
1/2" = 1'-0"

**EXTERIOR FINISH LEGEND**

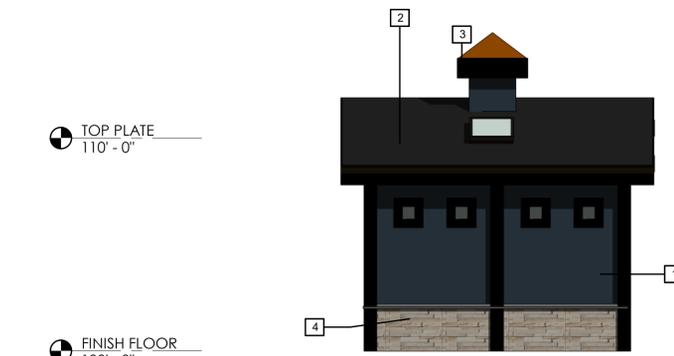
- 1** HARDIPLANK CEMENTITIOUS LAP SIDING - 8" LAP PLANKS  
PAINT INFO:  
MFR: SHERWIN WILLIAMS  
COLOR NAME: JAGGED GRANITE  
COLOR NO: HGSW 1452
- 2** 30 YEAR ARCHITECTURAL ROOFING SHINGLE - OWENS CORNING "PACIFIC WAVE"
- 3** TRIM: HARDI-FASCIA 1X8 DOORS/WINDOWS 1X4 ACENT BAND 1X12  
PAINT INFO:  
MFR: SHERWIN WILLIAMS  
COLOR NAME: BLACK OF NIGHT  
COLOR NO: SW 6993
- 4** STONE SIDING  
MFR: CULTURED STONE  
COLLECTION: PRO-FIT LEDGESTONE  
NAME: SOUTHWEST BLEND
- 5** DOOR COLOR  
MFR: SHERWIN WILLIAMS  
COLOR NAME: MAJESTIC PURPLE  
COLOR NO: SW 6545



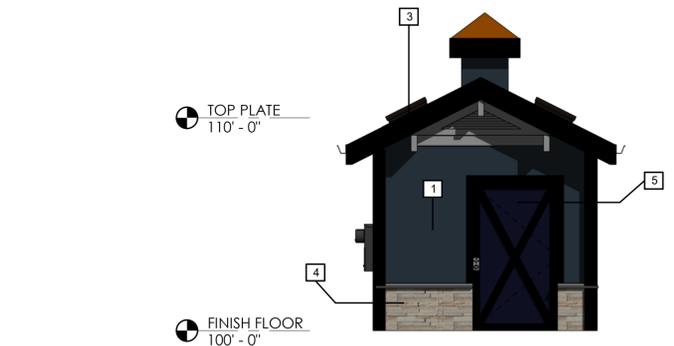
**6** East Colored  
1/4" = 1'-0"



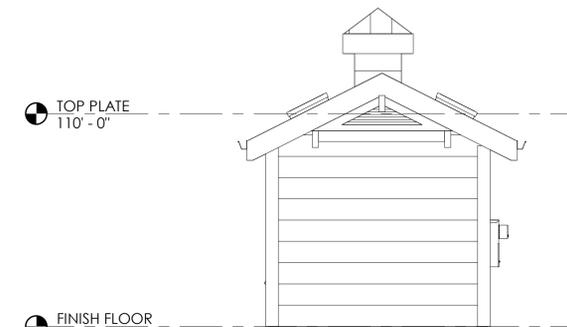
**7** North Colored  
1/4" = 1'-0"



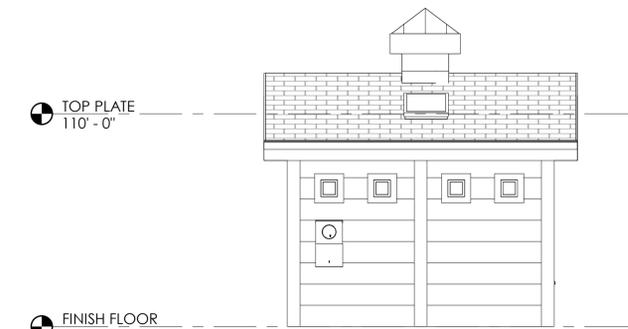
**8** South Colored  
1/4" = 1'-0"



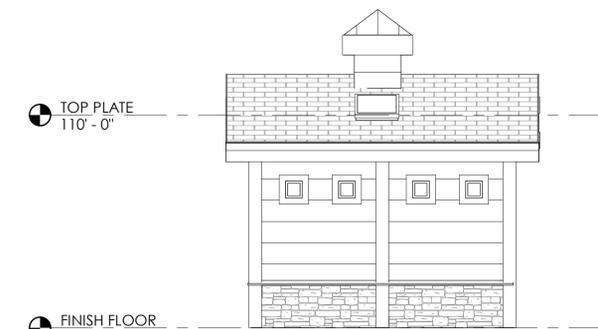
**9** West Colored  
1/4" = 1'-0"



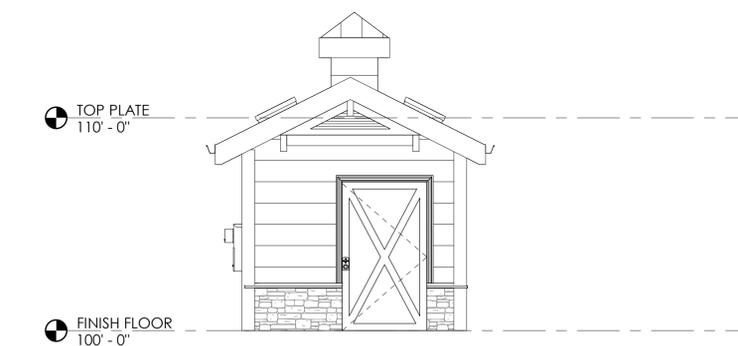
**2** East  
1/4" = 1'-0"



**3** North  
1/4" = 1'-0"



**4** South  
1/4" = 1'-0"



**5** West  
1/4" = 1'-0"

# CODE ANALYSIS

## PROJECT NARRATIVE

THIS PROJECT CONSISTS OF A SINGLE 4,830 SF FOUR-PLEX TOWNHOUSE BUILDING, WITH INTEGRAL SINGLE CAR GARAGES, TYPE V-B CONSTRUCTION INCLUDING 2-HR DEMISING WALLS AND PRE-ENGINEERED TRUSSES. SITE AMENITIES INCLUDE COMMUNAL AREA W/ PERGOLA PICNIC AREA AND PUBLIC ART.

THIS PROJECT IS NOT FIRE SPRINKLED.

HVAC, PLUMBING AND ELECTRICAL SYSTEMS TO BE PROVIDED VIA DESIGN-BUILD SUBCONTRACTORS.

ZONING: R-3

## AREAS & OCCUPANT LOAD FACTORS:

TABLE 1004.1.1:	AREAS & OCCUPANT ANALYSIS:
RESIDENTIAL AREAS: 200 GROSS	PER UNIT A/D: 1,278sf / 200 = 6 OCCUPANTS
	PER UNIT B/C: 1,137sf / 200 = 6 OCCUPANTS
	TOTALS: 4,830sf 24 OCCUPANTS

**APPLICABLE CODES:** 2015 International Building Code (IBC)  
2015 International Fire Code (IFC)  
2015 International Residential Code (IRC)  
2015 International Energy Conservation Code (IECC)  
2012 International Mechanical Code (IMC)  
2012 International Fuel & Gas Code (IFGC)  
2017 Idaho State Plumbing Code (ISPC)  
2017 National Electrical Code (NEC)

**BASIC DESIGN CRITERIA:** Seismic Design Category C;  
Roof Snow Load 25 psf;  
Wind Load 115 mph, Exposure C per IBC;  
Frost Depth 24"

**OCCUPANCY GROUPS:** R-3 OCCUPANCY (RESIDENTIAL)  
(PER CHAPTER 3)

**NUMBER OF STORIES / BUILDING HEIGHT:** 1 STORY, +20' IN HEIGHT

**SQUARE FOOTAGE OF AREAS OF EXISTING CONSTRUCTION:** NOT APPLICABLE  
(PER ESTIMATED ANALYSIS)

**SQUARE FOOTAGE OF AREAS OF NEW CONSTRUCTION:** ACTUAL: 4,830 OF R OCCUPANCY  
(PER TABLE 506.2)

**ALLOWABLE AREAS BY OCCUPANCY & AREA INCREASES:**

**UNLIMITED AREAS:** NOT APPLICABLE

**TYPE OF CONSTRUCTION:** TYPE V-B

**FIRE RESISTIVE REQUIREMENTS:** 2-HR SEPARATION WALLS BETWEEN UNITS

**SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY:** FIRE PARTITIONS BETWEEN DWELLING UNITS

**OCCUPANT LOADS:** 24 OCCUPANTS - SEE NOTES ABOVE

**EXITS REQUIRED:** (1) REQUIRED PER UNIT, (2) PROVIDED PER UNIT

**AUTOMATIC SPRINKLER SYSTEM (FIRE ALARM):** NOT APPLICABLE

## PLUMBING FIXTURE COUNT FOR OCCUPANCY (per TABLE 2902.1):

ITEM:	REQUIRED PER UNIT (PROVIDED AMOUNT in PARENTHESIS PER EACH UNIT)
WATER CLOSETS:	1 REQUIRED (2 PROVIDED)
LAVATORIES:	1 REQUIRED (2 PROVIDED)
SHOWERS/TUBS:	1 REQUIRED (2 PROVIDED)
HOSE BIBBS:	0 REQUIRED (2 PROVIDED)
DISHWASHER:	0 REQUIRED (1 PROVIDED)
KITCHEN SINK:	1 REQUIRED (1 PROVIDED)
WASHER:	1 PER 20 UNITS REQUIRED (1 PROVIDED)

NOTE 1: FIXTURE COUNTS TO BE PER 2015 IBC & 2017 ISPC

PRESCRIPTIVE ENERGY COMPLIANCE (2015 IECC)					
INSULATION BY COMPONENT					
CLIMATE ZONE	WINDOW U-FACTOR	WINDOW SHGC	CEILING R-VALUE	WOOD WALL R-VALUE	UNHEATED SLAB
5	.35	.32	R-38	R-21	R-10 for 24" below



S & S TOWNHOME  
322 E. 44TH STREET  
GARDEN CITY, ADA, ID 83714

# FOURPLEX MULTIFAMILY BUILDING

(4,830 SF OVERALL; UNITS A/D 1,278 SF, UNITS B/C 1,137 SF)

## Project Team:

**Architect:**  
neUdesign  
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725 E 2ND ST  
MERIDIAN, IDAHO 83642  
TEL 1 208.884.2824  
CONTACT: JAMES ESCOBAR  
EMAIL: JIM@NEUDESIGNARCH.COM

**CIVIL CONSULTANT**  
ROCK SOLID  
CIVIL  
270 N. 27TH ST SUITE 100  
BOISE, IDAHO 83705  
TEL 1 208.342.3277  
CONTACT: DERRITT KERNER  
EMAIL: DKERNER@ROCKSOLIDCIVIL.COM

### Sheet List

Sheet Number	Sheet Name
G-001	Cover Sheet
C1	Cover Sheet, Index & Notes
C2	Horizontal Control Plan
C3	ACHD Frontage Plan/ Profile
C4	Grading, Drainage, & Utility Plans with Details
L.100	Landscape Plan
A.101	Site Plan
A.111	Floor Plan
A.131	Roof Plan
A.211	Exterior Elevations
A.212	Exterior Elevations Colored
A.311	Building Sections
A.411	Unit A/D Enlarged Plan
A.412	Unit B/C Enlarged Plan
A.501	Storage Shed
E.100	Site Lighting Plan
T.101	MINOR PUD TEMPLATE

## Legal Description:

TAX PARCEL # : R2734500512  
DESCRIPTION: S 170' LOT 16 BLK 2 FAIRVIEW ACRES  
SUB NO 01  
LOT SIZE: 0.39  
ZONING: R-3  
TOWNSHIP: 4N, RANGE: 2E, SECTION: 31

## Vicinity Map:



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Cover Sheet

SHEET

G-001

DATE 08.02.18  
JOB NUMBER 18090  
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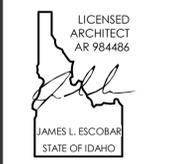
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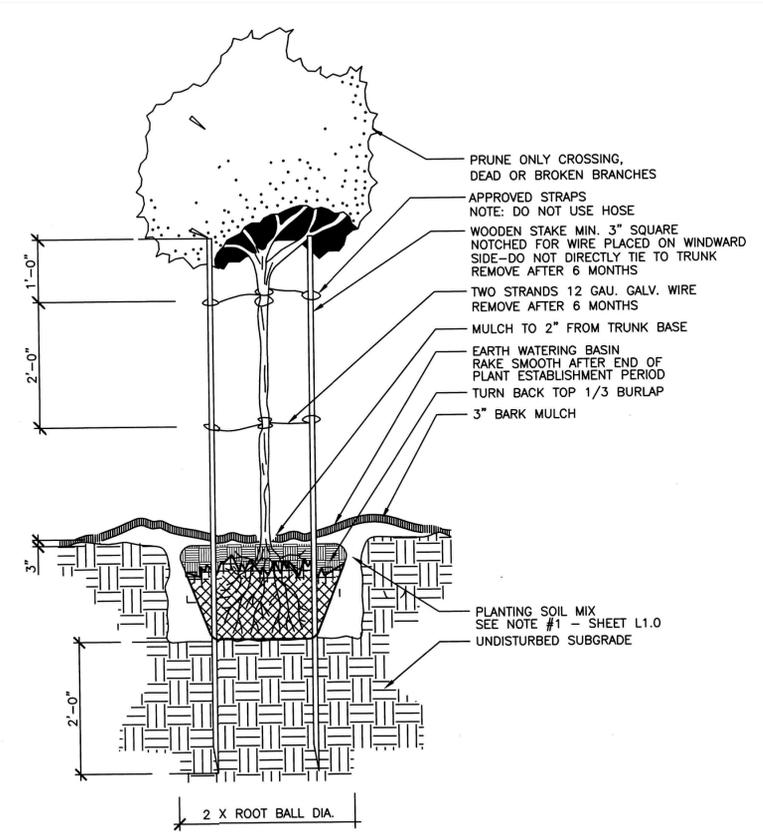
NO.	DESCRIPTION	DATE

Landscape Plan

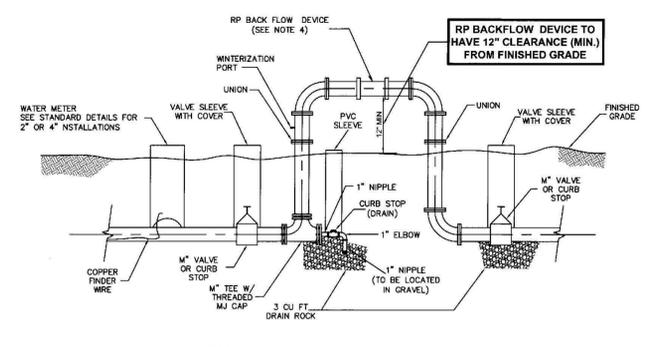
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L.100

DATE: 08.02.18  
JOB NUMBER: 18090  
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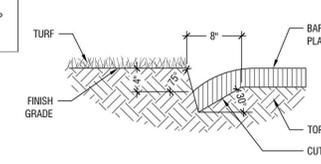


1 Tree Planting Detail  
1:1440

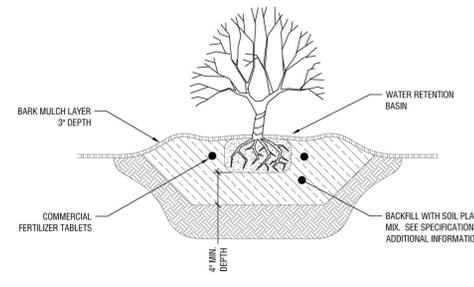


**NOTES**  
1. THIS DETAIL IS GENERIC AND SHOULD BE USED FOR ALL PRESSURE IRRIGATION SINGLE POINT CONNECTIONS TO THE CITY WATER SYSTEM. THE LINE, VALVE, TEE AND OTHER APPURTENANCE SIZES WILL BE DETERMINED BY THE SIZING REQUIREMENTS OF THE PROJECT TO BE FED.  
2. TYPE OF BACKFLOW PREVENTION DEVICE REQUIRED FOR A PARTICULAR SITUATION SHALL BE COMMENSURATE WITH THE DEGREE OF HAZARD PRESENTED.  
3. THE RPBA SHALL ONLY BE INSTALLED IN THE ORIENTATION FOR WHICH THEY ARE APPROVED.  
4. ALL BACKFLOW DEVICES SHALL BE APPROVED BY THE STATE OF IDAHO, DEPARTMENT OF ENVIRONMENTAL QUALITY.

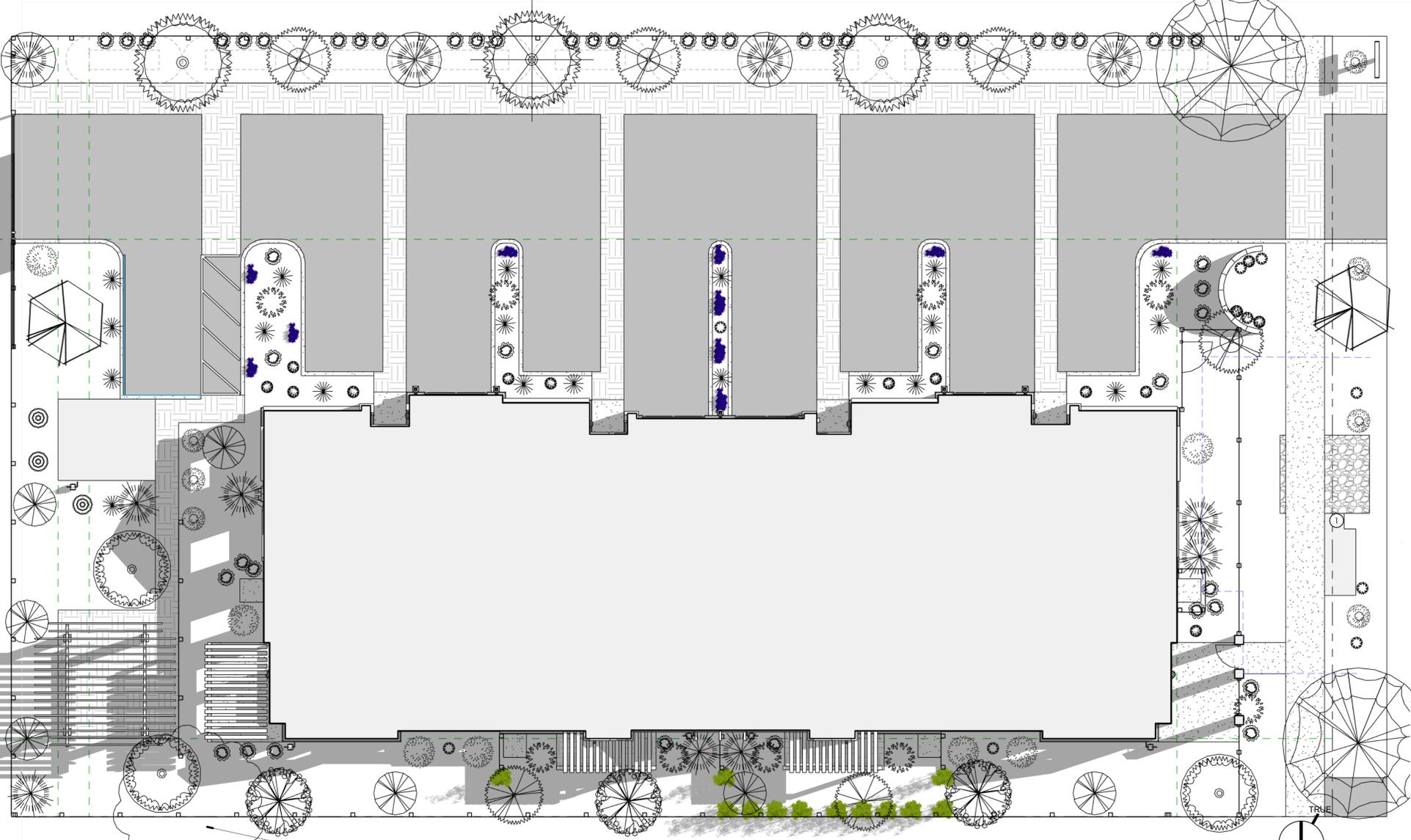
4 Backflow Preventer  
1" = 50'-0"



2 Edging Detail  
1" = 100'-0"



3 Planting Detail  
1" = 40'-0"



5 Landscape Plan  
1/8" = 1'-0"

TREE SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	MATURE		SPACING	CHARACTERISTICS
				WIDTH	HEIGHT		
	ACER PALMATUM 'SANGO KAKU'	CORAL BARK JAPANESE MAPLE	3/4" CAL. CLASS I	15' - 20'	15' - 25'	AS SHOWN ON PLAN	VIBRANT RED BARK WITH PALE GREEN OR YELLOW LEAVES
	FAGUS SYLVATICA 'ROSEO-MARGINATA'	TRI COLOR BEECH	2" - 2 1/2" CAL. CLASS I	35' - 50'	50' - 70'	AS SHOWN ON PLAN	DARK GREEN & PURPLE LEAVES IN SPRING, GOLDEN IN FALL
	HIBISCUS SYRIACUS 'APHRODITE'	ROSE OF SHARON	5 GAL.	4' - 6'	6' - 10'	AS SHOWN ON PLAN	LONG-BLOOMING DENSELY FLOWERED SHRUB
	SYRINGA VULGARIS 'LAVENDER LADY'	LAVENDER LADY LILAC	5 GAL.	5' - 6'	10' - 12'	AS SHOWN ON PLAN	FRAGRANT EARLY BLOOMING SHRUB
	RHODODENDRON 'CHIONOIDES'	CHIONOIDES RHODODENDRON	5 GAL.	4' - 6'	4'	AS SHOWN ON PLAN	LATE-BLOOMING WHITE BELL SHAPED FLOWERING SHRUB
	ROSA X 'CHEWMAYTIME' PLANT	OSO EASY PAPIKA ROSE	2 GAL.	3'	1' - 2'	AS SHOWN ON PLAN	LONG BLOOMING ORANGE TO GOLD FLOWERING SHRUB
	BUXUS MICROPHYLLA VAR. JAPONICA 'MORRIS MIDGET'	MORRIS MIDGET BOXWOOD	1 GAL.	18"	12"	AS SHOWN ON PLAN	EVERGREEN SHRUB
	HOSTA 'DIAMOND TIARA'	DIAMOND TIARA PLANTAIN LILY	1/2 GAL.	12" - 16"	8" - 12"	AS SHOWN ON PLAN	GREEN LEAVES EDGED IN WHITE, PURPLE FLOWERS
	CAREX ELATA 'AUREA'	BOWLES GOLDEN SEDGE	1 GAL.	2' - 3'	1' - 2'	AS SHOWN ON PLAN	BRIGHT YELLOW BURSTS OF COLOR
	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	1 GAL.	2' - 3'	2' - 3'	AS SHOWN ON PLAN	GRASS WITH FUZZY FLOWER SPIKES
	SALVIA X SYLVESTRIS 'MAY NIGHT'	MAY NIGHT SAGE	1 GAL.	18" - 24"	18" - 24"	AS SHOWN ON PLAN	SPIKES OF INDIGO FLOWERS W/ MOUNDS OF GREEN FOLIAGE
	DELOSPERMA COOPERI 'WOWDRY' PLANT	WHEELS OF WONDER HOT PINK WONDER ICE PLANT	1/2 GAL.	18" - 24"	4" - 6"	AS SHOWN ON PLAN	VIBRANT PINK BLOOMS, SUCCULENT FOLIAGE

TREE SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	MATURE		SPACING	CHARACTERISTICS
				WIDTH	HEIGHT		
	CORYLUS COLURNA	TURKISH FILBERT	2" - 2 1/2" CAL. CLASS II	20' - 30'	40' - 50'	AS SHOWN ON PLAN	THICK, DARK GREEN LEAVES, FLAKING BROWN/ORANGE BARK
	TILIA CORDATA	GREENSPIRE LINDEN	2" - 2 1/2" CAL. CLASS II	30' - 40'	40' - 60'	AS SHOWN ON PLAN	DARK GREEN HEART SHAPED LEAVES
	TAXUS X MEDIA	HICKS YEW	3.6 GAL.	3' - 4'	10' - 12'	AS SHOWN ON PLAN	DENSE GLOSSY DARK GREEN FOLIAGE
	SYRINGA RETICULATA	JAPANESE TREE LILAC	2" - 2 1/2" CAL. CLASS I	15' - 25'	20' - 30'	AS SHOWN ON PLAN	DARK GREEN OVAL LEAF IN SUMMER, ATTRACTIVE CHERRY BARK
	ACER PALMATUM 'WOLFF'	EMPEROR I JAPANESE MAPLE	9 GAL. CLASS I	15'	15'	AS SHOWN ON PLAN	BLACK RED BARK VEILED IN DARK RED FOLIAGE
	ACER PALMATUM 'FIREGLOW'	FIREGLOW JAPANESE MAPLE	2 GAL. CLASS I	15' - 20'	15'	AS SHOWN ON PLAN	PURPLE-SCARLETT TO CRIMSON FALL COLORS
	PRUNUS VIRGINIANA	CANADA RED CHOKECHERRY	2" CAL. CLASS I	25' - 30'	15' - 20'	AS SHOWN ON PLAN	WHITE FLOWER BLOOM w/ EDIBLE RED FRUIT
	CERCIS CANADENSIS 'COVEY'	EASTERN REDBUD LAVENDER	3.6 GAL. CLASS I	5' - 6'	6' - 8'	AS SHOWN ON PLAN	ROSY LAVENDER PINK FLOWERS
	CERCIS CANADENSIS	RISING SUN EASTERN REDBUD	3.6 GAL. CLASS I	8' - 12'	8'	AS SHOWN ON PLAN	HEART SHAPED DEEP APRICOT LEAVES

**GENERAL NOTES:**  
1. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND REPORT AND DISCREPANCIES WITH THE DRAWINGS TO THE ARCHITECT PRIOR TO THE BEGINNING OF CONSTRUCTION. GRADES ARE APPROXIMATE, VERIFY IN FIELD.  
2. REMOVE TOP SOIL AND ORGANIC MATERIAL FROM THE BUILDING SITE. STOCK PILE IT IF POSSIBLE FOR USE IN FINAL GRADING.  
3. ALL PLANTS, TREES AND HARDSCAPING TO REMAIN UNLESS OTHERWISE NOTED. PROTECT FROM DAMAGE DURING CONSTRUCTION. REPLACE AS REQUIRED.  
4. ANY FILL UNDER GRADE SUPPORTED CONCRETE SLABS TO BE 4" MIN. GRAVEL, COMPACTED TO 95%.  
5. FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOIL, STEPPED AS TO MAINTAIN THE REQUIRED DEPTH BELOW FINISH GRADE.  
6. CONCRETE SLABS TO BE 4", 3,000 P.S.I. AT 28 DAYS WITH CONTROL JOINTS AT 10' O.C. (MAX.) EA WAY. PROVIDE 3/4" TOOLED JOINTS AT 5'-0" O.C. IN CONCRETE SIDEWALKS.  
7. FINISH GRADES ARE TO REMAIN AT LEAST 8" BELOW EXTERIOR FINISHES.  
8. PRIOR TO CERTIFICATE OF OCCUPANCY, REPLACE ANY DAMAGED EXISTING HARDSCAPING (ASPHALT, CONCRETE, CURBS, ETC.) AS REQUIRED.



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NO.	DESCRIPTION	DATE

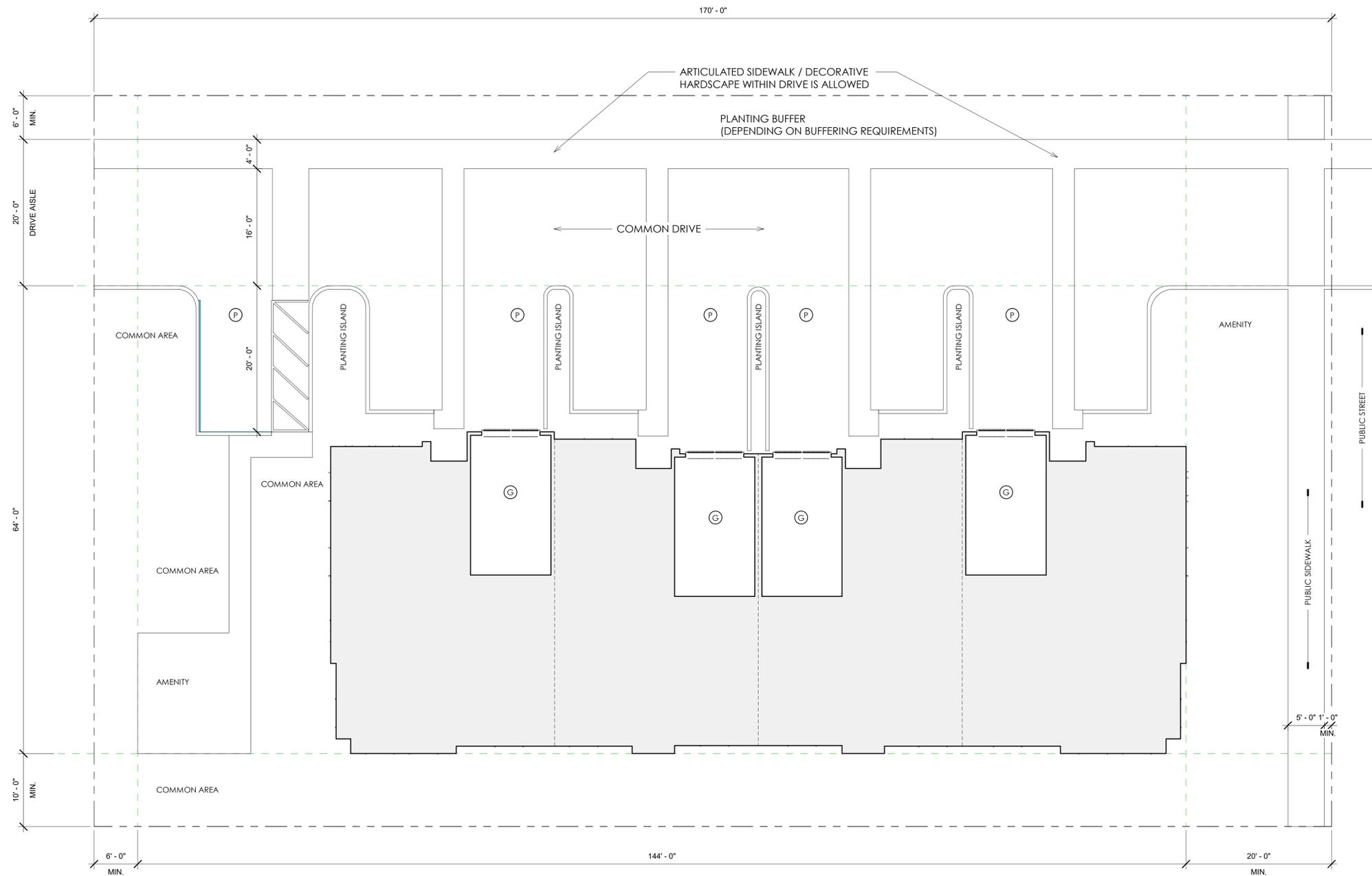
MINOR  
PUD  
TEMPLATE

SHEET

T.101

DATE: 08.02.18  
JOB NUMBER: 18090  
DRAWN BY: Author

NUMBER OF UNITS: 4  
BUILDING STORIES: 1 STORY  
DWELLING SIZE: 2 @ 906 SF  
2 @ 1051 SF  
REQUIRED PARKING: 1.5 PER 700-1000 SF UNITS  
2 PER 1000+ SF UNITS  
AS SHOWN: 2 PER UNIT (1 IN GARAGE)  
COMMON AREA: 5% OF SITE MIN.  
AS SHOWN: 17% OR 2958 SF



NOTE:  
LIGHTING FIXTURES LISTED BELOW ARE TO ESTABLISH A WATTAGE/LUMEN COMPARABLE AND BUDGET. OWNER TO PICK FINAL FIXTURES

# L-1

Catalog No.	Finish		Lamping	Dimensions (Inches)			
	Oil Rubbed Bronze	Antique Bronze		A	B	C	D
P5953	-108		1 (m) 100w	5-3/4	14-3/8	6-1/8	9-7/8



- Specifications:**
- General**
- Light amber etched inside, textured outside glass panels
  - Painted Oil Rubbed Bronze (-108) finish
  - Steel/Aluminum construction
  - Matching post, wall and chain-hung units available
- Mounting**
- Wall mount
  - Back plate 4-3/4" W x 7-7/8" Ht. x 7/8" deep
  - Covers outlet box
  - Mounting strap for outlet box included
- Electrical**
- Medium sockets
- Labeling**
- cCSAus wet location listed

# L-2

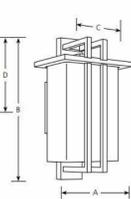
Catalog No.	Finish		Lamping	Dimensions (Inches)			
	Antique Bronze	Oil Rubbed Bronze		A	B	C	D
P5628	-46		1 (m) 100w	6-3/4	10-5/8	7-1/2	2-3/4
P5629	-46		1 (m) 100w	10	15-1/8	10-3/4	10



- Specifications:**
- General**
- Hand-painted glass panels
  - Hand-painted (Weathered Bronze (-46) finish)
  - Die-cast aluminum construction
  - Companion Bath and Vanity, Chain hung lanterns, Chandeliers, Close-to-ceiling, Hall and Foyer, Landscape Pendant, Post top lanterns, Wall brackets, Wall lanterns, fixtures are available
- Mounting**
- Wall mount
  - Mounting strap for outlet box included
  - Back plate covers a standard 4" hexagonal recessed outlet box
- Electrical**
- Medium base ceramic outlet with nickel plated brass screw shell (Pre-wired)
- Labeling**
- cCSAus Wet location listed

# L-3

Catalog No.	Finish		Lamping	Dimensions (Inches)			
	Brushed Nickel	Antique Bronze		A	B	C	D
P5990	-09	-20	1 (m) 100w	7-3/4	14	5-5/8	7



- Specifications:**
- General**
- Opal etched glass shade: 6" w., 9-9/16" Ht., 4" deep
  - Brushed Nickel -09 plated finish
  - Antique Bronze -20 painted finish
  - Steel construction
  - Companion Bath and Vanity, Chain hung lanterns, Close-to-ceiling, Hall and Foyer, Pendant, Post top lantern, Sconce, Wall bracket, Wall lantern, fixtures are available
- Mounting**
- Wall mount
  - Back plate covers a standard 4" hexagonal recessed outlet box
  - Mounting bracket for outlet box included
- Electrical**
- Medium base ceramic sockets
  - Pre-wired
- Labeling**
- cCSAus Wet location listed

# L-4

PROGRESS LIGHTING

DATE: \_\_\_\_\_ TYPE: \_\_\_\_\_  
NAME: \_\_\_\_\_  
PROJECT: \_\_\_\_\_



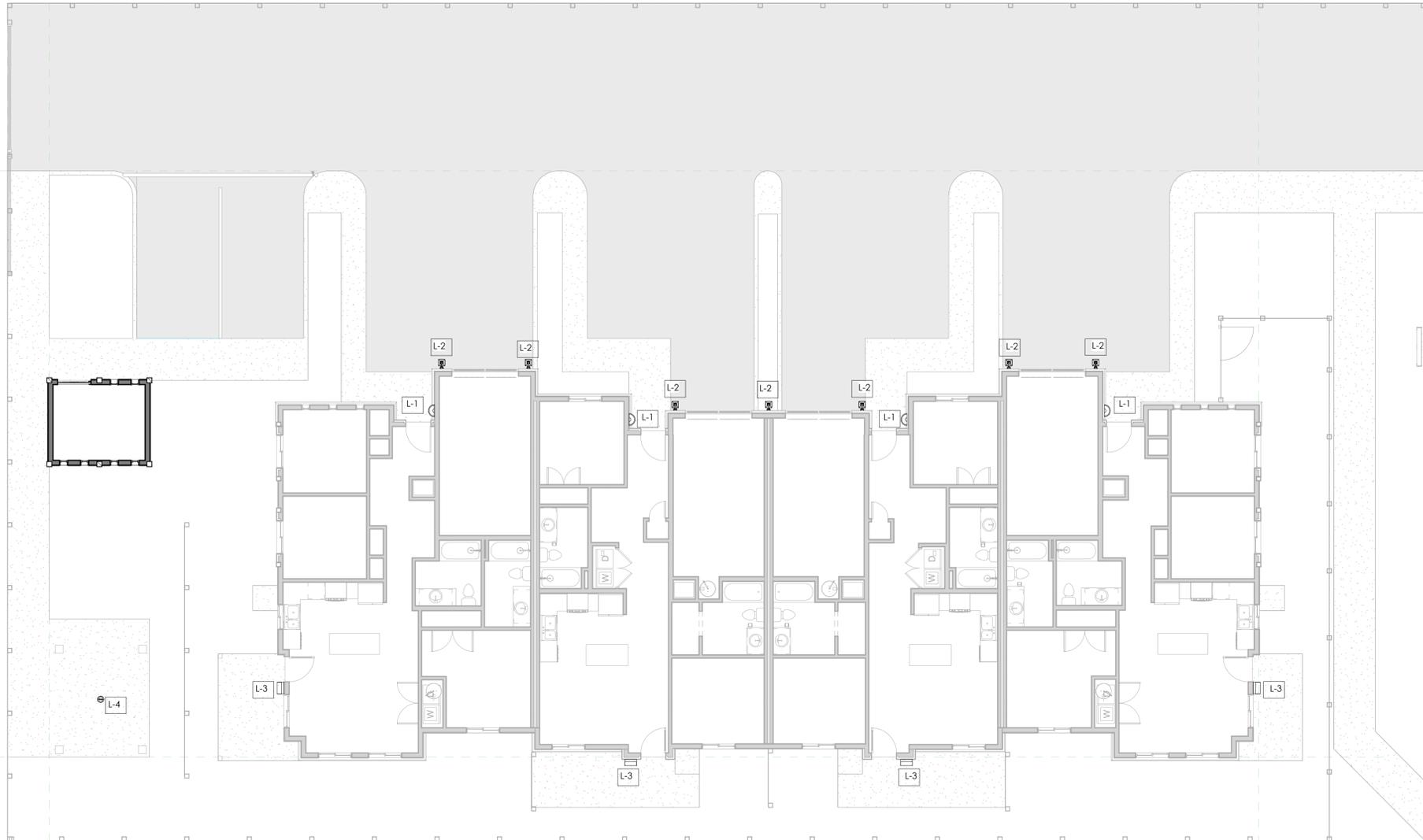
Incandescent  
**P550017-020**  
**Haddon**

A classic New England coach light, the Haddon lanterns feature a clear seeded shade paired with an Antique Bronze frame. The wire surround is a classic industrial-inspired detail that provides nostalgic charm.

- The Haddon lanterns feature a clear seeded shade paired with an Antique Bronze frame.
- The wire surround is a classic industrial-inspired detail.
- Lantern provides nostalgic charm to any exterior.

Category: Outdoor  
Finish: Antique Bronze (patina)  
Construction: Steel construction  
Glass/Shade: Clear Seeded Glass shade

Mounting	Electrical	Lamping	Additional Information
Ceiling mounted Mounting strap for outlet box included Covers a standard 4" octagonal recessed outlet box	Pre-wired 6" of wire supplied 120V	Quantity One 75w. min. Medium Base E26 base socket	cCSAus Wet location listed



1 Site - Electrical  
1/8" = 1'-0"



neUdesign  
ARCHITECTURE  
725 E 2nd St  
Meridian, ID 83642  
208.884.2824

CONSULTANT

THIS DOCUMENT IS THE PROPERTY OF NEUDESIGN ARCHITECTURE, LLC AND IS NOT TO BE DUPLICATED WITHOUT WRITTEN AUTHORIZATION.

© NEUDESIGN ARCHITECTURE LLC

CLIENT:  
**Sue Samson**  
**S & S Townhomes**  
322 E. 44th St. Garden City, ID 83714

PROFESSIONAL SEAL

**NOT FOR PERMIT**

NO.	DESCRIPTION	DATE

Site  
Lighting  
Plan

SHEET

E.100

DATE: 08.02.18  
JOB NUMBER: 18090  
DRAWN BY: Author



**DESIGN REVIEW**

Permit info: \_\_\_\_\_  
 Application Date: \_\_\_\_\_ Rec'd by: \_\_\_\_\_  
 FOR OFFICE USE ONLY

6015 Glenwood Street • Garden City, ID 83714 • 208.472.2921  
 • [www.gardencityidaho.org](http://www.gardencityidaho.org) • [planning@gardencityidaho.org](mailto:planning@gardencityidaho.org)

APPLICANT	PROPERTY OWNER
Name: Pam Gaines	Name: Sue Samson
Company: NeUdesign Architecture	Company: S & S Townhomes
Address: 725 E. 2 <sup>nd</sup> Street	Address: P.O. Box 45103
City: Meridian	City: Boise
State: ID Zip: 83783642	State: ID Zip: 83711
Tel.: 208-884-2824	Tel.: 208-340-1919
E-mail: Pgaines@neudesignarch.com	E-mail: 0821 Susan Kay@gmail.com

**PROPERTY AND DESIGN INFORMATION**

This application is a request to:  Construct New  Addition  Subdivision

Site Address: 322 E. 44 <sup>th</sup> St. Garden City ID. 83714		
Subdivision Name: Fairview Acres Sub #01	Lot: 16	Block: 2
Tax Parcel Number: R22734500512	Zoning: R-3	Total Acres: .39
Proposed Use: Residential	Floodplain: <del>Yes</del> <b>No</b>	

**OBJECTIVES 8-4C**

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

**Bike and Pedestrian:** How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

**Parking and parking lot standards:** Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

**Community Interaction:** How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

**Landscaping:** Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

**Building Design:** How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

Camela Gaines 11.7.18 Levon G. Samson 11/7/18  
Signature of the Applicant (date) Signature of the Owner (date)

### APPLICATION INFORMATION REQUIRED

**Note:**

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED**  
**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

**ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:**

- |  |   |
|--|---|
| <input type="checkbox"/> Compliance Statement and Statement of Intent                            | <input type="checkbox"/> Affidavit of Legal Interest                    |
| <input type="checkbox"/> Neighborhood Map  | <input type="checkbox"/> Sustainability Checklist <i>*if applicable</i> |
| <input type="checkbox"/> Site Plan   |   |
| <input type="checkbox"/> Landscape Plan  |   |
| <input type="checkbox"/> Schematic Drawing   |   |
| <input type="checkbox"/> Lighting Plan   |   |
| <input type="checkbox"/> Topographic Survey  |   |
| <input type="checkbox"/> Grading Plan  |   |
| <input type="checkbox"/> Will Serve Letter <b>**If required, must submit a Fire Flow Request</b> |   |
| <input type="checkbox"/> Ada County Approved Addresses   |   |
| <input type="checkbox"/> Waiver Request of Application Materials                                 |   |

## PLEASE CHECK THE FOLLOWING:

### INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- Purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

### INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- 8 ½" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

### INFORMATION REQUIRED ON SITE PLAN:

- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- Sidewalks, bike and pedestrian paths.
- Berms, walls, screens, hedges and fencing.
- Location and width of easements, canals, ditches, drainage areas.
- Location, dimensions and type of signs.
- Trash storage and mechanical equipment and screening.
- Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- Log depicting square footage of impervious surface, building and landscaping
- Location and height of fences and exterior walls
- Location and dimensions of outdoor storage areas
- Location of utilities and outdoor serviced equipment and areas
- Location of any proposed public art, exterior site furniture, exterior lighting, signage

**INFORMATION REQUIRED ON LANDSCAPE PLAN:**

- Scale the same as the site plan.
- Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- Size, location and species of existing vegetation labeled to remain or to be removed.
- All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location
- Locations and dimensions of open space and proposed storm water systems

**INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):**

- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color
- Sample materials (as determined by the staff)

**INFORMATION REQUIRED ON LIGHTING PLAN:**

- 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- Location of municipal street lights

**INFORMATION FOR TOPOGRAPHIC SURVEY:**

- The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

**INFORMATION REQUIRED ON GRADING PLAN:**

- 11" x 17" size minimum
- Scale not less than one inch equals twenty feet (1" = 20')
- Two foot (2') contours for the entire proposal site
- One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- Existing easement and utility locations
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- Proposed storm water systems

**INFORMATION REQUIRED MASTER SIGN PLAN:**

***\*Required for developments of two or more buildings:***

- Location, elevations, and materials of proposed signage

**INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:**

***\*Required if irrigation canal/irrigation ditch runs through property or along property lines:***

- Letter from company indicating approval

**INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:**

- Statement must include a list of the application materials to be waived and an explanation for the request.



# MINOR PLANNED UNIT DEVELOPMENT

Permit info: \_\_\_\_\_

Application Date: \_\_\_\_\_ Rec'd by: \_\_\_\_\_

FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921 (tel.)  
 208.472.2926 (FAX) ▪ [www.gardencityidaho.org](http://www.gardencityidaho.org) ▪ [planning@gardencityidaho.org](mailto:planning@gardencityidaho.org)

**APPLICANT**

**Name:** Pam Gaines **Address:** 725 E. 2nd St Meridian, ID 83642  
**Email:** [pgaines@neudesignarch.com](mailto:pgaines@neudesignarch.com)  
**Phone:** (208)-884-2824

**PROPERTY INFORMATION**

**Development Name:** S & S Townhomes

**Site address:** 322 E. 44th St. Garden City, ID 83714

<b>Minor PUD Template #:</b>	<b>Zoning:</b> R-3
------------------------------	--------------------

<b>Is the property within the 100 Year Flood Plain or Floodway?</b>	YES	NO
---	-----	----

**CIRCLE ONE**

**Description of Existing Use(s):** Empty lot

<b>Date of Pre-Application Meeting:</b> September 20, 2018	<b>Date of Neighborhood Meeting:</b> October 29, 2018
---	--

<b>Will there be a concurrent condominium plat? (CIRCLE ONE)</b>	<b>Number of building Lots</b>
YES      NO	1

<b>Square feet of common open space:</b> 1,147 sf	<b>Are any improvements planned within the common open space area? If so, specify.</b> A 143 sf Pergola
--	--

<b>Number of parking spaces:</b> 14	<b>Smallest Unit (sq. ft.):</b> 905
--	--

**Proposed density:**  
.284

<b>Maximum Building Height:</b> 20'5"	<b>Number of Stories:</b> 1
--	--------------------------------

---

Clearly detail any deviations from the Minor PUD templates :

---

a. Relocation of Building Footprints:

5' WITHIN REAR SETBACK

---

b. Relocation of Common Areas:

---

c. Relocation of Access Lanes:

REDUCTION BY 6' PER REQUIREMENT ONLY FOR "DRIVE WAYS"

---

d. Relocation of Parking:

---

e. Relocation of Private Open Space:

---

List any other deviations:

---

Does the project deviate more than 10% from the Site Layout Template?

YES

NO

---

How does this proposed Minor PUD development minimize impacts on adjacent properties?

With the building of this multifamily unit the adjacent properties will be positively improved due to the fact the lot is currently empty.

---

---

Are the proposed storm drain and surface water facilities adequate for the site?

**YES**

NO

---

How will this building(s) design create a sense of place (usable open space, public art, visual focus points)?

The building will create a sense of place due to the fact that there will be an open space with a pergola on the property. That space will be able to be used by anyone that lives in the complex.

---

How has landscaping been used to protect existing trees, utilize existing features, create harmony with adjacent development and prevent erosion and dust?

---

What type of water will be used for landscaping? CIRCLE ONE

Irrigation - Non-Potable

Irrigation - Potable

**City Water System**

---

Have native or drought resistant plants been utilized in the landscaping plan? If so what types and what percentage of the overall landscape is dedicated to these plants?

---

What sustainable or "green" criteria have been utilized in the development?

---

Where is the nearest pedestrian/bike pathway from the development?

*1/2 A BLOCK TO BOISE GREENBELT*

## APPLICATION INFORMATION REQUIRED

### NOTE:

AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED  
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

### ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED

- |  |   |
|--|---|
| <input type="checkbox"/> Planning Submittal Application                                      | <input type="checkbox"/> Site Plan                                |
| <input type="checkbox"/> Statement of Intent   | <input type="checkbox"/> Landscape Plan                           |
| <input type="checkbox"/> Neighborhood Map  | <input type="checkbox"/> Electronic Copy of Application Submittal |
| <input type="checkbox"/> Grading Plan  | <input type="checkbox"/> Waiver Request of Application Materials  |
| <input type="checkbox"/> Lighting Plan   |   |
| <input type="checkbox"/> Schematic Drawings  |   |
| <input type="checkbox"/> Topographic Survey  |   |
| <input type="checkbox"/> Hydrology Report  |   |
| <input type="checkbox"/> Natural Hazard and Resources Analysis                               |   |
| <input type="checkbox"/> Dedications and Easements   |   |
| <input type="checkbox"/> Covenants and Deed Restrictions                                     |   |
| <input type="checkbox"/> Legal Description   |   |
| <input type="checkbox"/> Ability to Serve Letter   |   |
| <input type="checkbox"/> Affidavit of Legal Interest   |   |
| <input type="checkbox"/> Neighborhood Meeting Verification                                   |   |
| <input type="checkbox"/> Affidavit of Posting and Photo (due 7 days prior to public hearing) |   |

### INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS (PLEASE CHECK):

- Statement must include a list of the application materials to be waived and an explanation for the request.

### INFORMATION FOR STATEMENT OF INTENT(PLEASE CHECK):

- Should include purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

### INFORMATION FOR LEGAL DESCRIPTION (PLEASE CHECK):

- A document legally describing the property.
- Must have Ada County instrument number or county seal inscribed.

### INFORMATION FOR PRE-APPLICATION FORM (PLEASE CHECK):

- A form signed by the planning official certifying a pre-application conference took place for this application prior to applying. The sign-in sheet of the pre-application conference should also be attached.

### INFORMATION REQUIRED ON NEIGHBORHOOD MAP (PLEASE CHECK):

- 8 ½" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')

- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

**INFORMATION REQUIRED ON SITE PLAN(PLEASE CHECK):**

- 24" x 36" size minimum
- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- Sidewalks, bike and pedestrian paths.
- Berms, walls, screens, hedges and fencing.
- Location and width of easements, canals, ditches, drainage areas.
- Location, dimensions and type of signs.
- Trash storage and mechanical equipment and screening.
- Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
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- Location and height of fences and exterior walls
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- Location of any proposed public art
- Location of any proposed exterior site furniture
- Location of any exterior lighting
- Location of any existing or proposed signage

**INFORMATION REQUIRED ON LANDSCAPE PLAN (PLEASE CHECK):**

- 24" x 36" size minimum
- Scale the same as the site plan.
- Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- Size, location and species of existing vegetation labeled to remain or to be removed.
- All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location
- Proposed storm water systems
- Locations and dimensions of open space

**INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (PLEASE CHECK):**

- 11" x 17" size minimum
- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color  
Sample materials (as determined by the staff)

**INFORMATION REQUIRED ON LIGHTING PLAN (PLEASE CHECK):**

- 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- Refer to Garden City Code 8-4A-6 for outdoor lighting requirements

**INFORMATION FOR TOPOGRAPHIC SURVEY (PLEASE CHECK):**

- The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20'). If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site.

**INFORMATION REQUIRED ON GRADING PLAN (PLEASE CHECK):**

- 11" x 17" size minimum
- Scale not less than one inch equals twenty feet (1" = 20')
- Two foot (2') contours for the entire proposal site
- One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- Existing easement and utility locations
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surfaces
- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- Proposed storm water systems

**INFORMATION FOR HYDROLOGY REPORT(PLEASE CHECK):**

- Prepared by a licensed engineer
- Description of the hydrological conditions existing within the proposed site, the adequacy of the existing conditions for the proposed project and the design criteria for any recommended corrective measures

- Map or drawing showing existing surface drainage patterns in the proposed site and identifying any anticipated changes in those patterns due to the project development
- For preliminary plat: Preliminary plans and approximate locations of all surface and subsurface drainage devices or other devices to be employed in controlling drainage water within the project site, including proposed, existing, and natural drainage swales, culverts, catch basins, and subsurface drain piping
- For final plat: A storm drainage plan shall be submitted showing compliance with the standards of section 8-4B-1. The storm drainage plan shall include:
  - a. A map indicating the on-site and off-site drainage applicable to the site
  - b. Detailed engineering plans of all subsurface drainage improvements to be constructed as a part of the proposed development
  - c. Location of all drainage easements, or drainage rights of way
- For a subdivision within a floodplain, documentation shall be provided that will show and explain at the following to demonstrate conformance with Chapter 3, Article B. Flood Hazard. Location of all planned improvements:
  - a. The location of the floodway and the floodway fringe per engineering practices as specified by the Army Corp of Engineers
  - b. The location of the present water channel
  - c. Any planned re-routing of waterways
  - d. All major drainage ways
  - e. Areas of frequent flooding
  - f. Means of flood proofing buildings, and means of insuring loans for improvements within the floodplain

**INFORMATION FOR NATURAL HAZARD AND RESOURCES ANALYSIS (PLEASE CHECK):**

- Prepared by a licensed engineer
- The natural hazards and resources analysis shall provide an inventory and recommendation regarding natural conditions existing on the site.
- The analysis shall include: significant natural resources existing on the site shall be indentified including vegetation; fish and wildlife habitat; and water, including streams and riparian zones. A plan for preservation and/or mitigation of significant resources should be prepared by a qualified professional.
- For subdivisions within a floodplain: Detained information on the nature, source, and extent of the hazard and the proposed actions to minimize or eliminate danger to public health, safety or property. The analysis shall include the following information:
  - a. The location of existing water channels and drainage ways, floodway, flood plain and base flood elevation
  - b. The location of all planned improvements including dams, dikes, and similar structures
  - c. All planned diversions, alterations or rerouting of channels and drainage ways.

**INFORMATION FOR DEDICATIONS AND EASEMENTS (PLEASE CHECK):**

- The statement of intent for dedications and/or easements shall include the location, size, dimensions, and purpose.

**INFORMATION FOR COVENANTS AND DEED RESTRICTIONS (PLEASE CHECK):**

- The draft of any proposed covenants and deed restrictions to be recorded with the plat or plat amendment.

**INFORMATION FOR WILL SERVE LETTER(PLEASE CHECK):**

- A document from the City Engineer certifying that a property has adequate access to city services.

**INFORMATION FOR NEIGHBORHOOD MEETING VERIFICATION (PLEASE CHECK):**

- Copy of notice sent to property owners within 300' of an applicable property
- List of notice recipients with names and addresses
- Sign-up sheet from meeting

**INFORMATION FOR AFFIDAVIT OF LEGAL INTEREST (PLEASE CHECK):**

- A signed affidavit indicating legal interest in a property and application

**INFORMATION FOR AFFIDAVIT OF PROPERTY POSTING AND PHOTOS(PLEASE CHECK):**

- A signed affidavit affirming that the required sign has been posting on the property ten days before the hearing
- Photos (digital or print) of posted sign

**INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM (PLEASE CHECK):**

- Required if irrigation canal/irrigation ditch runs through property or along property lines

**INFORMATION REQUIRED MASTER SIGN PLAN (PLEASE CHECK):**

- Required for commercial or mixed-use developments of two or more buildings
- Location, elevations, and materials of proposed signage

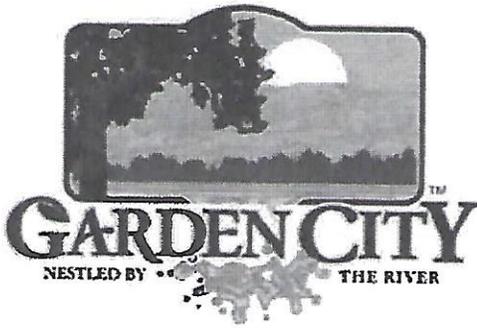


Monday, October 29, 2018 5:45pm

Re: PUD & Variance Application / Samson Multifamily

Sign-in Sheet

	<u>Name:</u>	<u>Address</u>
1.	<i>Cristina Pinos</i>	<i>313 E. 44th St</i>
2.	<i>Cherie Heath</i>	<i>313 E. 44th St</i>
3.	<i>Joe Rice</i>	<i>307 E. 44th.</i>
4.	<i>Alex Samson</i>	<i>322 E 44th</i>
5.	<i>Pat Corbett</i>	<i><del>800</del> 322 E 44th</i>
6.	<i>Jim Gaines</i>	<i>725 E. 2nd St.</i>
7.		
8.		
9.		
10.		
11.		
12.		
13.		
14.		
15.		



6015 Glenwood Street Garden City, Idaho 83714  
Phone 208 - 472-2921 Fax 208 - 472-2926  
www.gardencityidaho.org

### Affidavit of Legal Interest

State of Idaho )  
                          )SS  
County of Ada )

I, Susan G. Samson, 2920 N Columbine Ave  
Name Address  
Boise ID 83713  
City State and Zip

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission

to Neudesign Architecture, 725 E. 2nd St., Meridian, ID 83642  
Name Address

to submit the accompanying application pertaining to that property.

2. I agree to indemnify, defend and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.

Dated this 7 day of November, 2018

Susan G Samson  
Signature

Subscribed and sworn to before me the day and year first above written

Vicki L. Kovash  
Notary Public for Idaho

Residing at: Eagle, ID

My Commission expires 12/20/23





## CITY OF GARDEN CITY

6015 Glenwood Street • Garden City, Idaho 83714

Phone 208/472-2900 • Fax 208/472-2996

8 February 2019

Building Department  
City of Garden City  
6015 North Glenwood Street  
Garden City, Idaho 83714

Subject: **322 East 44<sup>th</sup> Street**  
**Water and Sanitary Sewer Ability to Serve**  
**ATS2019-9**

I am a consultant (employed by B & A Engineers, Inc.) appointed by the city council as the engineer for the city of Garden City. The referenced project is eligible to receive water and sewer service from the city of Garden City from existing infrastructure.

The city water system in the area provided a minimum fire flow of 1,750 gallons per minute with a residual pressure of 20 pounds per square inch for two hours based upon a letter dated 5 February 2019 (fire hydrant 3034) from the Garden City Public Works Water Division. Said system is capable of providing adequate fire protection capacity to serve a proposed facility if the North Ada County Fire and Rescue District determines that the project does not require more fire protection water than what is available from the city system. Should the District require more fire protection water than the current system is capable of providing, the owner of the project may be required to modify and propose construction to comply with the District's flow requirements and/or upgrade the city's water system. The District may also require additional fire hydrants.

Any new water mainline extensions or water service connections must be coordinated, reviewed and approved by the city prior to installation. Design and installation is the responsibility of the applicant.

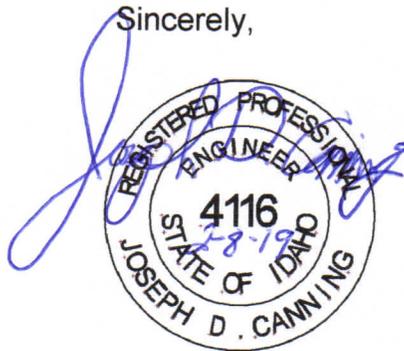
The existing city sanitary sewer system is capable of serving the property if flows are reasonable in volume. Connection to the city's system will require either extension of new individual services from existing main lines or extension of new main lines with new services by the applicant. The applicant is responsible to verify that the proposed land use is capable of being served by existing city sanitary sewer mains. Should depths not be adequate to serve the site, the applicant may have to provide and pay for facilities to reasonably discharge to

the city system or to alter a preferred site design to be able to discharge to the city system. The applicant is advised to perform topographic surveys to be sure a project may be served.

Any new water and sanitary sewer connections must be coordinated, reviewed and approved by the city prior to installation.

Special uses on the site may require pretreatment of wastewater based upon review of use by Garden City Environmental.

Sincerely,



J. D. Canning, PE/PLS  
B & A Engineers, Inc.  
Garden City Engineer

ec. Mr. Colin Schmidt  
Public Works Director  
City of Garden City

Mr. Troy Vaughn  
Garden City Collections/Construction Manager  
City of Garden City

Mr. Chad Vaughn  
Garden City Public Works Water Division  
City of Garden City



**CENTRAL DISTRICT HEALTH DEPARTMENT**  
**Environmental Health Division**

Return to:

- ACZ
- Boise
- Eagle
- Garden City
- Kuna
- Meridian
- Star

Rezone # \_\_\_\_\_

Conditional Use # \_\_\_\_\_

Preliminary / Final / Short Plat MPUD FY 2019-1

*City of Garden City*

- 1. We have No Objections to this Proposal.
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
  - high seasonal ground water
  - waste flow characteristics
  - bedrock from original grade
  - other \_\_\_\_\_
- 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- 8. After written approval from appropriate entities are submitted, we can approve this proposal for:
  - central sewage
  - community sewage system
  - community water well
  - interim sewage
  - central water
  - individual sewage
  - individual water
- 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
  - central sewage
  - community sewage system
  - community water
  - sewage dry lines
  - central water
- 10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- 11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 12. We will require plans be submitted for a plan review for any:
  - food establishment
  - swimming pools or spas
  - child care center
  - beverage establishment
  - grocery store
- 13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDHD.

14. \_\_\_\_\_ Reviewed By: \_\_\_\_\_

*Rowley*  
 Date: 4/2/19

**From:** [planning](#)  
**To:** [building](#)  
**Subject:** FW: S&S Townhomes - MNPUFY2019-1  
**Date:** Monday, March 25, 2019 11:23:37 AM  
**Attachments:** [S&S.Townhomes.MPUFY2019-1.P&Z.Comments.pdf](#)

---

**From:** Joseph Canning [mailto:jdcanning@baengineers.com]  
**Sent:** Sunday, March 24, 2019 10:57 AM  
**To:** planning  
**Cc:** Jenah Thornborrow; Christian Samples; Betty Gumm; Colin Schmidt; Kevin Wallis; Chad Vaughn; Olesya Durfey  
**Subject:** S&S Townhomes - MNPUFY2019-1

Attached is my review and comments. The cost for this review is \$156.25.

For Kevin and Colin: Please note my comments beginning on page 1, under item 3 noting issues with pavers. I probably went on too long regarding pavers and their issues. But I don't want to see them get a black eye as they are a great tool. Perhaps S&S Townhomes is not the best overall place to cover these larger region issues, but I generally don't get an opportunity to discuss general items of interest in the storm water arena with staff. I was concerned about the replacement of recently placed pavers on a site in Garden City. That was an unfortunate event in a city with soil and groundwater conditions that should be ideal for the use of pavers. particularly since it was a retrofit - post original site construction.

For Troy and Chad: Please note my comments on page 3, under "Water and Sewer Connections". Also a "will serve" letter has not been issued for this site.

Notably for Planning: Please note my comments on pages 1, 2 and 3 regarding the waivers/variance.

Notably for Planning: Please note my comments on page 4 regarding the current division of the original lot.

Thanks,

Joe

---

**Total Control Panel**

[Login](#)

To: [planning@gardencityidaho.org](mailto:planning@gardencityidaho.org) [Remove](#) this sender from my allow list

From:  
jdcanning@baengineers.com

*You received this message because the sender is on your allow list.*





## B & A Engineers, Inc.

Consulting Engineers & Land Surveyors  
5505 West Franklin Road. Boise, ID 83705  
Telephone 208.343.3381 Facsimile 208.342.5792

To: **Garden City Planning**

Copy: **Jenah Thornborrow  
Chris Samples  
Betty Gumm  
Colin Schmidt  
Kevin Wallis  
Troy Vaughn  
Chad Vaughn  
Olesya Durfey**

From: **Joe Canning, PE/PLS**  
Telephone: 208.343.3381  
E-mail: [jdcanning@baengineers.com](mailto:jdcanning@baengineers.com)

Date: 23 March 2019

Subject: **S&S Townhomes  
MPUFY2019-1  
322 East 44<sup>th</sup> Street  
Tax Parcel R2734500512**

Pages: 4

Media: Transmitted via E-mail

On behalf of Garden City, as the city engineer, we have completed our review of the application for the subject project. This application is requesting a land use to construct four attached townhomes and site improvements site. We understand the site is currently vacant other than providing access to a landlocked parcel of land west of the subject site.

As the site will be a multi-family use with hard surface area exceeding 1,000 square feet in area, the provisions of the city's storm water ordinance will apply.

### ***Comments on Requested Waiver Requests***

The application includes requests for relief from several normally required items. We will not comment on all the items, but several should be addressed from our perspective:

Item 3: Natural Hazards and Resources Analysis – The applicant's letter notes they are just beginning site investigations and have not completed them. We caution the city on providing

initial project entitlement approval when some of the information discovered as part of the Natural Hazards and Resource Analysis could impact the project design or its conditions of approval.

As an example, should any irrigation facilities be located on the property, easements to cover them could impact the site design.

As another example, the site includes fairly intense hard surface development. This limits options for site storm water collection, treatment and disposal. At least a proposed method and quick analysis of handling storm water seems appropriate. We note the geotech provided with the application includes a section on permeable paver design and sheet C1 appears to indicate pavers on the drive area. If this is the proposed method of managing storm water, careful attention needs to be taken regarding allowable run-on rates to the pavers.

The city has just approved an application for a private facility to remove recently installed pavers on a retrofit site that were the subject of a public ribbon cutting touting the pavers. The pavers will be replaced with a much more conventional seepage bed system. The run-on ratio that was reviewed for that project was questioned by the city reviewer, but the designer countered that increased maintenance would overcome the higher run-on ratio. We can only presume that ponding on the pavers was too frequent and the maintenance necessary was too excessive. Additionally in installation of pavers in downtown Boise that has only been in service for a couple of years now is showing considering ponding after light to normal rain events. In that case, we believe large run-on ratios are occurring due to discharge of adjoining notable building roof areas. And finally a Boise City park that used pavers in its parking lot failed during the winter of 2017. Agreed that was far from a normal winter, but, in our opinion, subgrade conditions at the site were not conducive to the use of pavers. This is just being noted as Garden City will not approve excessive run-on ratios on pavers. Pavers are a valid and outstanding resource to use for storm water management, but they must be designed and installed properly, as any system must be, to work.

Item 6: Will Serve Letter – The text that accompanies this item seems to confuse two issues – site vehicle access and water and sewer service. We caution the city on providing initial project entitlement approval when some of the information discovered as part of the “will serve” process could impact the project design or its conditions of approval. The text related to ACHD is an access issue and not a “will serve” issue.

#### ***Driveway Variance Request Comment***

We note that vehicle (and utility?) access will probably be required to serve the existing property west of the subject site. Was a title report provided with the application? Does the title report include reservation of an easement to that property? If not, does the benefitting property have a valid prescription easement over the servient property?

The applicant notes that they will “allow” that access and that creates a hardship to the servient property. We suggest that the fact is that the servient property is providing that access independent of the presence of a recorded easement or not.

The applicant also notes that no fire lane is required to provide emergency services to the site or the home to the west. However, we note that similar situations where the fire access is

more than 150 feet deep, to have routinely been required by the North Ada County Fire and Rescue District, to have an unobstructed fire access, turnaround and/or fire sprinklers. Input from emergency vehicle personnel is suggested.

***Driveway Easement***

The home to the west needs to be provided an easement for vehicle and presumably utility access. We suggest that the owner of the home must accept the easement and any conditions placed in it.

***Erosion and Sediment Control***

Prior to performing any grading on the site, the applicant must prepare and have approved by the city an erosion and sediment control plan.

***Ada County Highway District Approval***

Approval of the project by the Ada County Highway District will be required.

***Fire District Approval***

Approval of the project by the North Ada County Fire and Rescue District will be required. Should fire flow requirements exceed those available, modifications to the building, its use, off-site city water lines or other efforts may be necessary to obtain approval of plans.

***Water and Sewer Connections***

Any new water and sewer services will have to be reviewed and approved by the city's Public Works Department.

The applicant is responsible to verify that adequate depth of sewer service is available to the site.

The applicant is responsible to verify that adequate water system supply is available to provide domestic and fire suppression water needs.

We would suggest that such water and sewer services be by private individual services extended from city main lines within public rights-of-way. The city may not allow extension of public water or sewer mains in an access that utilizes permeable pavers.

***FEMA Preliminary Maps***

FEMA has recently issued preliminary maps for Garden City. These maps do not reflect the latest flood study for the Boise River. Significant changes are in the future for much of Garden City based upon available work maps, not the preliminary maps. Please advise on what, if any, mitigation is proposed. Please note that the FEMA preliminary maps do not reflect the probable final disposition of the floodplain area as the city is expected to be placed in an interim seclusion overlay.

### ***Site Grading and Drainage Plan***

A site grading and drainage plan will be required to be reviewed and approved by the city. A storm water design report and a drainage system operation and maintenance manual for handling of storm water prepared by an Idaho licensed design professional will be required. Compliance with the storm water ordinance and policies of the city will be required. Drainage must be maintained on-site.

A site geotechnical report (as currently provided) will be required for the design of the on-site storm water system. Said report must identify the depth to seasonal high groundwater, provide a profile of encountered soils and their infiltration rates. The report must also provide a design infiltration rate recommendation for the storm water system. The storm water design must provide for at least three feet of vertical separation between the bottom of the storm water facility and the seasonal high groundwater.

### ***Storm Water Operation and Management Agreement***

The landowner must enter into an agreement with the city that will be recorded addressing mandatory maintenance of the site's storm water system. The agreement must be fully executed, have conditionally approved plans attached and be recorded by the city with final plan approval.

### ***Irrigation Facilities***

Relocation or changes of any existing irrigation facilities, if any, will require the approval of the entity in control of the facility.

### ***Parcel Information***

The deed provided with the application is dated 3 May 2018. As the site is a portion of an original lot within a subdivision, please provide evidence the parcel is an original lot/parcel of record existing as is prior to 1 January 1988.

We have no other comments regarding this request at this time.



## DEVELOPMENT SERVICES DEPARTMENT

6015 Glenwood Street ■ Garden City, Idaho 83714 ■ [www.gardencityidaho.org](http://www.gardencityidaho.org)  
Phone 208/472-2921 ■ Fax 208/472-2996 ■ [planning@gardencityidaho.org](mailto:planning@gardencityidaho.org)

March 26, 2019

Dear Property Owner:

This is an Official Notice of a Public Hearing regarding a property near your own. You are invited to attend a public hearing of the Planning and Zoning Commission on Wednesday, **April 17, 2019 at 6:30pm** and offer your testimony for consideration at Garden City City Hall, 6015 N. Glenwood Street, Garden City, Idaho. **Anyone who submits written or oral testimony has the right to appeal all or a portion of the decision.** Applicants or affected property owners shall have no more than fourteen (14) days after a final decision is rendered to request reconsideration by the final decision-maker. If you wish to offer testimony on this item and are unable to attend this meeting, you may submit your comments to the Garden City Development Services office and they will be entered in the public record on your behalf. *Due to sunshine laws we request that the applicant or public do not contact the decision makers directly. Please either submit your comments through staff or on the record at the public hearing. Auxiliary aids or services for persons with disabilities are available upon request. Please call Development Services three (3) or more days prior to this public meeting so that arrangements can be made.*

**APPLICATION MPUDFY2019-1:** Pam Gaines with neUdesign Architecture is requesting Planning and Zoning Commission approval for a Site Layout Template and Minor Planned Unit Development to be located at 322 E. 44th Street; Ada County Parcel R2734500512, S 170' Lot 16, Block 2, Fairview Acres Sub #1. The property is zoned R-3 and located in the Mixed Use Residential designation of the Comprehensive Plan.



The application materials can be found online at [www.gardencityidaho.org](http://www.gardencityidaho.org) in the correlating date of the hearing in the 'Calendar/Agendas' link on the home page. A staff report and draft decision document will also be available one week prior to the hearing.

### **What to Expect at a Public Hearing:**

Each application on the agenda will adhere to the following procedure:

1. The applicant will have the ability to represent the application (default 15 minute time limit).
2. A staff member will present the *Staff Report* (default 15 minute time limit).
3. The Chair will open the Public Hearing during which time you will have the ability to give testimony (default 3 minute time limit per person and up to 15 minutes time limit for spokesman in cases where spokesmen are pre-authorized by the chairman time limit).
4. The applicant will then be able to give rebuttal testimony.
5. Close of Public Hearing and discussion among decision making body.
6. The decision makers may approve, deny, continue for additional deliberations or make a recommendation to City Council.

**General Rules for Testimony:**

1. No person shall be permitted to testify or speak before the hearing agency at a public hearing unless such person has signed his name and written his contact address on sign-up sheets to be provided by the city. This requirement shall not apply to staff or technical witnesses directed by the Chairperson/Mayor to give evidence or information to the hearing agency.
2. No person shall be permitted to speak before the Committee/Council/Commission at a public hearing until such person is recognized by the chairperson.
3. Testimony should directly address the subject at hand.
4. Testimony should not be repetitious with other entries into the record.
5. Testimony should not be personally derogatory.
6. Testimony should comply with time restrictions established by the hearing agency.
7. If oral testimony fails to comply with the aforementioned standards, the chairperson may declare such testimony out of order and require it to cease.
8. All public hearing proceedings shall be recorded electronically and all persons speaking at such public hearings shall speak before a microphone in such a manner as will assure that the recorded testimony or remarks will be complete.

**Standards for Written Testimony:**

Written testimony and exhibits from the public to be admitted at a public hearing shall comply with the following standards:

1. Written testimony and exhibits must be submitted at least seven (7) calendar days prior to the date of the pertinent public hearing. This provision may be varied through notice to potential hearing participants.
2. Written testimony should include the signature and address of the submitter.
3. Written testimony should address the issue at hand.
4. Written testimony should not be personally derogatory.
5. If written testimony or an exhibit fails to comply with the aforementioned standards, the Chairperson/Mayor or Committee/Council/Commission may declare such testimony inadmissible.

If you wish to give testimony and cannot attend the public hearing please submit the following form, or any additional written testimony containing the following information below to Garden City Development Services no later than **Tuesday, April 9, 2019.**

**Garden City Development Services, 6015 N. Glenwood St., Garden City, Idaho 83714**

.....  
**MPUDFY2019-1 – Site Layout Template and Minor Planned Unit Development**

Your Name \_\_\_\_\_ Date \_\_\_\_\_

Your Physical Address: \_\_\_\_\_

**(Please select)** I wish to be kept informed of any additional future meeting dates:  Yes  No

**(Please select)** Regarding this application I:  Support the Application  Am Neutral  Oppose the Request

Comments:

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Signature: \_\_\_\_\_

# Garden City Agency Notice - DSR, PZ, CC

## planning

Fri 3/22/2019 4:57 PM

Bcc:bill.bosworth@idfg.idaho.gov <bill.bosworth@idfg.idaho.gov>; building <building@GARDENCITYIDAHO.ORG>; Caleb.Lakey@itd.idaho.gov <Caleb.Lakey@itd.idaho.gov>; Colin Schmidt <cschmidt@GARDENCITYIDAHO.ORG>; Kevin Wallis <kwallis@GARDENCITYIDAHO.ORG>; Lisa Leiby <lleiby@GARDENCITYIDAHO.ORG>; Lindsey Pettyjohn\_Library <lpettyjohn@gardencitylibrary.org>; Elfreda Higgins <ehiggins@GARDENCITYIDAHO.ORG>; Jeff Souza <jsouza@GARDENCITYIDAHO.ORG>; Jeff Souza Home <councilmansouza@cableone.net>; John Evans <jevans@GARDENCITYIDAHO.ORG>; planning <planning@GARDENCITYIDAHO.ORG>; Susanna Smith <ssmith@GARDENCITYIDAHO.ORG>; Troy Vaughn <tvaughn@GARDENCITYIDAHO.ORG>; Abe Blount <ablount@gardencitypolice.org>; Charles Wadams <cwadams@GARDENCITYIDAHO.ORG>; Pam Beaumont <pbeaumont@GARDENCITYIDAHO.ORG>; Pam Beaumont Home <pbeaumont730@gmail.com>; William Mitchell <wmitchell@GARDENCITYIDAHO.ORG>; Joe Canning\_Work <jdcanning@baengineers.com>; Jenah Thornborrow <jthorn@GARDENCITYIDAHO.ORG>; Lindsey Pettyjohn\_Library <lpettyjohn@gardencitylibrary.org>; Pam Beaumont Home <pbeaumont730@gmail.com>; Rick Allen <rallen@gardencitypolice.org>; Tom Patterson <tpatterson@gardencitypolice.org>; Alicia.martin@deq.idaho.gov <Alicia.martin@deq.idaho.gov>; bob\_kibler@fws.gov <bob\_kibler@fws.gov>; Bryce@sawtoothlaw.com <Bryce@sawtoothlaw.com>; bujak.charissa@epa.gov <bjak.charissa@epa.gov>; Carla.bernardi@cableone.biz <Carla.bernardi@cableone.biz>; clittle@achdidaho.org <clittle@achdidaho.org>; cmiller@compassidaho.org <cmiller@compassidaho.org>; criddle@cityofboise.org <criddle@cityofboise.org>; dfluke@cityofboise.org <dfluke@cityofboise.org>; dgordon@cityofboise.org <dgordon@cityofboise.org>; dsperfma@adaweb.net <dsperfma@adaweb.net>; exline.eric@westada.org <exline.eric@westada.org>; greg.j.martinez@usace.army.mil <greg.j.martinez@usace.army.mil>; info@westernada.com <info@westernada.com>; jamie.huff@dhs.gov <jamie.huff@dhs.gov>; kmoeller@idahostatesman.com <kmoeller@idahostatesman.com>; lanette.daw@boiseschools.org <lanette.daw@boiseschools.org>; lbadigia@cdhd.idaho.gov <lbadigia@cdhd.idaho.gov>; lisaharm@msn.com <lisaharm@msn.com>; mack@settlersirrigation.org <mack@settlersirrigation.org>; mark.wasdahl@itd.idaho.gov <mark.wasdahl@itd.idaho.gov>; mark@pioneerirrigation.com <mark@pioneerirrigation.com>; mreno@cdhd.idaho.gov <mreno@cdhd.idaho.gov>; msinglet@intgas.com <msinglet@intgas.com>; nadine.curtis@idpr.idaho.gov <nadine.curtis@idpr.idaho.gov>; newdrycreek@hotmail.com <newdrycreek@hotmail.com>; Projectmgr@boiseriver.org <Projectmgr@boiseriver.org>; pvc1953@aol.com <pvc1953@aol.com>; rjohnson@cityofboise.org <rjohnson@cityofboise.org>; rolson@republicservices.com <rolson@republicservices.com>; rphillips@idahopower.com <rphillips@idahopower.com>; Shelley@nacfire.org <Shelley@nacfire.org>; syarrington@achdidaho.org <syarrington@achdidaho.org>; tlaws@cityofboise.org <tlaws@cityofboise.org>; wbsdmb@qwestoffice.net <wbsdmb@qwestoffice.net>; William.m.terry@usps.gov <William.m.terry@usps.gov>; d3development.services@itd.idaho.gov <d3development.services@itd.idaho.gov>; RMurbach@republicservices.com <RMurbach@republicservices.com>; yulia@sunshinehomesllc.com <yulia@sunshinehomesllc.com>; building <building@GARDENCITYIDAHO.ORG>; wed2no1@yahoo.com <wed2no1@yahoo.com>;

THE FOLLOWING ITEMS WILL BE CONSIDERED IN A QUASI JUDICIAL HEARING AT GARDEN CITY IDAHO:

**CPAFY2018-7:** City of Garden City is requesting an amendment of the Garden City 2006 adopted Comprehensive Plan in order to identify significant changes in the community since the Plan was adopted, amend the plan to reflect the completion of implementation actions, amend and add to the Goals, Policies and Strategic Actions to reflect changing priorities, ensure compliance with state statutes, and amend the land use map.

**CPAFY2019-2:** City of Garden City is requesting an amendment of Title 8 [Development Code] Chapter 6 [Administration] Article A [General Provisions] and Title 2 [Boards and Commissions]. The intent of the proposed code amendment is to repeal certain general administrative processes and provisions related to the creation of boards and adopt those provisions by resolution.

**MPUDFY2019-1:** Pam Gaines with neUdesign Architecture is requesting Planning and Zoning Commission approval for a Minor Planned Unit Development to be located at 322 E. 44th Street; Ada County Parcel R2734500512, S 170' Lot 16, Block 2, Fairview Acres Sub #1. The property is zoned R-3 and located in the Mixed Use Residential designation of the Comprehensive Plan.

**Application materials can be found at:**

<https://gardencityidaho.org/index.asp?SEC=435AAA7D-EB0F-4395-AA73-B9091191194B&DE=AC475746-109A-4659-8889-11F31890485F>

NOTE: Please send comments to Garden City Development Services by **April 4, 2019**. If you do not respond by this date it will be considered "No Comment." It is the responsibility of those interested and/or affected jurisdictions to schedule their own applicable meeting. In some cases, Garden City's applications are processed before other jurisdictions' response, and the conditions of approval state that the approval is subject to statutory requirements of affected other jurisdictions. Please address your comments to the applicant as well as Development Services Department [planning@gardencityidaho.org](mailto:planning@gardencityidaho.org) or Development Services Department, 6015 Glenwood, Garden City, Idaho 83714.



Garden City Development Services  
Planning

City of Garden City

p: 208-472-2921

f: 208-472-2926

a: 6015 Glenwood Street, Garden City, ID 83714

w: [www.gardencityidaho.org](http://www.gardencityidaho.org)

**From:** [planning](#)  
**Subject:** Garden City Agency Notice - DSR, PZ, CC  
**Date:** Friday, March 22, 2019 4:57:53 PM

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THE FOLLOWING ITEMS WILL BE CONSIDERED IN A QUASI JUDICIAL HEARING AT GARDEN CITY IDAHO:

**CPAFY2018-7:** City of Garden City is requesting an amendment of the Garden City 2006 adopted Comprehensive Plan in order to identify significant changes in the community since the Plan was adopted, amend the plan to reflect the completion of implementation actions, amend and add to the Goals, Policies and Strategic Actions to reflect changing priorities, ensure compliance with state statutes, and amend the land use map.

**CPAFY2019-2:** City of Garden City is requesting an amendment of Title 8 [Development Code] Chapter 6 [Administration] Article A [General Provisions] and Title 2 [Boards and Commissions]. The intent of the proposed code amendment is to repeal certain general administrative processes and provisions related to the creation of boards and adopt those provisions by resolution.

**MPUDFY2019-1:** Pam Gaines with neUdesign Architecture is requesting Planning and Zoning Commission approval for a Minor Planned Unit Development to be located at 322 E. 44th Street; Ada County Parcel R2734500512, S 170' Lot 16, Block 2, Fairview Acres Sub #1. The property is zoned R-3 and located in the Mixed Use Residential designation of the Comprehensive Plan.

**Application materials can be found at:**

<https://gardencityidaho.org/index.asp?SEC=435AAA7D-EB0F-4395-AA73-B9091191194B&DE=AC475746-109A-4659-8889-11F31890485F>

NOTE: Please send comments to Garden City Development Services by **April 4, 2019**. If you do not respond by this date it will be considered "No Comment." It is the responsibility of those interested and/or affected jurisdictions to schedule their own applicable meeting. In some cases, Garden City's applications are processed before other jurisdictions' response, and the conditions of approval state that the approval is subject to statutory requirements of affected other jurisdictions. Please address your comments to the applicant as well as Development Services Department [planning@gardencityidaho.org](mailto:planning@gardencityidaho.org) or Development Services Department, 6015 Glenwood, Garden City, Idaho 83714.



## Garden City Development Services

### Planning

#### City of Garden City

p: 208-472-2921

f: 208-472-2926

a: 6015 Glenwood Street, Garden City, ID 83714

w: [www.gardencityidaho.org](http://www.gardencityidaho.org)



## LEGAL NOTICE OF PUBLIC HEARINGS

PURSUANT TO ESTABLISHED PROCEDURE, NOTICE IS HEREBY GIVEN THAT THE GARDEN CITY DESIGN REVIEW COMMITTEE WILL HOLD A PUBLIC HEARING AT 3:00 P.M. ON MONDAY, APRIL 15, 2019, AT GARDEN CITY HALL, 6015 GLENWOOD STREET, GARDEN CITY, IDAHO TO CONSIDER A REQUEST FOR:

**CPAFY2018-7:** City of Garden City is requesting an amendment of the Garden City 2006 adopted Comprehensive Plan in order to identify significant changes in the community since the Plan was adopted, amend the plan to reflect the completion of implementation actions, amend and add to the Goals, Policies and Strategic Actions to reflect changing priorities, ensure compliance with state statutes, and amend the land use map.

**CPAFY2019-2:** City of Garden City is requesting an amendment of Title 8 [Development Code] Chapter 6 [Administration] Article A [General Provisions] and Title 2 [Boards and Commissions]. The intent of the proposed code amendment is to repeal certain general administrative processes and provisions related to the creation of boards and adopt those provisions by resolution.

THE FOLLOWING ITEMS WILL BE HEARD AT A PUBLIC HEARING BEFORE THE GARDEN CITY PLANNING AND ZONING COMMISSION AT 6:30 P.M. ON WEDNESDAY, APRIL 17, 2019, AT GARDEN CITY HALL, 6015 GLENWOOD STREET, GARDEN CITY, IDAHO:

**MPUDFY2019-1:** Pam Gaines with neUdesign Architecture is requesting Planning and Zoning Commission approval for a Minor Planned Unit Development to be located at 322 E. 44th Street; Ada County Parcel R2734500512, S 170' Lot 16, Block 2, Fairview Acres Sub #1. The property is zoned R-3 and located in the Mixed Use Residential designation of the Comprehensive Plan.

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**CPAFY2019-2:** City of Garden City is requesting an amendment of Title 8 [Development Code] Chapter 6 [Administration] Article A [General Provisions] and Title 2 [Boards and Commissions]. The intent of the proposed code amendment is to repeal certain general administrative processes and provisions related to the creation of boards and adopt those provisions by resolution.

THE FOLLOWING ITEM WILL BE HEARD AT A PUBLIC HEARING BEFORE THE GARDEN CITY COUNCIL AT 6:00 P.M. ON MONDAY, APRIL 22, 2019, AT GARDEN CITY HALL, 6015 GLENWOOD STREET, GARDEN CITY, IDAHO:

**CPAFY2019-2:** City of Garden City is requesting an amendment of Title 8 [Development Code] Chapter 6 [Administration] Article A [General Provisions] and Title 2 [Boards and Commissions]. The intent of the proposed code amendment is to repeal certain general administrative processes and provisions related to the creation of boards and adopt those provisions by resolution.

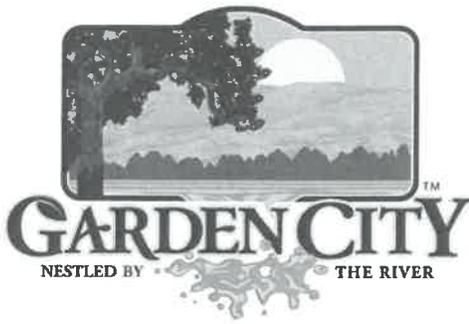
THE FOLLOWING ITEM WILL BE HEARD AT A PUBLIC HEARING BEFORE THE GARDEN CITY COUNCIL AT 6:00 P.M. ON MONDAY, MAY 13, 2019, AT GARDEN CITY HALL, 6015 GLENWOOD STREET, GARDEN CITY, IDAHO:

**CPAFY2018-7:** City of Garden City is requesting an amendment of the Garden City 2006 adopted Comprehensive Plan in order to identify significant changes in the community since the Plan was adopted, amend the plan to reflect the completion of implementation actions, amend and add to the Goals, Policies and Strategic Actions to reflect changing priorities, ensure compliance with state statutes, and amend the land use map.

We are pleased to make reasonable accommodations for members of the public who are disabled or require special assistance. For those requiring special arrangements for any meeting, please contact our office at 472-2921, at least 72 hours prior to the time of the meeting. Due to sunshine laws it is requested that the applicant

and public do not contact the decision makers directly. All documentation and comments should be submitted through staff or at the Public Hearing.

Publish 3.29.2019



6015 Glenwood Street • Garden City, Idaho 83714  
Phone 208/472-2921 • Fax 208/472-2926 • www.gardencityidaho.org

## Affidavit of Property Posting

I, (name) Susan G. Samson do hereby attest that the property located at (site address) 322 E 44th Street, Garden City, Idaho, was posted on (date) 4/6/19. This posting was for (application number) MOUDFX 2019-1. The date of posting was no less than ten (10) days prior to the public hearing for which the application is to be heard in conformance with Section 8-6A-7 of the Garden City Code. The property was posted in compliance with Garden City standards of form, size, lettering, content, and placement for posting property for public notice.

*\*must submit clear and legible photos of the property posting with affidavit\**

BY: Susan G. Samson

TITLE property owner

State of Idaho)  
)SS  
County of Ada)

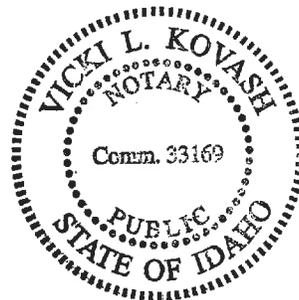
On this 8th day of April (month), 2019 (year), before me, the undersigned, a Notary Public in and for said State, personally appeared Susan G. Samson (person responsible for posting) known or identified to me to be the person whose name is subscribed to be the foregoing instrument, and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

Vicki L. Kovash  
Notary Public for Idaho

Residing at Eagle, ID

Commission Expires: 12/20/23



**CITY OF GARDEN CITY  
PUBLIC HEARING NOTICE**

THERE WILL BE A PLANNING & ZONING COMMISSION HEARING  
ON WEDNESDAY, APRIL 17TH AT 6:30PM  
AT CITY HALL 6015 GLENWOOD

Purpose: **TO CONSIDER MINOR PUD**  
Property Location: 322 E. 44th St.  
Application By: S&S Townhomes / Naudesign Architecture  
Contact the city planner at 472-2921 with any questions

SPEED  
LIMIT  
**20**



**CITY OF GARDEN CITY  
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