

PARCEL B
MINOR LAND
DIVISION
ROS #9901

PARCEL C
MINOR LAND
DIVISION
ROS #9901

PARCEL D
MINOR LAND
DIVISION
ROS #9901

PARCEL "N"
24,592 S.F. ±
0.564 ACRES ±

LOT 7 BLOCK1
CARLTON BAY SUBDIVISION
BOOK 100 PAGES 12901-12905

SITE PLAN
SCALE: 1/16" = 1'-0"

SITE RECAP

TOTAL PROJECT SITE: 24,594 SQ. FT. (0.56 ACRES)

PROPOSED BUILDING FOOTPRINT 4,464 SQ. FT.
TOTAL BUILDING AREA 4,464 SQ. FT.

PARKING

REQUIRED: 1 SPACE PER 600 SQ FT
4464 SQ FT / 600 SPACES = 8
HC ACCESSIBLE - 1 SPACE
BICYCLE - ONE SPACE PER 25 PROPOSED BICYCLE SPACES - 1 SPACE

PROVIDED: HC ACCESSIBLE 1 SPACES
COMPACT CAR 0 SPACES
STANDARD 13 SPACES
TOTAL 14 SPACES

PROPOSED: 3 BIKE RACKS * 2 SPACES/EA. 6 SPACES

CITY ZONING: C-2

SETBACKS:
FRONT - 5'-0"
REAR - 5'-0"
SIDES - 5'-0"

BUILDING AREA

CONDITIONED AREA	1,229 SF
UNCONDITIONED AREA	3,235 SF
TOTAL	4,464 SF

SITE CALCULATIONS

IMPERVIOUS SURFACES	17,103 SF	70%
BUILDING FOOTPRINT	4,464 SF	18%
LANDSCAPING	3,027 SF	12%
OVERALL SITE	24,594 SF	

KEYNOTES

- 1 PROPOSED PARKING
- 2 PROPOSED 7' SIDEWALK
- 3 PROPOSED 5' SIDEWALK
- 4 PROPOSED MONUMENT SIGN
- 5 PROPOSED SIGNAGE
- 6 PROPOSED BIKE RACKS
- 7 EXTERIOR LIGHT
- 8 PROPOSED LANDSCAPED AREA
- 9 EXISTING SIDEWALK
- 10 EXISTING SHARED TRASH ENCLOSURE
- 11 EXISTING LANDSCAPE AREA
- 12 EXISTING PARKING

GENERAL NOTES

- A. TRASH ENCLOSURE WILL BE CONTAINED WITHIN THE EXISTING TRASH ENCLOSURE
- B. ALL MECHANICAL EQUIPMENT IS PROPOSED TO BE ROOF MOUNTED AND SCREENED BY PARAPET
- C. NO OUTDOOR STORAGE AREAS ARE PROPOSED
- D. SEWER AND WATER SERVICE ARE AVIALBLE FROM W. CARLTON BAY DRIVE

HATCH DESIGN
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NEW CONSTRUCTION FOR:
GLASS DOCTOR
6845 N. GARDENER LANE, GARDEN CITY, ID

DATE: FEB. 2022
DRAWN BY: WE, NL
CHECKED BY: JLH
JOB NUMBER: 18102

SITE PLAN

A-1.0

LANDSCAPE REQUIREMENTS

GARDEN CITY, IDAHO CODE - ARTICLE I: LANDSCAPING AND TREE PROTECTION PROVISIONS

TOTAL LANDSCAPE AREA: 3,033 S.F.

MINIMUM PLANT SIZES SHALL BE USED:
 SHADE TREES: 2 INCH CALIPER
 ORNAMENTAL TREES: 2 INCH CALIPER
 EVERGREEN TREES: 6 FOOT HEIGHT
 WOODY SHRUBS: 2 GALLON POT

REQUIRED LANDSCAPE AREAS SHALL BE AT LEAST (70%) COVERED WITH VEGETATION AT MATURITY WITH MULCH. USE OF MULCH, ORGANIC OR ROCK AS ONLY GROUND COVER IN PLANTING AREAS IS PROHIBITED. PROVIDED: 90% COVERAGE

TOTAL NUMBER OF TREES PROPOSED: 15 (NOT INCLUDING 1 EXISTING AT NORTHWEST PROPERTY LINE)
 TOTAL NUMBER OF TREE SPECIES REQUIRED: 3 - PROVIDED 4

MINIMUM OF 5% OF GROSS SITE AREA SHALL BE LANDSCAPED, EXCLUDING AREAS FOR SETBACK AND PERIMETER LANDSCAPE.
 PERCENT PROPOSED: 12%

A MINIMUM OF ONE CLASS III OR CLASS II TREE SHALL BE PLANTED IN THE FRONTAGE AND EVERY ADJACENT STREET SIDE. AN ADDITIONAL CLASS I TREE SHALL BE PLANTED IN THE CORRESPONDING SETBACK FOR EVERY INCREMENT OF FIFTY FEET (50') OF LINEAR FEET OF FRONTAGE.
 PROPOSED CLASS III AND II: 10
 PROPOSED CLASS I: 5

A MINIMUM OF ONE TREE PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPED AREA AND ONE SHRUB PER ONE HUNDRED FIFTY (150) SQUARE FEET OF LANDSCAPED AREA SHALL BE PLANTED.
 REQUIRED TREES: 3 - PROPOSED TREES: 16 (including 1 existing at west property line)
 REQUIRED SHRUBS: 20 - PROPOSED SHRUBS: 187 (including 16 upright conifers)

TREES MAY BE SUBSTITUTED FOR UP TO ONE-HALF (1/2) OF THE REQUIRED SHRUBS AT THE RATE OF ONE TREE FOR TEN (10) SHRUBS AND VICE VERSA.

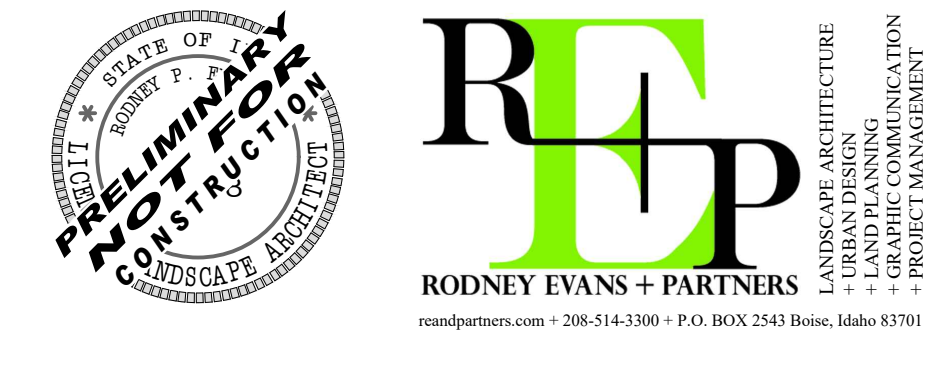
CLASS II OR CLASS III TREES CAN BE SUBSTITUTED AT THE RATE OF TWO (2) CLASS I TREES FOR EVERY ONE CLASS II OR CLASS III TREES UNLESS OTHERWISE SPECIFIED BY AN ADOPTED STREET DESIGN OR MASTER PLAN.

PERIMETER LANDSCAPING REQUIREMENTS: (SEE APPLICABILITY)

PARKING LOT LANDSCAPING REQUIREMENTS: (SEE APPLICABILITY)

INTERNAL LANDSCAPING STANDARDS:

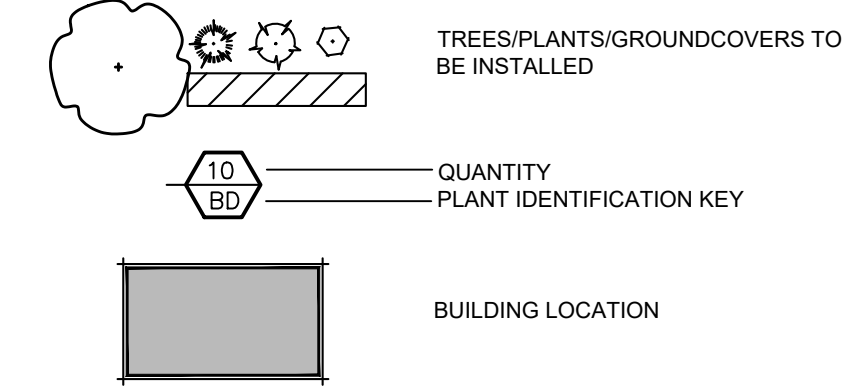
- INTERNAL SHADE TREES SHALL BE PROVIDED AT A MINIMUM RATIO OF ONE TREE PLANTED FOR EVERY FIVE (5) PARKING SPACES SUPPLIED.
- INTERNAL SHADE TREES SHALL BE PLANTED SUCH THAT NO PARKING SPACE IS MORE THAN ONE HUNDRED FEET (100') FROM A TREE.
- ON SMALL OR NARROW SITES, SHADE TREES PROVIDED IN NON-STREET FACING PERIMETER PLANTING AREAS CAN BE COUNTED TOWARD THE INTERNAL TREE REQUIREMENT, PROVIDED THAT THE MAXIMUM DISTANCE FROM A PARKING SPACE ONE HUNDRED FEET (100'), IS MET.



PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECIDUOUS SHADE TREES					
3	GT	Gleditsia triacanthos 'Shademaster'	Shademaster® Honeylocust	2" CAL. B&B	Class II - 45' H x 35' W
3	SJ	Sophora japonica 'Regent'	Regent Japanese Pagoda Tree	2" CAL. B&B	Class II - 50' H x 45' W
5	PY	Prunus x yedoensis 'Akebono'	Akebono Yoshino Cherry	2" CAL. B&B	Class I - 25' H x 25' W
4	LT	Liriodendron tulipifera 'Fastigiatum'	Columnar Tulip Tree	2" CAL. B&B	Class II - 50' H x 15' W
CONIFEROUS TREES					
16	JS	Juniperus scopulorum 'Blue Arrow'	Blue Arrow Juniper	6-7' HGT. B&B	12' H x 2-3' W
SHRUBS/PERENNIALS/ORNAMENTAL GRASSES					
19	BD	Buxus microphylla japonica 'Winter Gem'	Winter Gem Boxwood	#1	
21	CS	Cornus stolonifera 'Arctic Fire'	Arctic Fire Dogwood	#2	
65	HC	Hypericum calycinum	St. John's Wort	#1; 36" o.c.	prune/mow to ground every spring
42	JB	Juniperus squamata 'Blue Star'	Blue Star Juniper	#1	
18	MS	Miscanthus sinensis 'Morning Light'	Morning Light Maiden Grass	#2	
6	PA	Parthenocissus quinquefolia	Virginia Creeper	#2	wine; train to planter panel

LANDSCAPE LEGEND



LOG OF SQ. FT. OF LANDSCAPE MATERIALS PER LOCATION

- AREAS AS NOTED ON PLAN:
- AREA 1 - 989 S.F. OF PERIMETER PARKING LOT PLANTER BED WITH SHRUBS AND TREES AT THE WEST SIDE PROPERTY LINE
 - AREA 2 - 244 S.F. OF (2) PARKING LOT PLANTER BEDS WITH SHRUBS AND A TREE AT THE NORTHWEST OF BUILDING
 - AREA 3 - 244 S.F. OF PLANTER BED WITH GROUNDCOVERS/SHRUBS AND A TREE AT NORTHEAST BUILDING FACE
 - AREA 4 - 715 S.F. OF ROADSIDE PLANTER BED AND BUILDING FOUNDATION PLANTER WITH TREES AND GROUNDCOVER @ GARDNER STREET
 - AREA 5 - 874 S.F. OF ROADSIDE PLANTER BED AND BUILDING FOUNDATION PLANTER WITH TREES AND SHRUBS @ GARDNER STREET AND CARLTON BAY DR TO SOUTH

CALLOUT LEGEND

- RETAIN AND PROTECT EXISTING TREE
- RETAIN AND PROTECT EXISTING PLANTS
- EXISTING DUMPSTER ENCLOSURE
- VISION TRIANGLE
- CONTRACTOR TO FIELD LOCATE PLANT MATERIALS TO BEST SCREEN THE UTILITIES

LANDSCAPE NOTES:

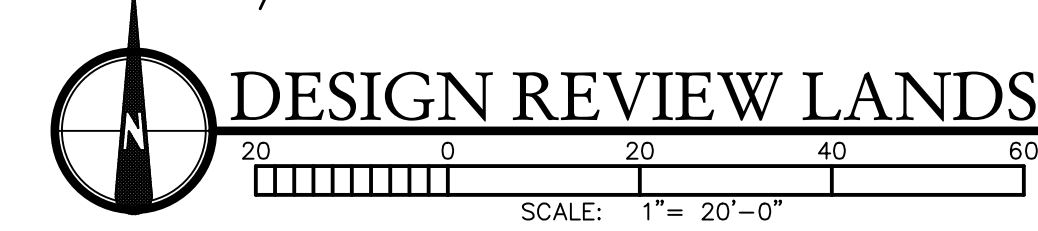
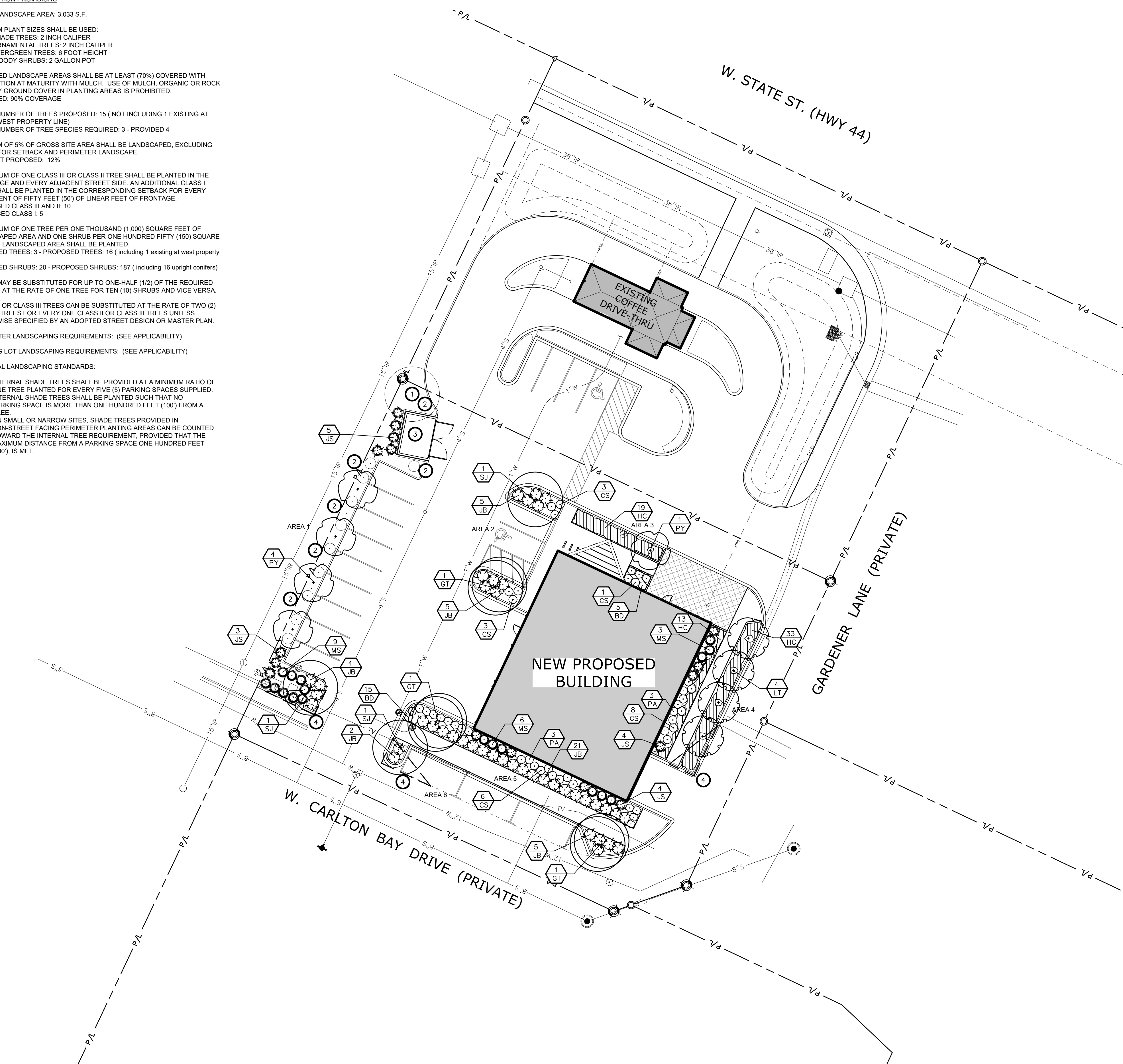
- CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CAN NOT BE OBTAINED.
- COORDINATE ALL WORK WITH ALL OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- COORDINATE WORK SCHEDULE AND OBSERVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START-UP.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.
- IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT SYMBOLS SHALL OVERRIDE SCHEDULE QUANTITIES AND CALL OUT SYMBOL NUMBERS.
- ALL PLANTING BEDS SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF LARGE (2" MINUS) BARK MULCH. SUBMIT SAMPLE FOR APPROVAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
- FINISH GRADES SHALL PROVIDE A SMOOTH TRANSITION WITH ADJACENT SURFACES AND ENSURE POSITIVE DRAINAGE IN ACCORDANCE WITH THE SITE GRADING PLAN.
- AMEND EXISTING APPROVED TOPSOIL AT A RATIO OF THREE CUBIC YARDS OF APPROVED COMPOST PER 1000 SQUARE FEET. ROTO-TILL ORGANIC MATTER A MINIMUM OF 6 INCHES INTO TOPSOIL.
- FERTILIZE ALL TREES AND SHRUBS WITH 'AGRIFORM' PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 18" DEPTH OF TOPSOIL. LAWN AREAS SHALL HAVE A MINIMUM 12" DEPTH OF TOPSOIL. SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 3" BELOW ADJACENT SURFACES OF PLANTER BED AREAS, 1-1/2" BELOW ADJACENT SURFACES OF TURF SOO AREAS, AND 1" BELOW ADJACENT SURFACES OF TURF SEED AREAS.
- REUSE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. VERIFY SUITABILITY AND CONDITION OF TOPSOIL AS A GROWING MEDIUM. PERFORM SOIL TEST/ ANALYSIS AND PROVIDE ADDITIONAL AMENDMENT AS DETERMINED BY SOIL TESTS. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL, AND HAVE A PH OF 5.5 TO 7.0. IF ONSITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTOR IS RESPONSIBLE TO EITHER:
 A) PROVIDE APPROVED IMPORTED TOPSOIL, OR
 B) IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY THE LANDSCAPE ARCHITECT.
- IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, ENSURE IT IS STERILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
 A) OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THOSE FOUND ON THE PROJECT SITE.
 OBTAIN TOPSOIL ONLY FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT A DEPTH OF NOT LESS THAN 4 INCHES.
 B) REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY, TOXICITY, AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE BY THE CONTRACTOR. NO TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION. ACIDITY/ALKALINITY RANGE - PH. 5.5 TO 7.8.
- IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.
- TREES SHALL NOT BE PLANTED WITHIN THE 10'-0" CLEAR ZONE OF ALL A.C.H.D. STORM DRAIN PIPE, STRUCTURES, OR FACILITIES. TREES SHALL NOT BE PLANTED WITHIN 5'-0" OF AN A.C.H.D. SIDEWALK.
- SEWERAGE BEDS AND OTHER STORM DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
- IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

IRRIGATION NOTES:

- ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES.
- POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN AREAS AND 18" AT PLANTER BEDS.
- PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM. ANNUALS, PERENNIALS GROUND COVERS OR SHRUB MASSINGS SHALL HAVE A POP-UP SPRAY SYSTEM.
- ELECTRONIC WATER DISTRIBUTION/ TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
 a. PRECISE INDIVIDUAL STATION TIMING
 b. RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
 c. AT LEAST ONE PROGRAM FOR EACH HYDROZONE
 d. SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
 e. POWER FAILURE BACKUP FOR ALL PROGRAMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING.
- SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES (BUILDINGS, SIDEWALKS, DRIVEWAYS, AND ASPHALT AREAS).

WEED ABATEMENT NOTES:

- ALL AREAS TO BE PLANTED SHALL HAVE WEED ABATEMENT OPERATIONS PERFORMED ON THEM PRIOR TO PLANTING.
- CONTRACTOR SHALL SPRAY ALL EXPOSED WEEDS WITH 'ROUND-UP' (CONTACT HERBICIDE) OR APPROVED EQUAL.
- DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED WEEDS FROM THE SITE.
- CONTRACTOR SHALL OPERATE THE AUTOMATIC IRRIGATION SYSTEM FOR A PERIOD OF FOURTEEN (14) DAYS. AT CONCLUSION OF THIS WATERING PERIOD, DISCONTINUE WATERING FOR THREE TO FIVE (3-5) DAYS.
- APPLY SECOND APPLICATION OF 'ROUND-UP' TO ALL EXPOSED WEEDS. APPLY IN STRICT CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE WEEDS FROM THE SITE.
- IF ANY EVIDENCE OF WEED GERMINATION EXISTS AFTER TWO (2) APPLICATIONS, CONTRACTOR SHALL BE DIRECTED TO PERFORM A THIRD APPLICATION.
- AT THE TIME OF PLANTING, ALL PLANTING AREAS SHALL BE WEED FREE.



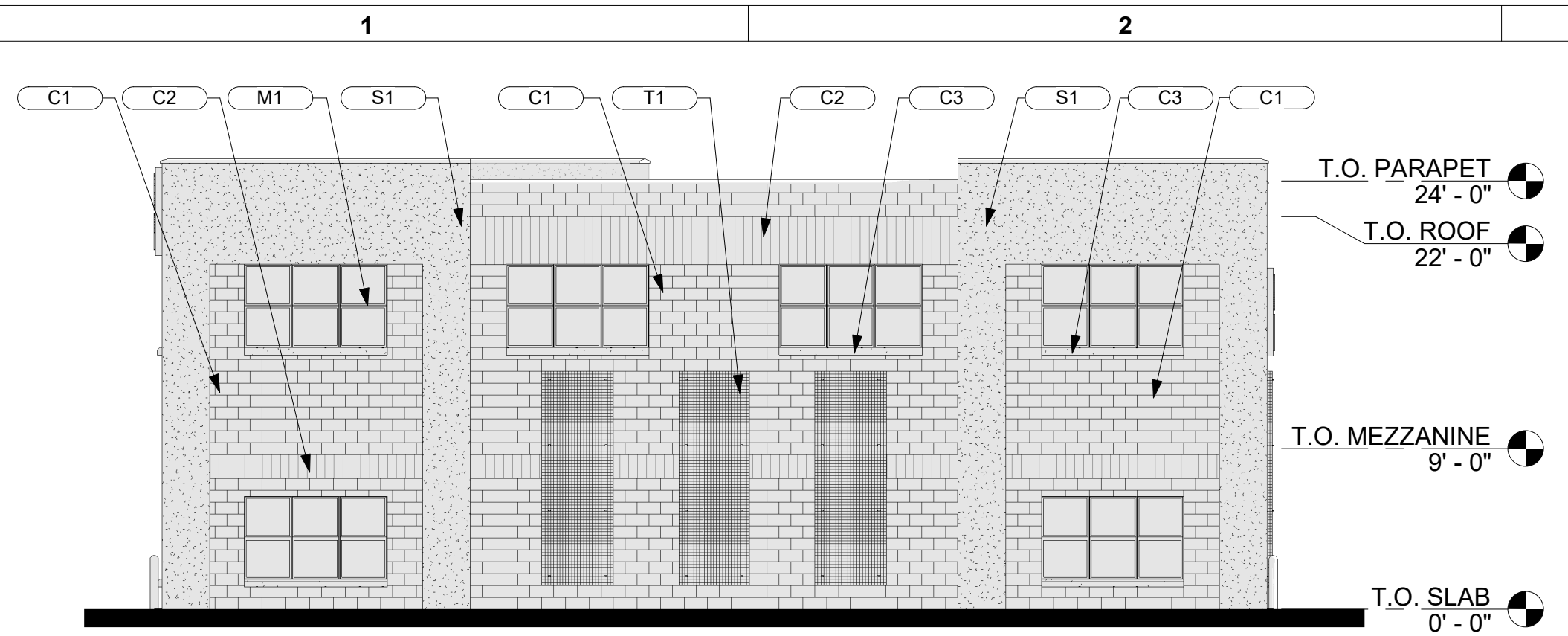
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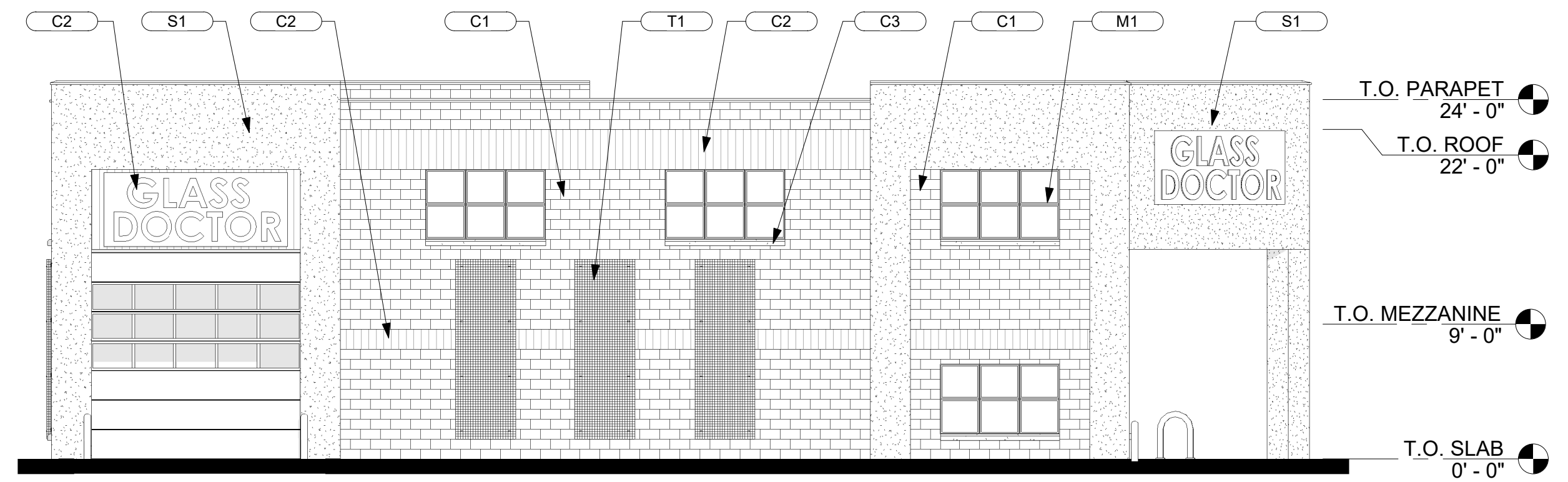
NEW CONSTRUCTION FOR:
GLASS DOCTOR
 GARDEN CITY, ID 83714

DATE:	FEB 25 2022
DRAWN BY:	RE
CHECKED BY:	RE
JOB NUMBER:	18003

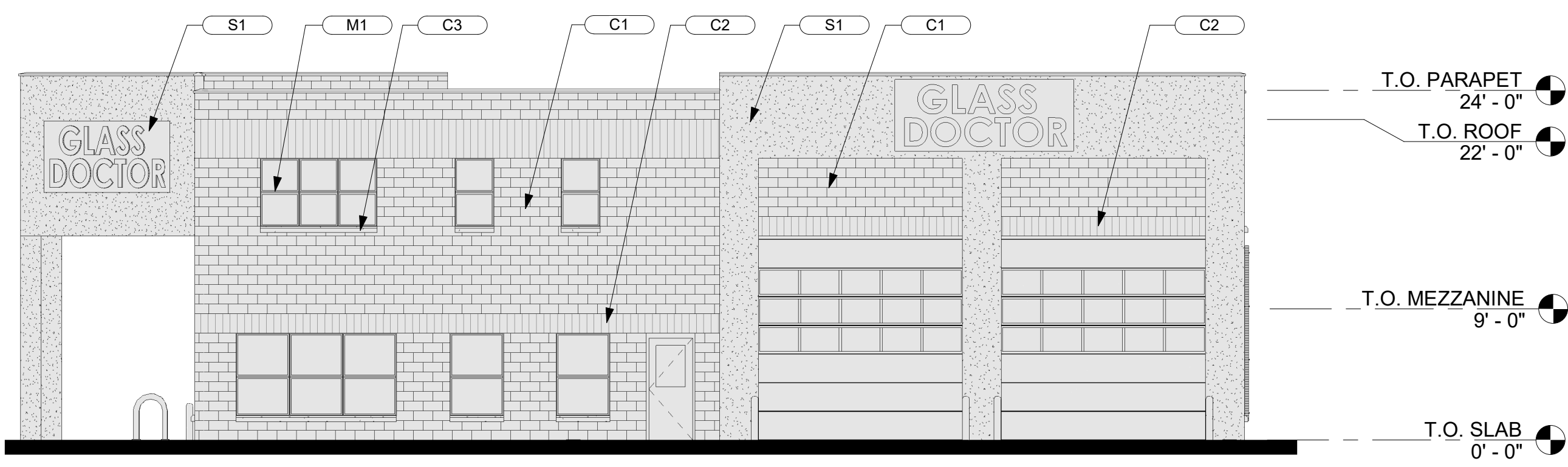
SHEET TITLE
 LANDSCAPE PLAN
 SHEET NUMBER
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 SHEET



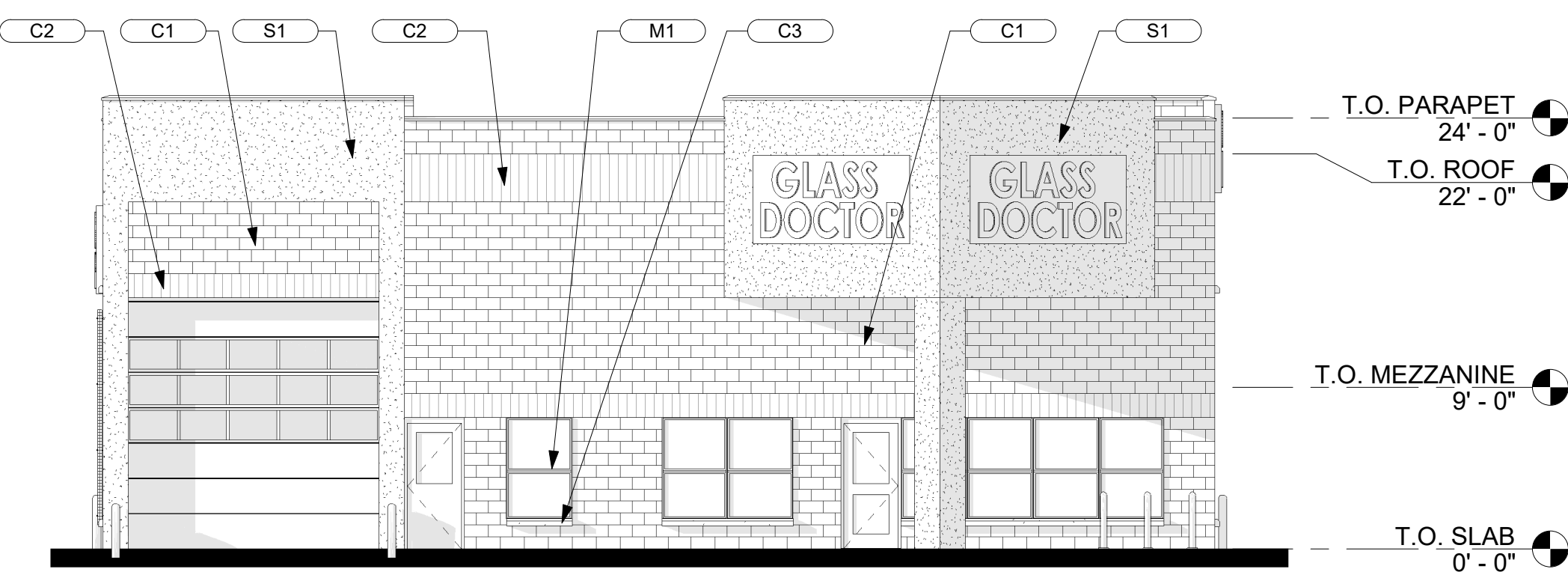
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



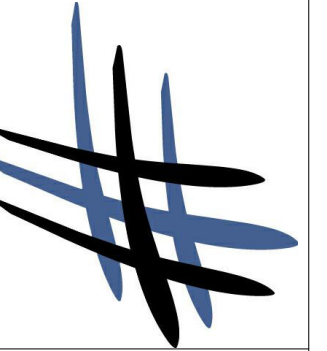
WEST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND		
TAG	MATERIAL	COLOR/FINISH
S1	STUCCO	BLUE
C1	CMU	BASALITE GRAPHITE
C2	SOLDIER COURSE BRICK	SLATE GREY
C3	PRE-CAST CONCRETE	GREY
M1	ANODIZED ALUMINUM	MBCI BRITE RED
T1	VERTICAL TRELLIS	POWDER COATED

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NEW CONSTRUCTION FOR:
GLASS DOCTOR
6845 N. GARDENER LANE, GARDEN CITY, ID

DATE	DESCRIPTION / COMMENTS

DATE: FEB. 2022
DRAWN BY: WE, NL
CHECKED BY: JLH
JOB NUMBER: 18102

SHEET TITLE
EXTERIOR ELEVATIONS

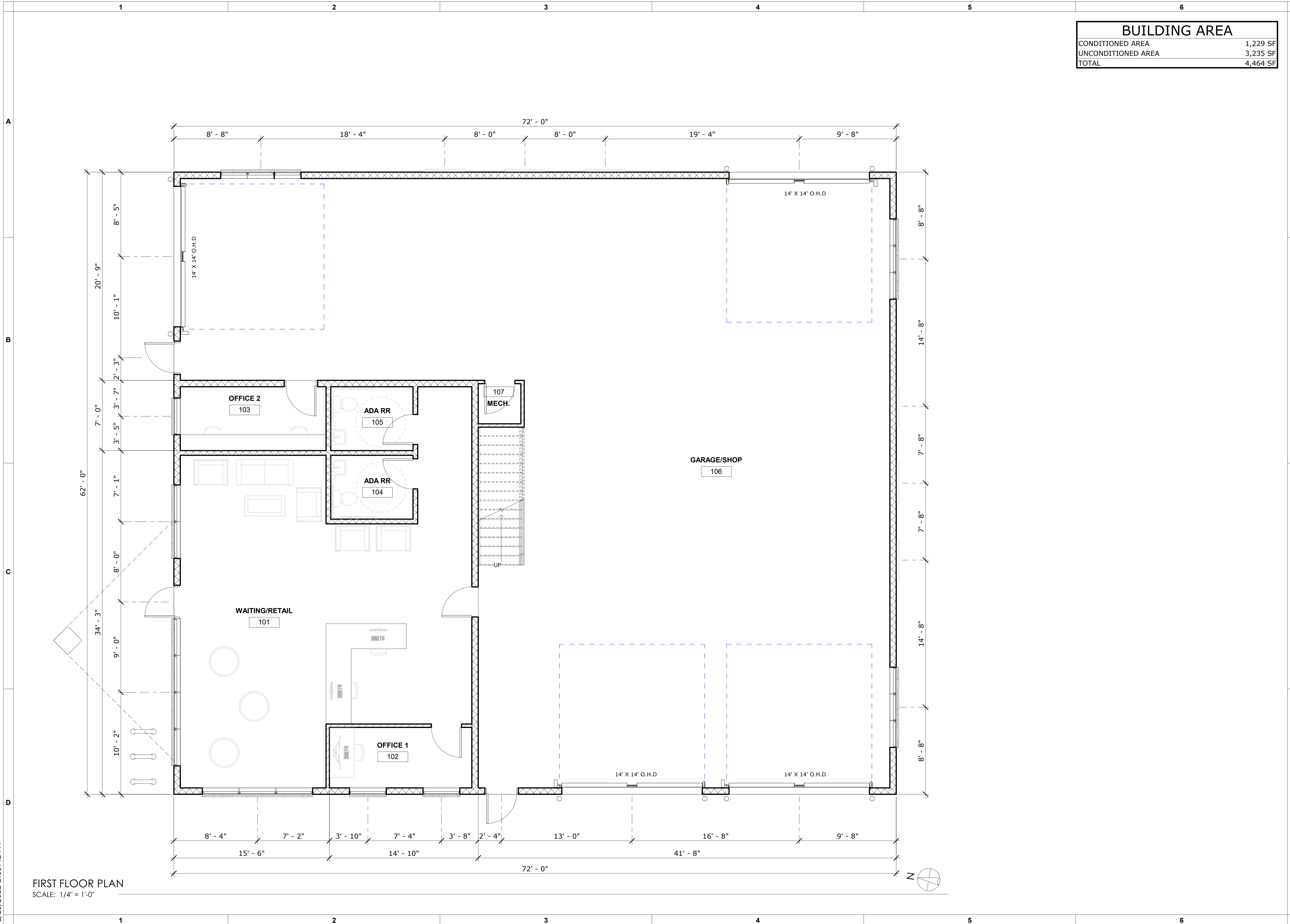
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**GLASS
DOCTOR**

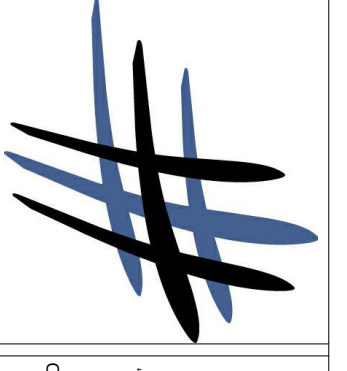
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FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

BUILDING AREA	
CONDITIONED AREA	1,229 SF
UNCONDITIONED AREA	3,235 SF
TOTAL	4,464 SF

HATCH DESIGN ARCHITECTURE
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 PROJECT NO: 18102
 DATE: 02/25/2022
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GLASS DOCTOR

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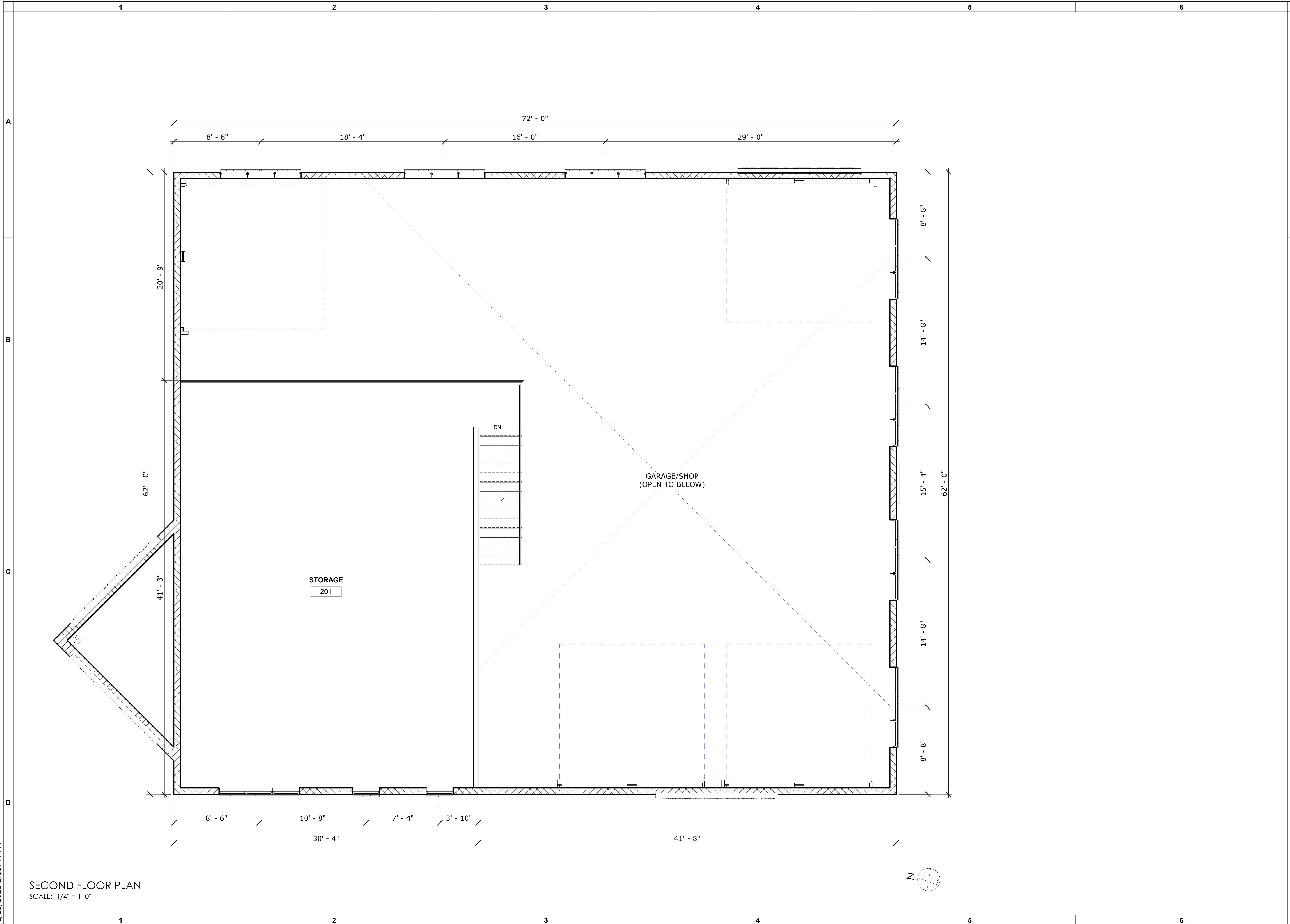
SHEET TITLE

FLOOR PLAN

SHEET NUMBER

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SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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FLOOR PLAN

SHEET NUMBER
A-2.1