



DESIGN REVIEW	
Permit info: <u>DSRFY2025-0001</u>	
Application Date: <u>10/28/24</u>	Rec'd by: <u>CW</u>
FOR OFFICE USE ONLY	

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921
 ▪ www.gardencityidaho.org ▪ building@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: Richard Wilmot	Name: Baumgardner Trust - Kristen Baumgardner
Company: Chrysalis Architecture + Planning	Company:
Address: 134 South 5th Street	Address: 9500 West Riverside Lane
City: Boise	City: Garden City
State: Idaho Zip: 83702	State: Idaho Zip: 83714
Tel.: 208.596.1565	Tel.: 208.761.4451
E-mail: rw@chrysalis-architecture.com	E-mail: kbbuyonline@gmail.com

PROPERTY AND DESIGN INFORMATION

This application is a request to: Construct New Addition Subdivision
 X - Renovation of existing structure

Site Address: 9500 West Riverside Lane		
Subdivision Name: Riverside Ranches Subdivision	Lot: 5	Block: 1
Tax Parcel Number: R7476470053	Zoning: R-2	Total Acres: 1.377
Proposed Use: Accessory Dwelling Unit	Floodplain: Yes No	

OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

Bike and Pedestrian: How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

Parking and parking lot standards: Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

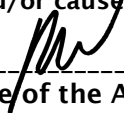
Community Interaction: How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

Landscaping: Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

Building Design: How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an ou


10/01/24
K Baumgardner, Trustee

 Signature of the Applicant (date)

APPLICATION INFORMATION REQUIRED

Note:

AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Compliance Statement and Statement of Intent | <input checked="" type="checkbox"/> Affidavit of Legal Interest |
| <input checked="" type="checkbox"/> Neighborhood Map | <input checked="" type="checkbox"/> Sustainability Checklist <i>*if applicable</i> |
| <input checked="" type="checkbox"/> Site Plan | |
| <input checked="" type="checkbox"/> Landscape Plan | |
| <input checked="" type="checkbox"/> Schematic Drawing | |
| <input checked="" type="checkbox"/> Lighting Plan | |
| <input checked="" type="checkbox"/> Topographic Survey | |
| <input checked="" type="checkbox"/> Grading Plan | |
| <input checked="" type="checkbox"/> Will Serve Letter **If required, must submit a Fire Flow Request | |
| <input checked="" type="checkbox"/> Ada County Approved Addresses | |
| <input checked="" type="checkbox"/> Waiver Request of Application Materials | |



PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- Purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- 8 ½" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN:

- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- Sidewalks, bike and pedestrian paths.
- Berms, walls, screens, hedges and fencing.
- Location and width of easements, canals, ditches, drainage areas.
- Location, dimensions and type of signs.
- Trash storage and mechanical equipment and screening.
- Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- Log depicting square footage of impervious surface, building and landscaping
- Location and height of fences and exterior walls
- Location and dimensions of outdoor storage areas
- Location of utilities and outdoor serviced equipment and areas
- Location of any proposed public art, exterior site furniture, exterior lighting, signage

INFORMATION REQUIRED ON LANDSCAPE PLAN:

- Scale the same as the site plan.
- Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- Size, location and species of existing vegetation labeled to remain or to be removed.
- All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location
- Locations and dimensions of open space and proposed storm water systems

INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):

- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color
- Sample materials (as determined by the staff)

INFORMATION REQUIRED ON LIGHTING PLAN:

- 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- Location of municipal street lights

INFORMATION FOR TOPOGRAPHIC SURVEY:

- The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

INFORMATION REQUIRED ON GRADING PLAN:

- 11" x 17" size minimum
- Scale not less than one inch equals twenty feet (1" = 20')
- Two foot (2') contours for the entire proposal site
- One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- Existing easement and utility locations
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- Proposed storm water systems

INFORMATION REQUIRED MASTER SIGN PLAN:

****Required for developments of two or more buildings:***

- Location, elevations, and materials of proposed signage

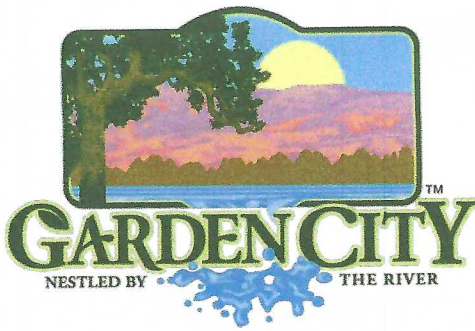
INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:

****Required if irrigation canal/irrigation ditch runs through property or along property lines:***

- Letter from company indicating approval

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- Statement must include a list of the application materials to be waived and an explanation for the request.



6015 Glenwood Street ■ Garden City, Idaho 83714
Phone 208 - 472-2921 ■ Fax 208 - 472-2926 ■
www.gardencityidaho.org

Affidavit of Legal Interest

State of Idaho)
)SS
County of Ada)

I, Baumgardner Family Revocable Trust 9500 Riverside Ar
Name Address
Garden City ID 83714
City State and Zip

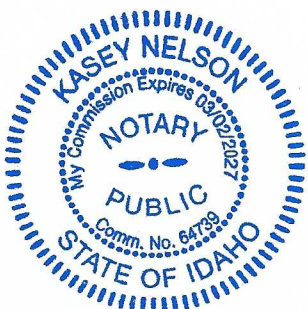
Being first duly sworn upon oath, depose and say:

- That I am the record owner of the property described on the attached, and I grant my permission
to CHRYSLIS ARCHITECTURE + PLANNING, 134 SOUTH 5TH STREET, BOISE, IDAHO 83702
Name Address
to submit the accompanying application pertaining to that property.
- I agree to indemnify, defend and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
- I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.

Dated this 10th 1st day of OCTOBER, 2024

K Baumgardner, Trustee
Signature

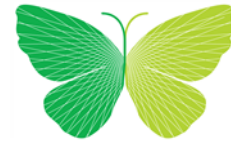
Subscribed and sworn to before me the day and year first above written



[Signature]
Notary Public for Idaho

Residing at: Boise, ID

My Commission expires March 2, 2027



October 4, 2024

Garden City – Development Services
6015 North Glenwood Street
Garden City, Idaho 83714

Re: Design Review - **Project Description – Baumgardner Accessory Dwelling Unit**

Dear Planner :

Thank you for the opportunity to present our Design Review application for an Accessory Dwelling Unit (ADU). The ADU is proposed within an existing detached garage building located at 9500 West Riverside Lane in Riverside Ranches Subdivision. The property is zoned R-2 and allows, by Design Review application, to request an Accessory Dwelling Unit. The ADU will occur in a portion of the existing detached garage, some garage space will remain. The ADU will include a kitchen, restroom, bedroom, bedroom closet, living and dining area.

The square footage of the ADU is allowed to be 1,250 square feet, our proposed ADU square footage is 1,243 square feet.

The existing exterior elevations of the detached garage building will remain unchanged, All doors, windows and exterior finishes will remain unchanged. All doors and windows currently accommodate life safety and exiting requirements.

With our application we request the following waivers:

1. Landscape Plan – A landscape plan is deemed not necessary, given the site landscape is proposed to remain un-changed. All planting, irrigation and paving surfaces will remain as existing.
2. Lighting Plan – A lighting plan is deemed not necessary, given no new exterior lighting is proposed and all existing exterior light fixtures will remain.
3. Topographic Survey – A topographic survey is deemed not necessary, given no new buildings, additions or increased square footage is proposed. All site elements shall remain as existing.
4. Grading Plan – A grading plan is deemed not necessary, given no changes to the existing grading are proposed.
5. Will Serve Letter – The property, existing main house and existing detached garage are part of an existing approved subdivision served by the fire department. We do not anticipate the service level to change.

Thank you for the consideration and we look forward to the review and approval of our Design Review application for an Accessory Dwelling Unit. Please contact our office if you have any further questions.

Sincerely,

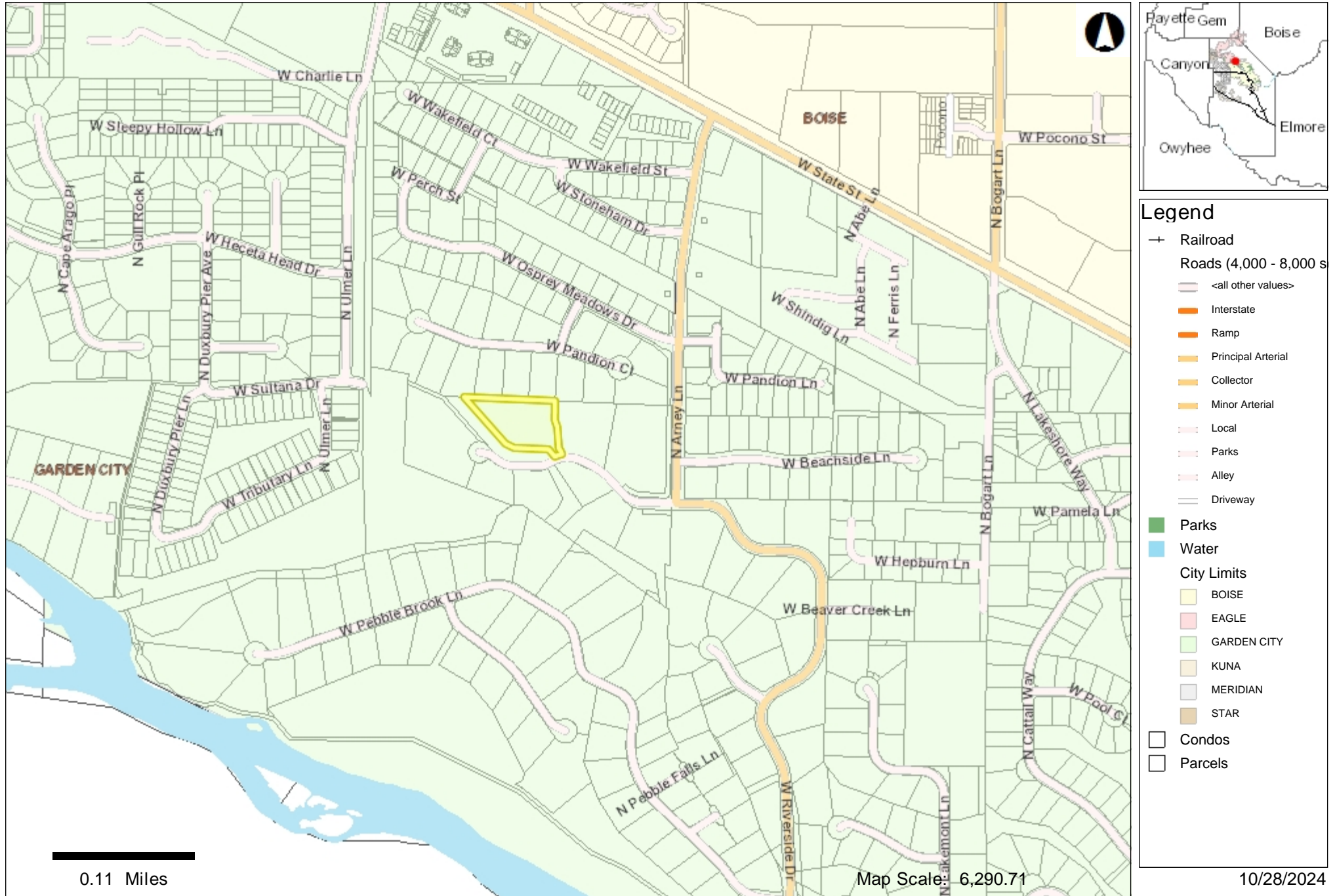
CHRYSALIS ARCHITECTURE + PLANNING

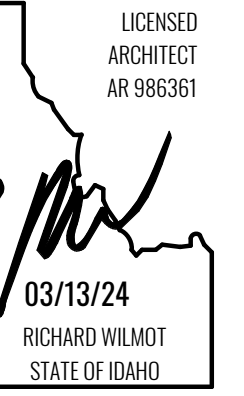
By


Richard Wilmot
p. 208.596.1565
e. rw@chrysalis-architecture.com

Ada County Assessor

This map is a user generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION OR LEGAL PURPOSES.





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REVISION	DATE	DESCRIPTION
#		

BAUMGARDNER ADU

9500 WEST RIVERSIDE LANE, GARDEN CITY, IDAHO 83714

COVER SHEET

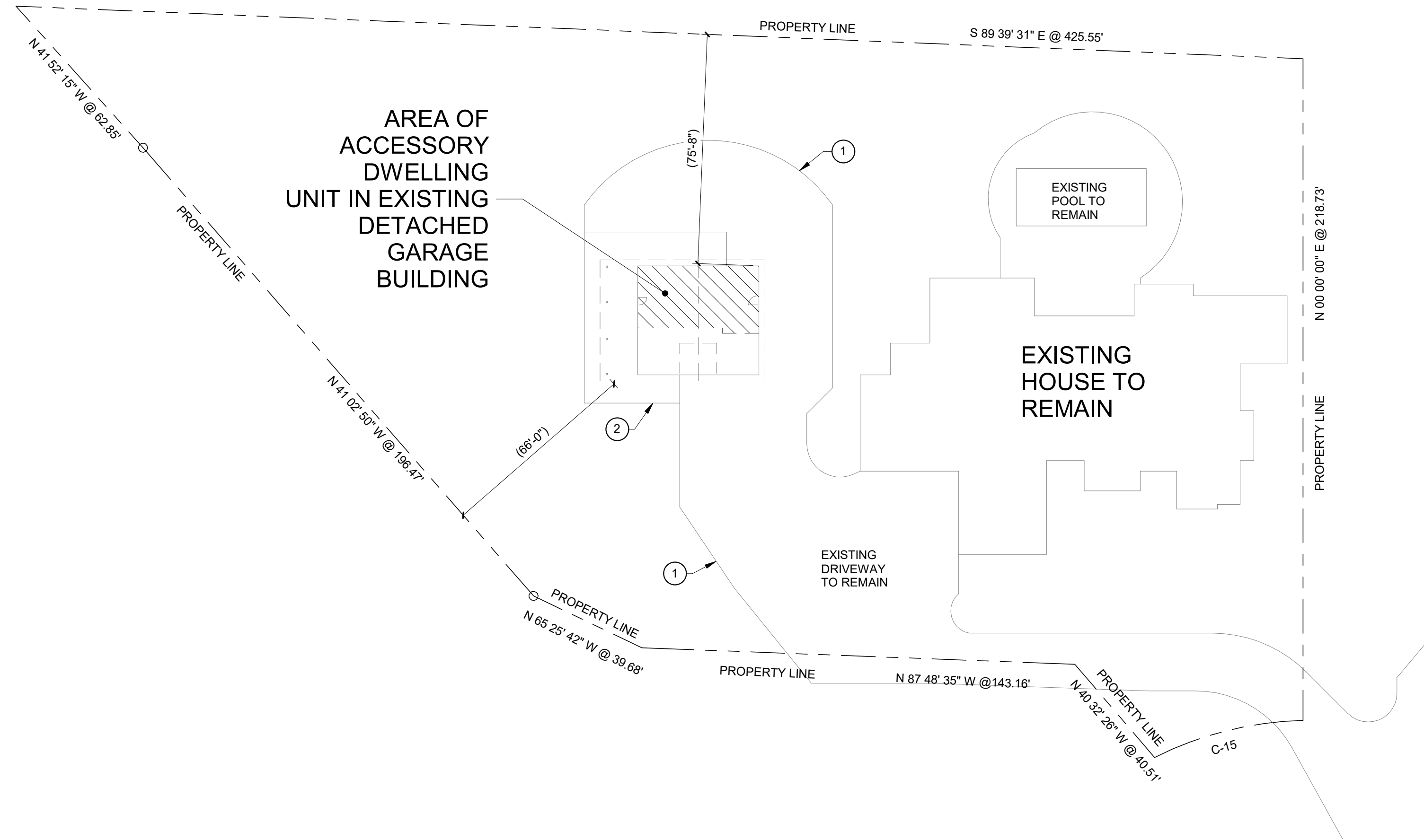
RW
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03/13/24
2405

PROJECT NUMBER:

CONSTRUCTION DRAWINGS

SHEET NUMBER:

BAUMGARDNER ADU



SITE ANALYSIS

ADDRESS :	9500 WEST RIVERSIDE LANE GARDEN CITY, 83714
LEGAS DESCRIPTION :	LOT 05 BLOCK 1
ASSESSORS PARCEL NUMBER :	R7476470053
JURISDICTION :	GARDEN CITY
SUBDIVISION :	RIVERSIDE RANCHES
ZONING :	R-2
SITE AREA :	1.377 ACRES
ACERAGE - SQUARE FOOTAGE -	59,982 SQUARE FEET
BUILDING AREA :	
MAIN HOUSE	
LEVEL 1 -	4,860 SQUARE FEET
GARAGE -	1,483 SQUARE FEET
COVERED PORCH -	435 SQUARE FEET
COVERED PATIO -	332 SQUARE FEET
ACCESSORY DWELLING UNIT	
LEVEL 1 -	800 SQUARE FEET
LEVEL 2 -	443 SQUARE FEET
SETBACKS :	
FRONT (STREET) -	35'-0"
SIDE (INTERIOR) -	15'-0"/20'-0"
REAR -	20'-0"

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS THAT ARE REQUIRED BEFORE AND DURING THE CONSTRUCTION PROCESS PRIOR TO THE COMMENCEMENT OF ANY WORK, AND SHALL BE REQUIRED TO CONTACT THE PROPER AUTHORITIES HAVING JURISDICTION.
2. THE CONTRACTOR SHALL CAREFULLY READ, STUDY, AND UNDERSTAND ALL PLANS AND SPECIFICATIONS FOR TRADES. COORDINATION BETWEEN TRADES WILL BE NECESSARY AND THE RESPONSIBILITY OF THE CONTRACTOR. ANY QUESTIONS THAT ARISE SHALL BE CLARIFIED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
3. CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS, ETC., AT THE SITE AND WILL COORDINATE WORK PERFORMED BY ALL TRADES.
4. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DISCREPANCIES ARE TO BE CLARIFIED WITH THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
5. CONTRACTOR WILL NOTIFY ARCHITECT / ENGINEER OF ANY DISCREPANCIES, OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK INVOLVED. IN ALL CASES, UNLESS OTHERWISE DIRECTED, THE MOST STRINGENT REQUIREMENTS WILL GOVERN.
6. THE ARCHITECT'S APPROVAL MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO CHANGES IN DIMENSIONS, DESIGN, MATERIALS, PRODUCTS, AND FINISHES. IN NO CASE MAY THE CONTRACTOR MAKE THESE CHANGES WITHOUT THE APPROVAL OF THE ARCHITECT.
7. ALL CONSTRUCTION SHALL CONFORM TO AND STRICTLY COMPLY WITH ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO THE LATEST APPLICABLE VERSION OF THE INTERNATIONAL RESIDENTIAL CODE, AND ALL AMENDMENTS ENFORCED BY THE AUTHORITIES HAVING JURISDICTION.
8. PROVIDE A CONTINUOUS BEAD OF ELASTOMERIC SEALANT OR APPROPRIATE CAULKING MATERIAL AT ALL BETWEEN SIMILAR AND DISSIMILAR MATERIALS.
9. ALL DIMENSIONS ARE TO FACE OF STUD (FOS) OR TO FACE OF FOUNDATION WALL (FOFND) OR TO FACE OF FINISH (FOF), UNLESS NOTED OTHERWISE.
10. ALL WOOD IN CONTACT WITH CONCRETE, SHALL BE TREATED. ALL WOOD AT GRADE OR BELOW GRADE SHALL BE TREATED.
11. VISITS TO THE JOB SITE BY THE ARCHITECT OR HIS CONSULTANTS DO NOT CONSTITUTE APPROVAL OF THE WORK PERFORMED BY THE GENERAL CONTRACTOR OR HIS SUBCONTRACTORS. ANY SUCH VISITS ARE SOLELY FOR THE PURPOSE OF OBSERVING THE WORK BEING PERFORMED.
12. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR THE COORDINATION OF WORK AND FOR THE WORK PERFORMED BY THE SUBCONTRACTORS.
13. THE CONTRACTOR SHALL VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING CONSTRUCTION.
14. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
15. ASSUME MINIMUM SOLID BEARING VALUE OF 1,500 PSF, SANDY LOAM AND CLAY. OTHER CONDITIONS MAY REQUIRE SPECIAL PROVISIONS IN FOUNDATION DESIGN AND CONSTRUCTION. CONTRACTOR TO VERIFY AS REQUIRED PRIOR TO CONSTRUCTION.
16. ALL CONCRETE STRENGTH TO BE MINIMUM 3,500 P.S.I.
17. FOUNDATION PERIMETER TO BE INSULATED WITH MINIMUM R-19 INSULATION TO TOP OF FOOTING.
18. MINIMUM CLEARANCE FROM FLOOR JOISTS TO EARTH BELOW TO BE 1'-6".
19. ALL CONTRACTORS ARE TO CLEAN AND INSPECT THEIR WORK PRIOR TO LEAVING PROJECT.

SHEET INDEX

G0.00	COVER SHEET
A1.00	FLOOR PLAN
A1.01	FLOOR PLAN
A4.00	EXTERIOR ELEVATIONS

SITE PLAN NOTES

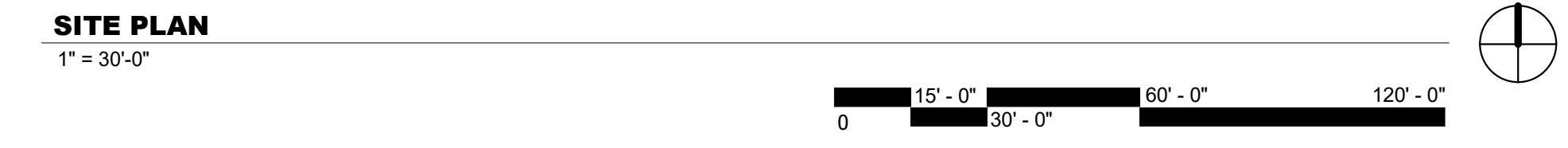
1. DRAWINGS & SPECIFICATIONS ARE COMPLEMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK. NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
2. DO NOT SCALE DRAWINGS. IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
3. UNLESS NOTED OTHERWISE SLOPE GRADE MAXIMUM 2% WITHIN 10' OF BUILDING, THEN 5% TO MATCH EXISTING GRADE ELEVATIONS. SLOPE ALL WALKING SURFACES MAXIMUM 5% IN THE DIRECTION OF TRAVEL AND MAXIMUM 2% AT LANDING, CHANGE OF DIRECTION, AND PERPENDICULAR TO DIRECTION OF TRAVEL.
4. UNLESS NOTED OTHERWISE FOR ALL EXTERIOR CONCRETE PAVEMENT PROVIDE MINIMUM 6" TYPE II, COMPACTED 95%.
5. REFER TO GEO-TECHNICAL REPORT FOR RECOMMENDATIONS OF FILL WITHIN THE EXISTING 100 YEAR FLOOD PLAIN.
6. FINISHED FLOOR ELEVATION IS TO BE AT MINIMUM 1'-6" ABOVE THE HIGHEST ADJACENT CROWN OF ALL ADJACENT STREETS.
7. PROVIDE DRAINAGE SWALES WITH BANKS THAT DO NOT EXCEED 33%.
8. PROVIDE LANDSCAPING AND IRRIGATION THAT MEETS OR EXCEEDS ALL APPLICABLE STANDARDS.
9. VERIFY ALL EXISTING EASEMENT, SETBACKS, DRAINAGE AND UTILITIES FOR CONFORMANCE TO DESIGN PRIOR TO CONSTRUCTION.

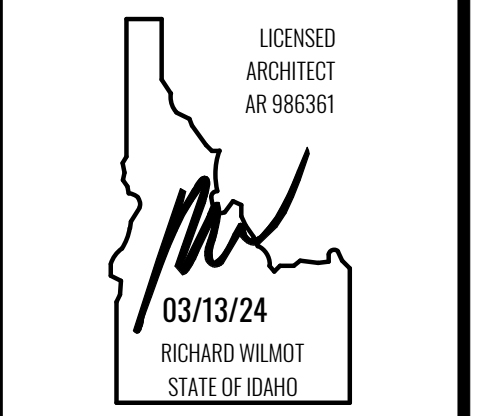
DESIGN CRITERIA

2018 INTERNATIONAL RESIDENTIAL CODE	
2018 INTERNATIONAL ENERGY CONSERVATION CODE	
SEISMIC DESIGN CATERGORY :	C
SITE CLASS :	C (ASSUMED)
BASIC WIND SPEED :	115 M.P.H.
FROST DEPTH :	24 INCHES
SOIL BEARING PRESSURE :	1,500 P.S.I. (ASSUMED)
ROOF LOADS :	
LIVE -	25 PSF
DEAD -	15 PSF
TOTAL -	40 PSF
FLOOR LOADS :	
LIVE -	40 PSF
DEAD -	15 PSF
TOTAL -	55 PSF
DECK LOADS :	
LIVE -	45 PSF
DEAD -	15 PSF
TOTAL -	60 PSF

KEYNOTES - SITE

MARK	DESCRIPTION
1	BOUNDARY OF EXISTING ASPHALT CONCRETE PAVING
2	EXISTING CONCRETE PAVING





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REVISION #	DESCRIPTION	DATE

BAUMGARDNER ADU

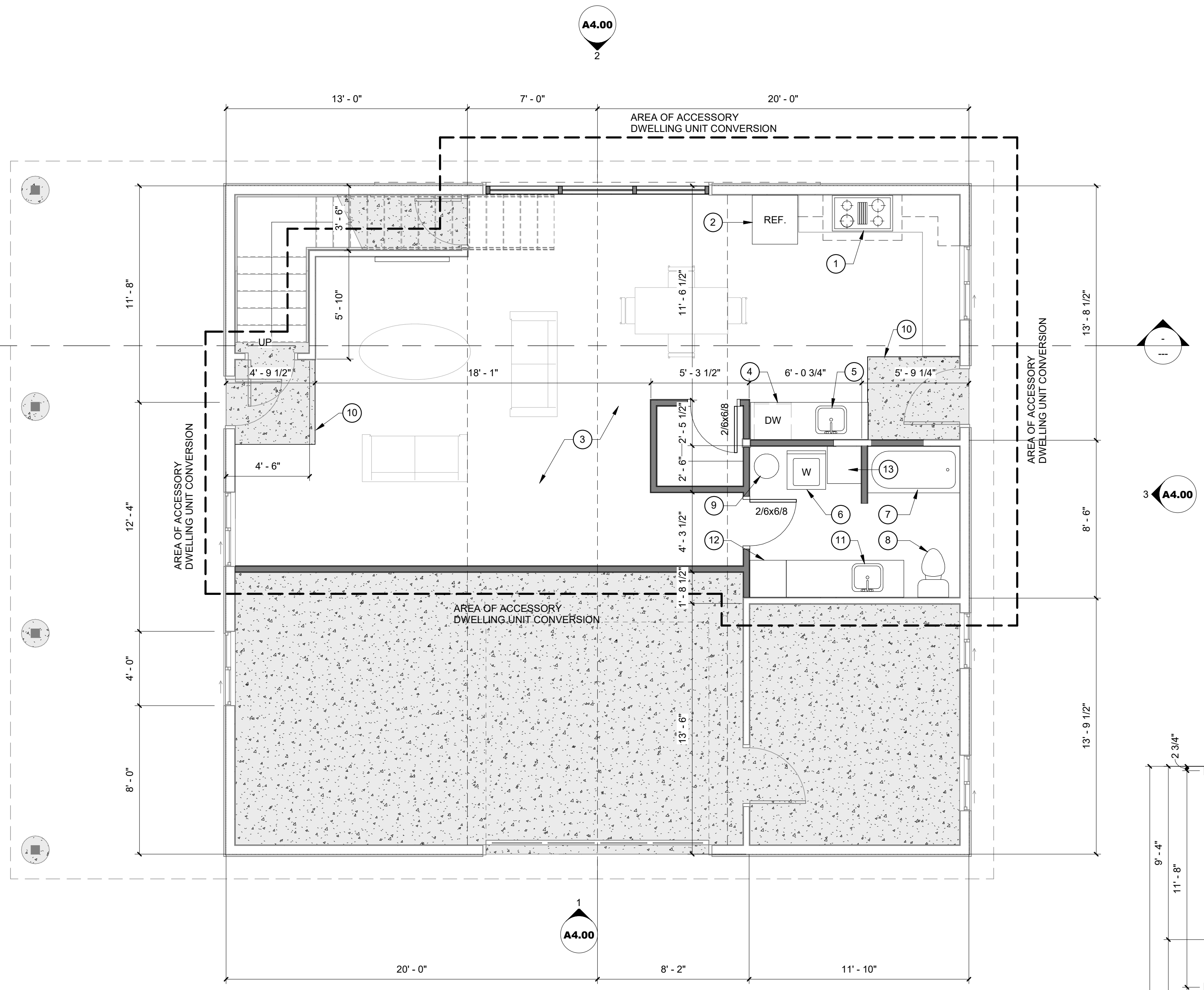
9500 WEST RIVERSIDE LANE, GARDEN CITY, IDAHO 83714

FLOOR PLAN

DRAWN: RW	CHECKED: RW	DATE: 03/13/24	PROJECT NUMBER: 2405
CONSTRUCTION DRAWINGS			

KEYNOTES - FLOOR PLAN	
MARK	DESCRIPTION
1	NEW ELECTRICAL RANGE
2	NEW REFRIGERATOR WITH ICE/WATER
3	NEW 2x6 JOISTS WITH R-30 FOAM INSULATION
4	NEW DISHWASHER
5	RELOCATED SINK
6	NEW WASHER / DRYER, STACKABLE
7	NEW TUB/SHOWER
8	NEW WATER-CLOSET
9	NEW WATER-HEATER
10	NEW STEP
11	NEW LAVATORY
12	NEW LINEN CLOSET
13	NEW CABINET AND COUNTER TOP

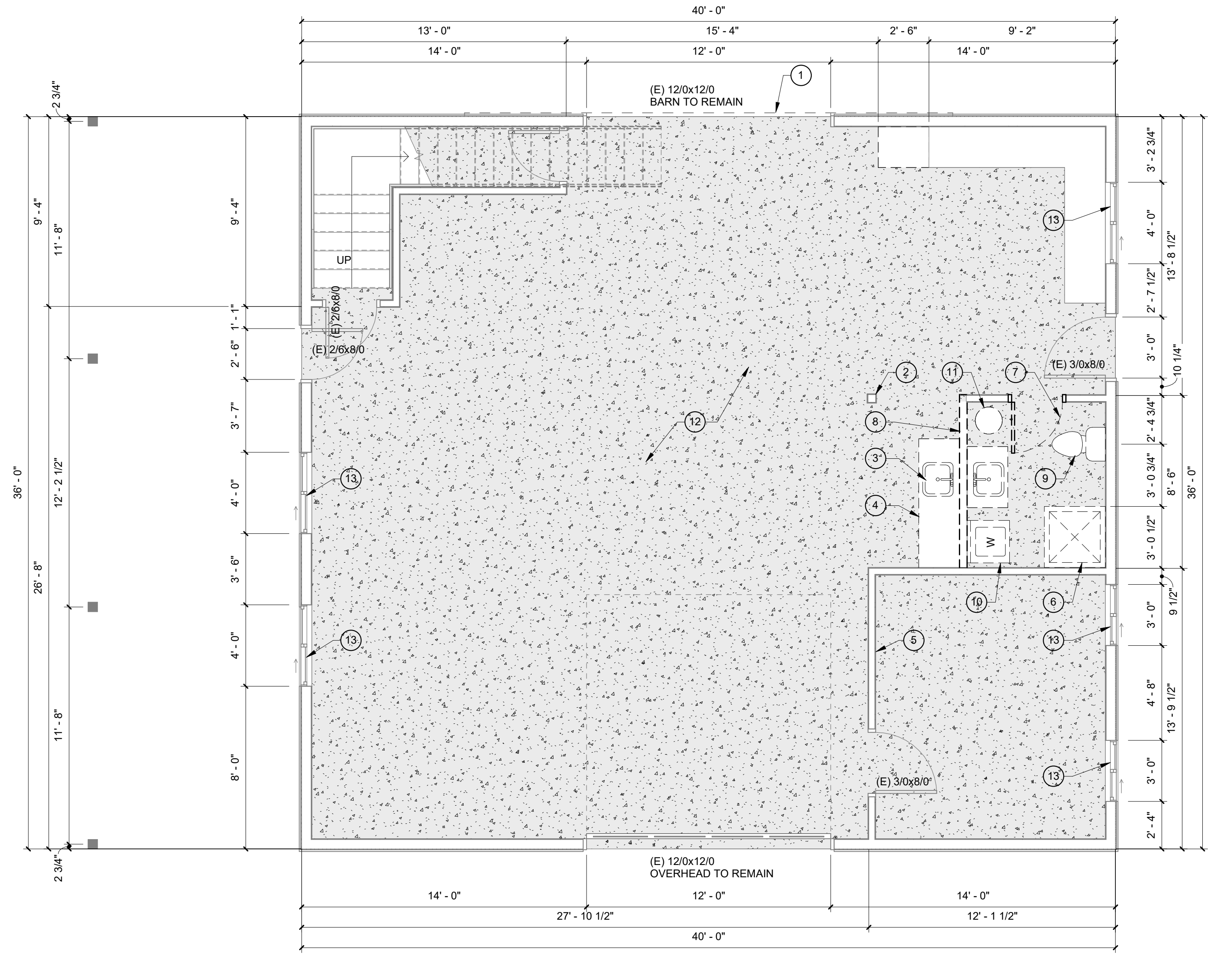
- FLOOR PLAN GENERAL NOTES**
- DRAWINGS & SPECIFICATIONS ARE COMPLIMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK. NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
 - DO NOT SCALE DRAWINGS. IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
 - UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO CENTERLINES OR TO FACE OF FRAMING. CLEAR DIMENSIONS INDICATE DIMENSION BETWEEN FINISHES.
 - UNLESS NOTED OTHERWISE, ALL DOOR JAMBS ARE TO BE SET 4" FROM ADJACENT WALL.
 - UNLESS NOTED OTHERWISE, BRACE ALL CEILINGS AND NON-LOAD BEARING WALLS.
 - UNLESS NOTED OTHERWISE, ALL WINDOW HEADS ARE TO BE SET AT 3" ABOVE FINISHED FLOOR. VERIFY PLAN AND REPORT DISCREPANCIES TO ARCHITECT.
 - ALL OVERHEAD DOORS IN CONDITIONED SPACES SHALL MEET IECC R402.4.3 - FENESTRATION AIR LEAKAGE; WINDOWS, SKYLIGHTS, AND SLIDING GLASS DOORS, SHALL HAVE AN AIR INFILTRATION RATE OF NOT GREATER THAN 0.3 CFM PER SQUARE FOOT (1.5 L/s/m²), AND FOR SWINGING DOORS, NOT GREATER THAN 0.5 cfm PER SQUARE FOOT (2.6 L/s/m²), WHEN TESTED IN ACCORDANCE WITH NFRC 400 OR AAMA/WDMA/CSEA 1011/S 24440 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER.



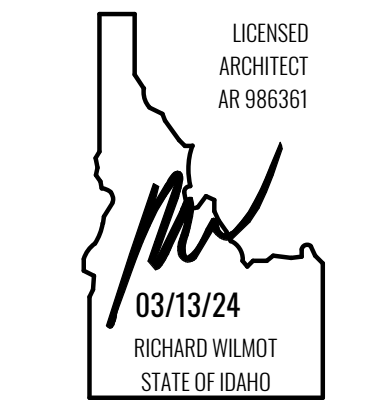
FLOOR PLAN - LEVEL 1
1/4" = 1'-0"

KEYNOTES - DEMOLITION FLOOR PLAN	
MARK	DESCRIPTION
1	EXISTING BARN DOOR TO REMAIN
2	EXISTING COLUMN TO REMAIN
3	REMOVE AND RELOCATE EXISTING SINK
4	REMOVE AND RELOCATE EXISTING CABINETRY
5	EXISTING FRAMED WALL TO REMAIN
6	DEMOLISH EXISTING SHOWER
7	DEMOLISH EXISTING DOOR, FRAME AND HARDWARE
8	DEMOLISH EXISTING FRAMED WALL
9	DEMOLISH EXISTING WATER-CLOSET
10	REMOVE AND RELOCATE STACKED WASHER / DRYER
11	DEMOLISH EXISTING WATER HEATER
12	EXISTING CONCRETE SLAB TO REMAIN
13	EXISTING WINDOW TO REMAIN

- DEMOLITION PLAN GENERAL NOTES:**
- VERIFY ALL EXISTING CONDITIONS AND SYSTEMS, REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 - VERIFY ALL DIMENSIONS, REPORT AND DISCREPANCIES TO THE ARCHITECT.
 - ASSESS ALL AREAS OF CONSTRUCTION AND VERIFY CONDITIONS ARE ABLE TO ACCEPT NEW WORK.
 - ALL DEMOLITION ACTIVITIES ARE TO RESULT IN EXISTING CONDITIONS READY TO ACCEPT NEW WORK.
 - DEMOLITION SHALL INCLUDE ALL NECESSARY SAW-CUTTING, INVESTIGATION, SHORING, TEMPORARY CONSTRUCTION NEEDED TO RECEIVE NEW WORK.



DEMOLITION FLOOR PLAN - LEVEL 1
1/4" = 1'-0"



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#	DESCRIPTION

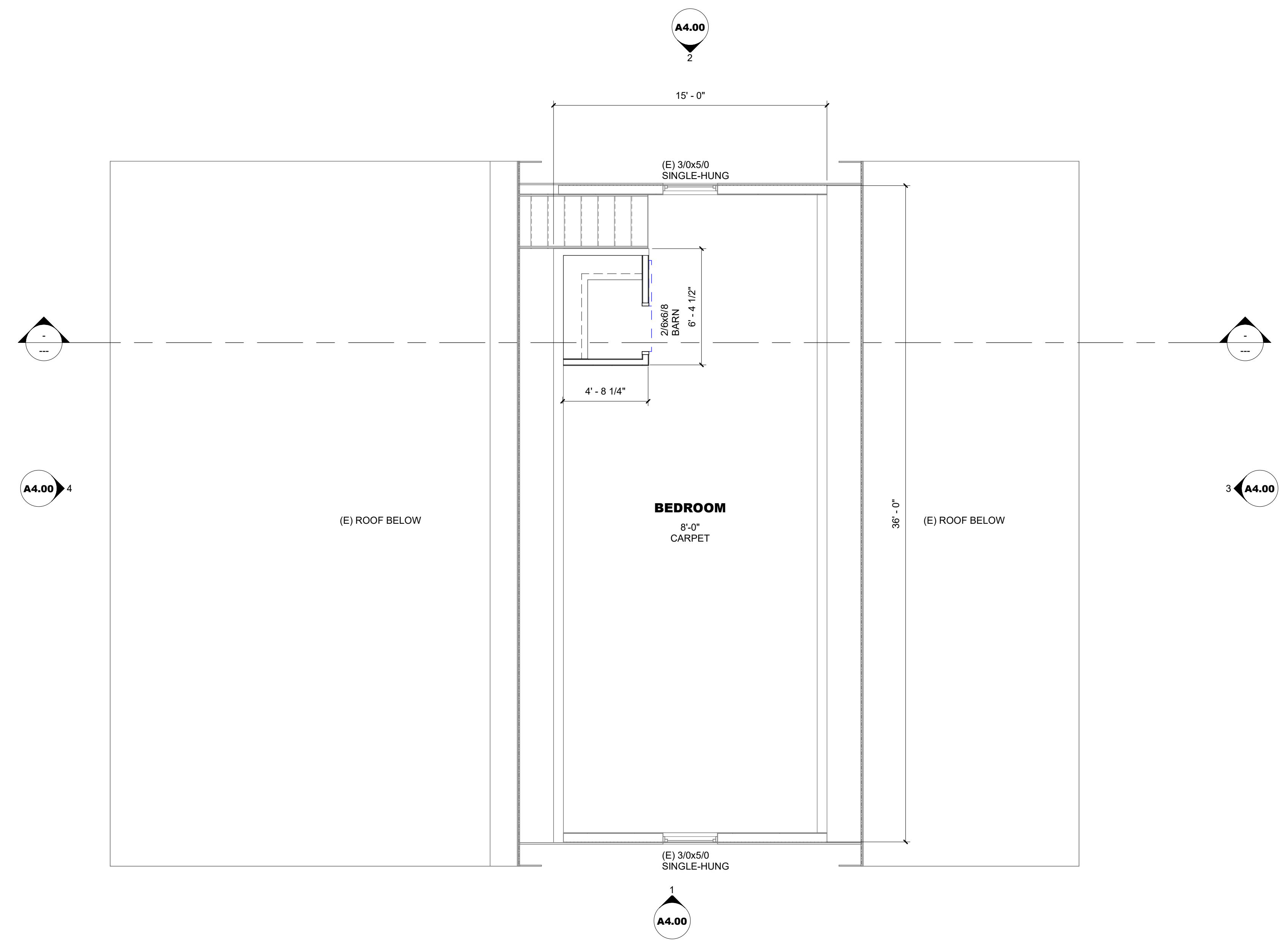
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FLOOR PLAN

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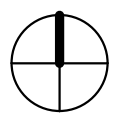
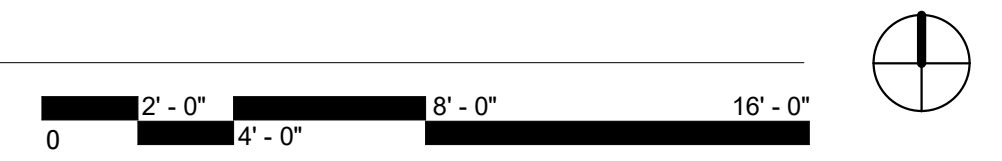
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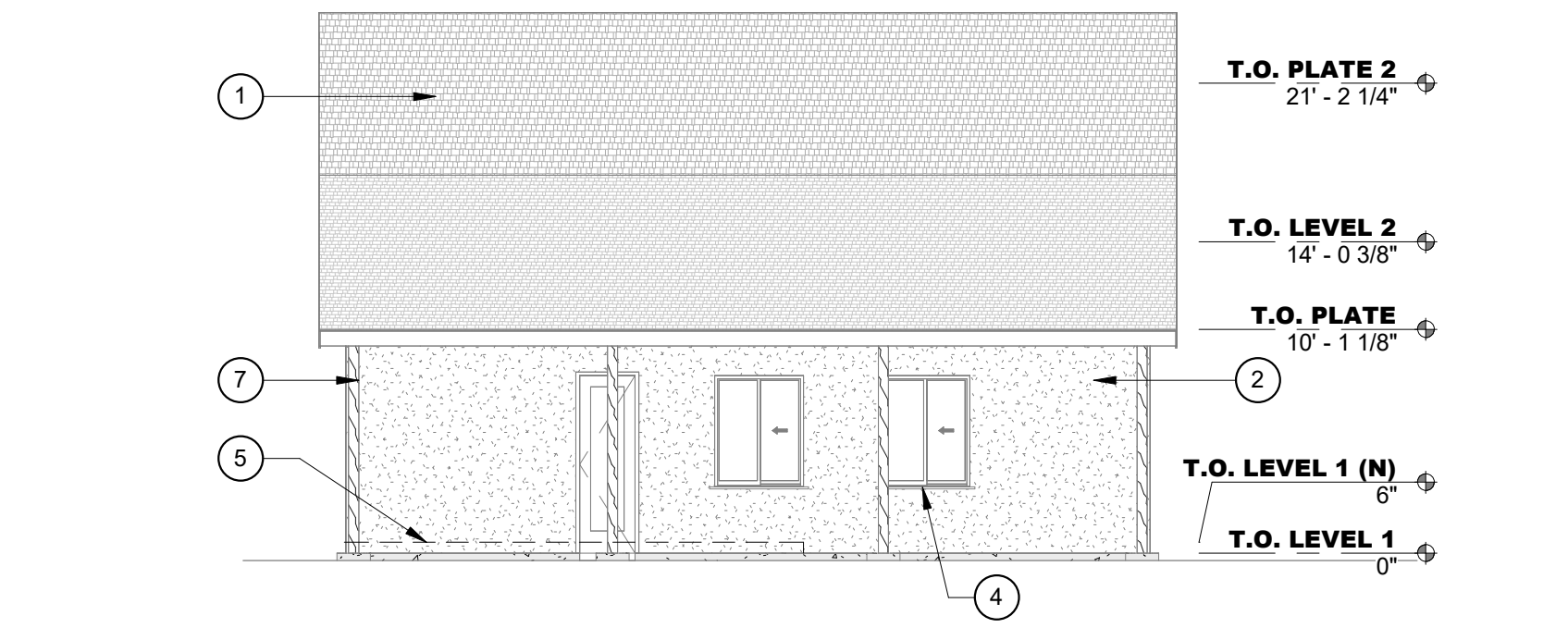
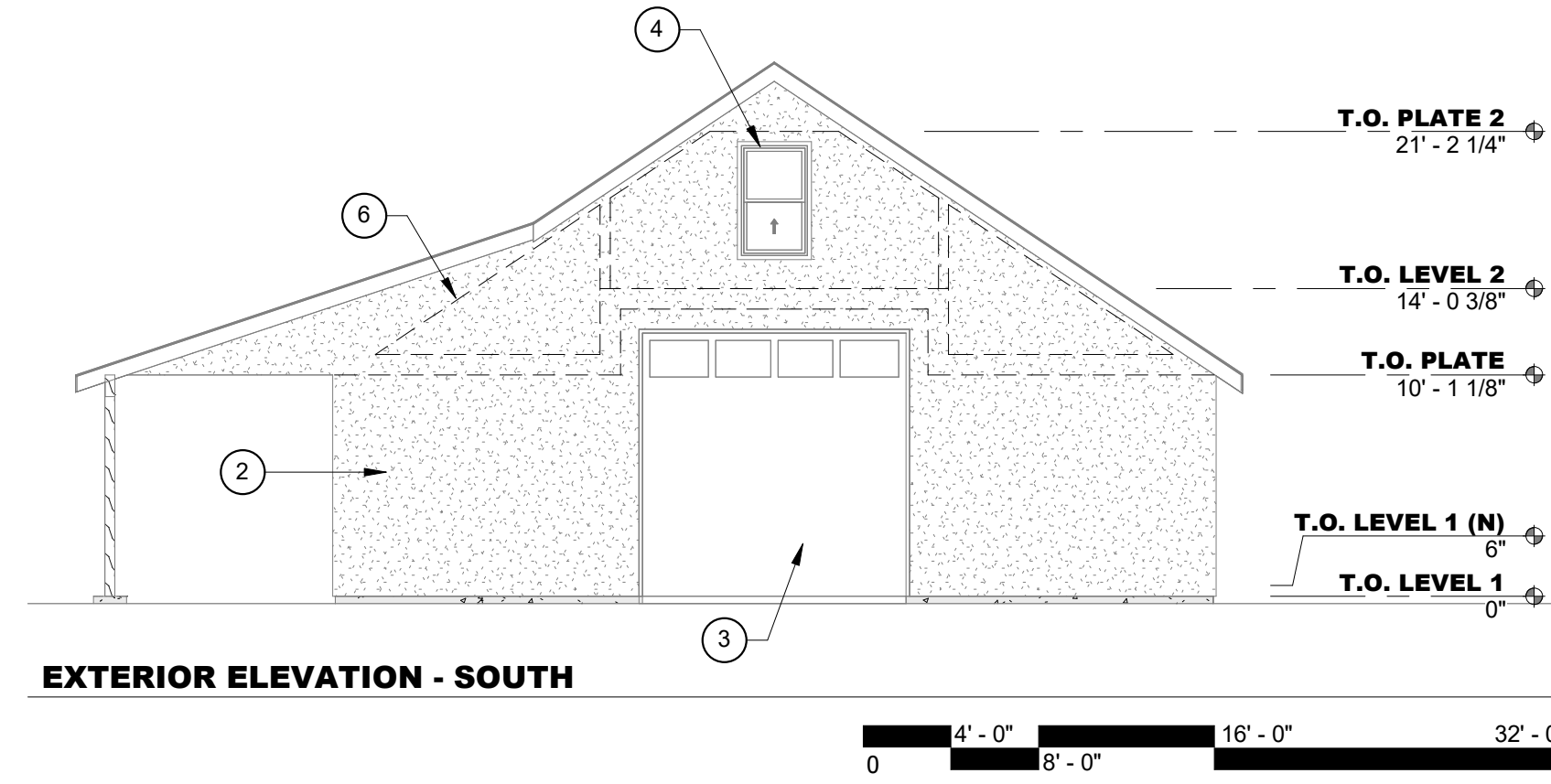
KEYNOTES - FLOOR PLAN	
MARK	DESCRIPTION
1	NEW ELECTRICAL RANGE
2	NEW REFRIGERATOR WITH ICEWATER
3	NEW 2x6 JOISTS WITH R-30 FOAM INSULATION
4	NEW DISHWASHER
5	RELOCATED SINK
6	NEW WASHER / DRYER, STACKABLE
7	NEW TUB/SHOWER
8	NEW WATER-CLOSET
9	NEW WATER-HEATER
10	NEW STEP
11	NEW LAVATORY
12	NEW LINEN CLOSET
13	NEW CABINET AND COUNTER TOP

- FLOOR PLAN GENERAL NOTES**
- DRAWINGS & SPECIFICATIONS ARE COMPLIMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK. NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
 - DO NOT SCALE DRAWINGS, IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
 - UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO CENTERLINES OR TO FACE OF FRAMING, CLEAR DIMENSIONS INDICATE DIMENSION BETWEEN FINISHES.
 - UNLESS NOTED OTHERWISE, ALL DOOR JAMBS ARE TO BE SET 4" FROM ADJACENT WALL.
 - UNLESS NOTED OTHERWISE, BRACE ALL CEILINGS AND NON-LOAD BEARING WALLS.
 - UNLESS NOTED OTHERWISE, ALL WINDOW HEADS ARE TO BE SET AT 8'-0" ABOVE FINISHED FLOOR, VERIFY PLAN AND REPORT DISCREPANCIES TO ARCHITECT.
 - ALL OVERHEAD DOORS IN CONDITIONED SPACES SHALL MEET IECC R402.4.3 - FENESTRATION AIR LEAKAGE: WINDOWS, SKYLIGHTS, AND SLIDING GLASS DOORS, SHALL HAVE AN AIR INFILTRATION RATE OF NOT GREATER THAN 0.3 CFM PER SQUARE FOOT (1.5 L/s/m²), AND FOR SWINGING DOORS, NOT GREATER THAN 0.5 cfm PER SQUARE FOOT (2.6 L/s/m²). WHEN TESTED IN ACCORDANCE WITH NFRC 400 OR AAMA/WDMA/CSA 101/S.2/A440 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER.

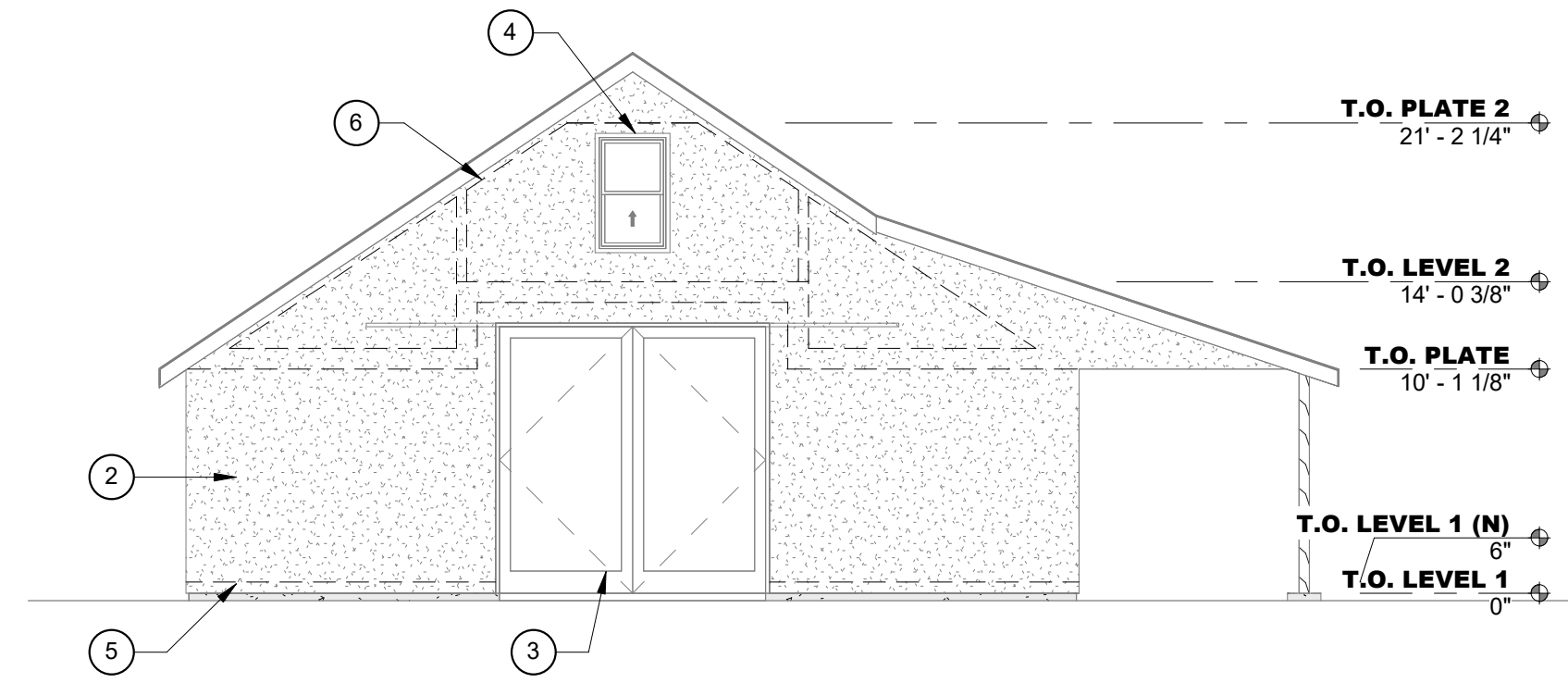


FLOOR PLAN - LEVEL 2

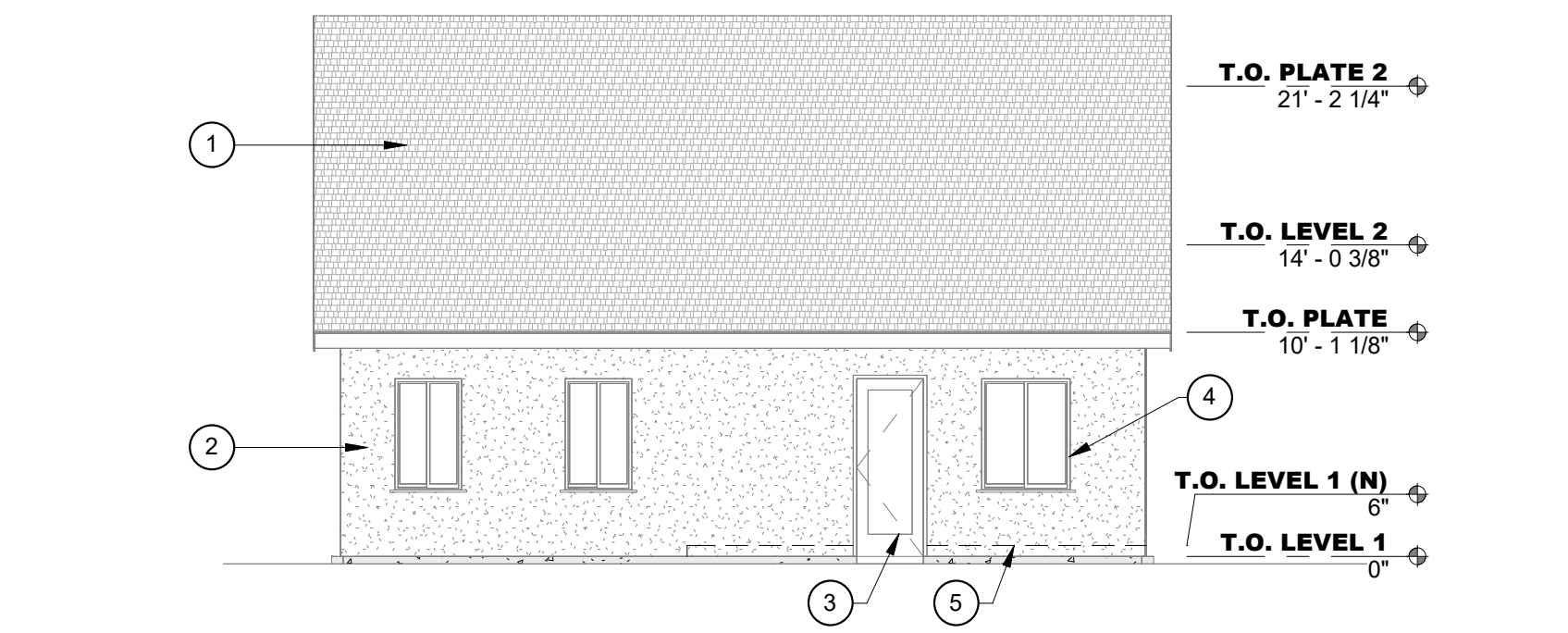




EXTERIOR ELEVATION - WEST



EXTERIOR ELEVATION - NORTH



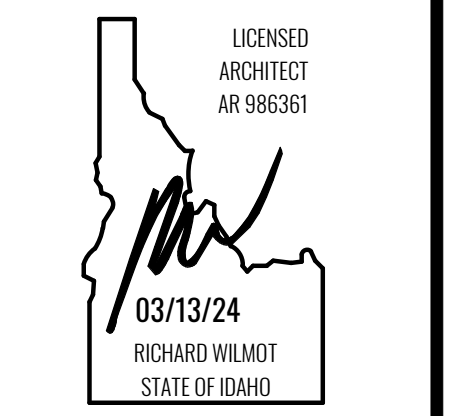
EXTERIOR ELEVATION - WEST

EXTERIOR ELEVATION GENERAL NOTES

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- DO NOT SCALE DRAWINGS, IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- ALL DIMENSIONS ARE TO COLUMN CENTERLINES OR TO FACE OF FRAMING, U.N.O. CLEAR DIMENSIONS INDICATE DIMENSION BETWEEN FINISHES.
- ALL EXPOSED FOUNDATIONS AND FOOTINGS ARE TO BE PAINTED TO MATCH ADJACENT WALL FINISH OR COLOR AS SELECTED BY OWNER. PROVIDE NECESSARY SURFACE FILLER AS RECOMMENDED BY MANUFACTURER FOR PARTICULAR APPLICATION.
- ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH ADJACENT WALL COLOR.
- PROVIDE 24 GAUGE PRE-FINISHED METAL FLASHING, DRIP EDGE, AND TRIM TO MATCH ROOFING COLOR, AS SELECTED BY OWNER.
- PROVIDE CONTINUOUS PRE-FINISHED 22 GAUGE METAL GUTTER TO MATCH FLASHING OR TRIM AT ALL ROOF EAVES. PROVIDE CHAIN LEADER TO 12"x12"x12" CONCRETE BALLAST WITH EMBED EYELET OF SAME TYPE AS CHAIN LEADER. BALLAST TO BE COVERED WITH 0'-8" TOPSOIL/LANDSCAPE.
- PROVIDE WEEP HOLES AT 2'-0" ON CENTER AT BASE OF STONE / MASONRY LOCATIONS.
- ALL EXTERIOR EXPOSED, SEMI-EXPOSED / CONCEALED AND CONCEALED UN-TREATED WOOD IS TO BE STAINED AND SEALED.

KEYNOTES - ELEVATIONS

MARK	DESCRIPTION
1	EXISTING ASPHALT SHINGLE ROOFING TO REMAIN
2	EXISTING CEMENT PLASTER TO REMAIN
3	EXISTING DOOR TO REMAIN
4	EXISTING WINDOW TO REMAIN
5	NEW RAISED (INSULATED) FLOOR
6	LINE OF BONUS TRUSS (VERIFY IN FIELD)
7	EXISTING COLUMN TO REMAIN



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9500 WEST RIVERSIDE LANE, GARDEN CITY, IDAHO 83714
EXTERIOR ELEVATIONS

DRAWN: RW
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CONSTRUCTION DRAWINGS

SHEET NUMBER: **A4.00**