



DESIGN REVIEW PRE-APPLICATION MEETING REQUEST

Permit info: _____
Application Date: _____
FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921
▪ www.gardencityidaho.org ▪ planning@gardencityidaho.org

The objectives of the design review process is to involve the City in the earliest possible time in the development and design of a project and to work with the applicant in an iterative process of review and design. The review process is intended to be flexible and tailored to the needs of the project and the applicant.

The checklist and required materials are due fifteen (15) business days prior to the Design Committee meeting. **Late submissions will not be accepted under any circumstances.**

APPLICANT INFORMATION

Name: Jeff Hatch **Phone:** 2084753204
Email: jeff@hatchda.com **Firm:** Hatch Design Architecture
Proposed Site Address: 6845 N. Gardner Lane

Date of Requested Meeting: 11/29/21

DESIGN INFORMATION

Proposed Use: Glass Service Center

Surrounding Uses:

Zoning: C-2 **Comprehensive Plan Designation**

Is the property located in the 100 year flood plain?

YES **NO**

List the locations of any potential wildlife habitat areas on the property:

List the locations of bus stops and pedestrian pathways within 1/4 mile of the property:

List any easements and locations of water, sewer and irrigation:

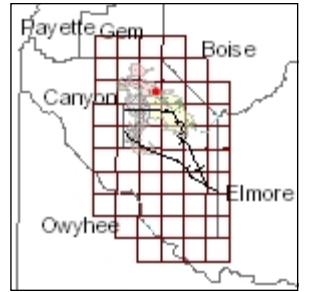
APPLICATION INFORMATION REQUIRED

NOTE:
AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES
ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED

<input checked="" type="checkbox"/> Site Plan Including Surrounding Development	<input checked="" type="checkbox"/> Landscaping Plan
<input checked="" type="checkbox"/> Elevations	<input checked="" type="checkbox"/> Vicinity Map

Ada County Assessor

This map is a user generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION OR LEGAL PURPOSES.



Legend

- + Railroad
- Roads (2,000 - 4,000 s)
 - <all other values>
 - Interstate
 - Ramp
 - Principal Arterial
 - Collector
 - Minor Arterial
 - Local
 - Parks
 - Alley
 - Driveway
- Parks
- Address
- Townships
- Sections
- Condos
- Parcels

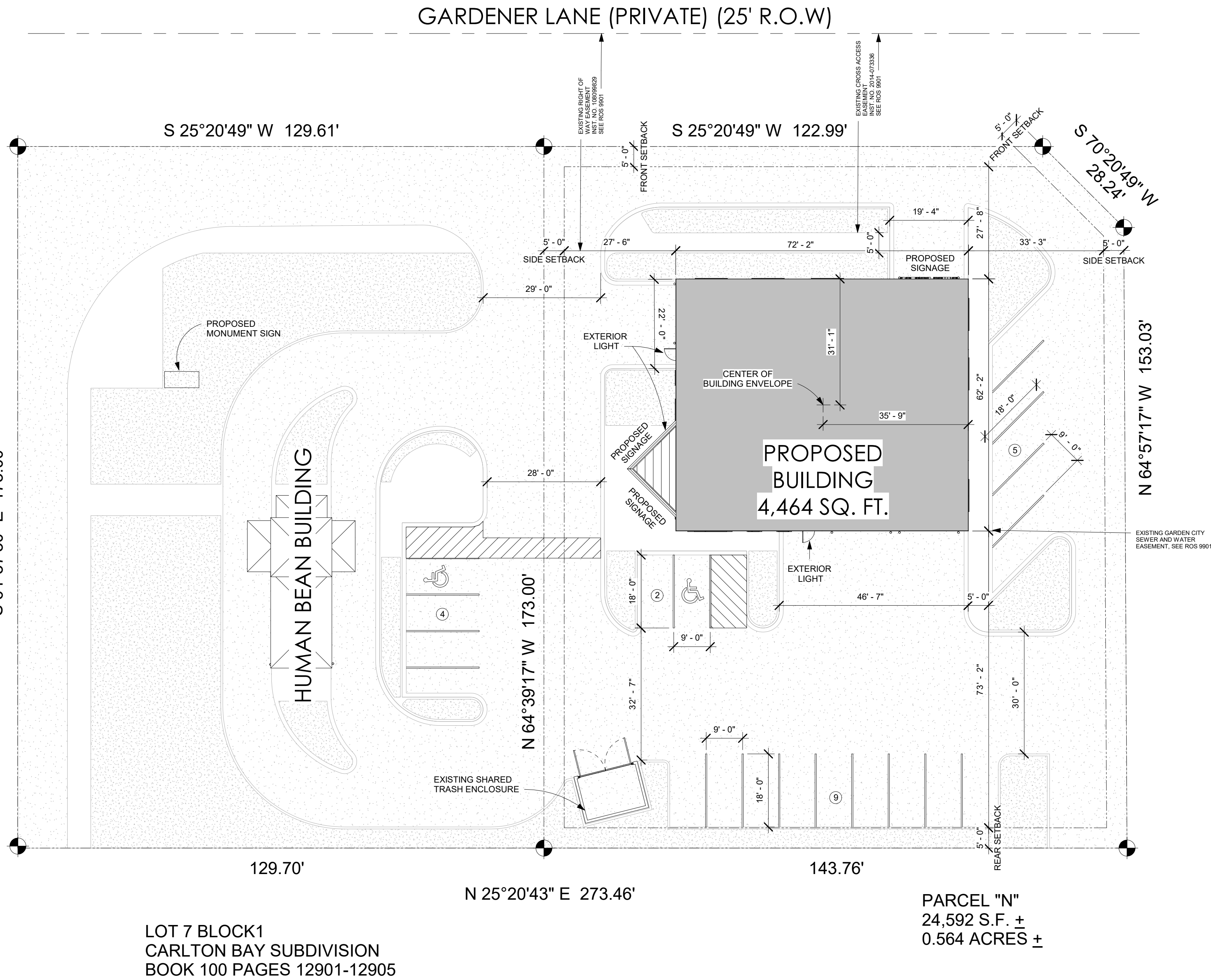
Map Scale: 2,400.00

12/29/2017

W. STATE STREET (STATE HIGHWAY 44) (88' R.O.W)

BASIS OF BEARINGS
PER ROS NO. 9901 (R1)

S 64°37'30" E 173.00'



PARCEL B
MINOR LAND
DIVISION
ROS #9901

PARCEL C
MINOR LAND
DIVISION
ROS #9901

PARCEL D
MINOR LAND
DIVISION
ROS #9901

LOT 7 BLOCK1
CARLTON BAY SUBDIVISION
BOOK 100 PAGES 12901-12905

PARCEL "N"
24,592 S.F. ±
0.564 ACRES ±

1 SITE PLAN
1/16" = 1'-0"

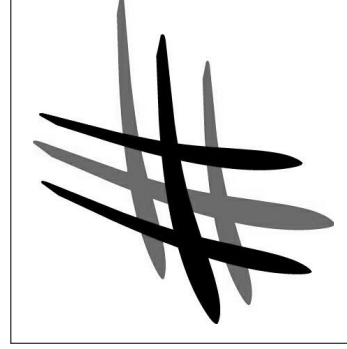
SITE CALCULATIONS	
IMPERVIOUS SURFACES 72%	17,723 SF
BUILDING FOOTPRINT 18%	4,464 SF
LANDSCAPING 10%	2,381 SF
OVERALL SITE	24,568 SF

SITE RECAP	
TOTAL PROJECT SITE: 24,568 SQ. FT. (0.564 ACRES)	
AREA CALCULATIONS	
PROPOSED BUILDING FOOTPRINT:	4,464
TOTAL BUILDING AREA:	4,973
PARKING	
REQUIRED HC ACCESSIBLE 1 SPACES	
PROVIDED HC ACCESSIBLE:	1 SPACES
STANDARD:	15 SPACES
TOTAL:	16 SPACES
CITY ZONING: C-2	
SETBACKS:	
FRONT =	5' - 0"
REAR =	5' - 0"
SIDES =	5' - 0"

BUILDING AREA	
FIRST FLOOR CONDITIONED SPACE	1121 SF
SECOND LEVEL UNCONDITIONED SPACE	1121 SF
GARAGE/SHOP:	3067 SF
TOTAL BUILDING:	5309 SF

- GENERAL NOTES**
- TRASH ENCLOSURE WILL BE CONTAINED WITHIN THE EXISTING TRASH ENCLOSURE
 - ALL MECHANICAL EQUIPMENT IS PROPOSED TO BE ROOF MOUNTED AND SCREENED BY PARAPET.
 - HIGHEST EXTERIOR WALL PROPOSED AT 26'-8" ABOVE FINISH FLOOR
 - NO OUTDOOR STORAGE AREAS ARE PROPOSED.
 - SEWER AND WATER SERVICE ARE AVAILABLE IN W. CARLTON BAY DRIVE.

HATCH DESIGN
ARCHITECTURE
200 W. 36TH ST
BOISE, IDAHO 83714
OFFICE: (208) 475-3204
FAX: (208) 475-3205
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HATCH DESIGN
ARCHITECTURE



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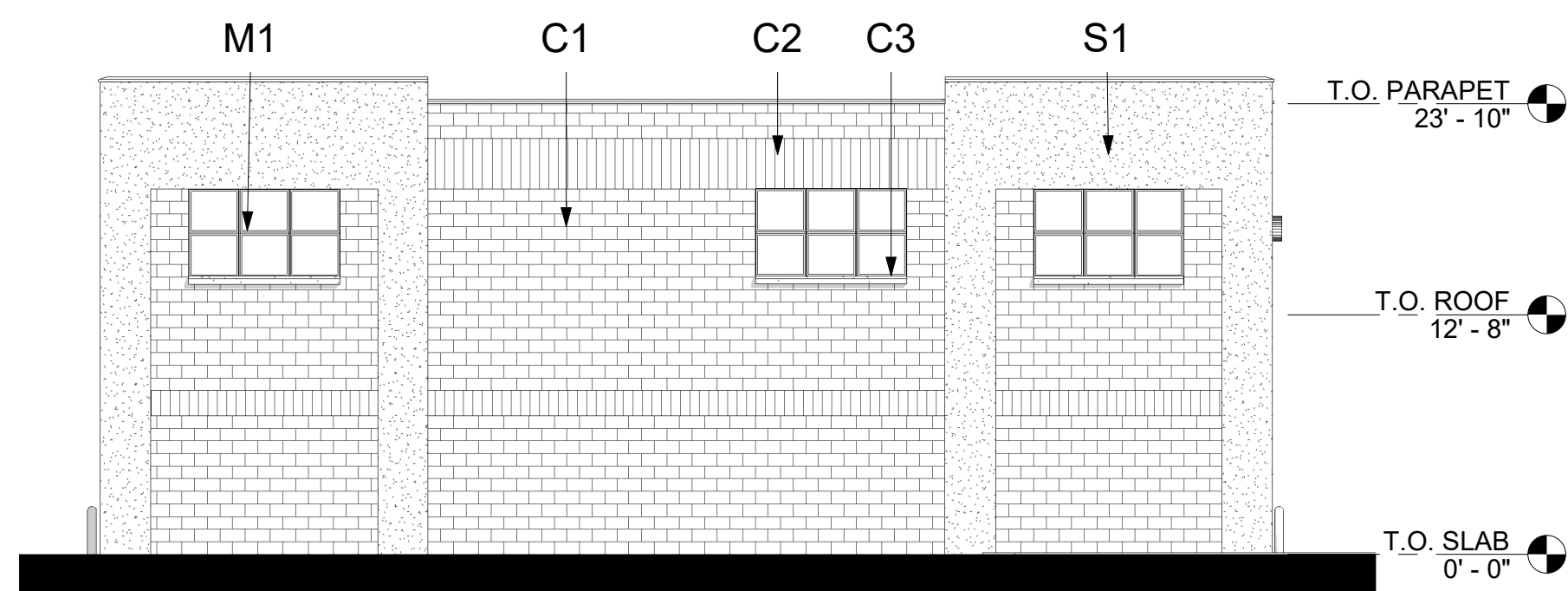
NEW CONSTRUCTION FOR:
GLASS DOCTOR
6845 N. GARDENER LANE, GARDEN CITY, ID

DATE	DESCRIPTION - COMMENTS

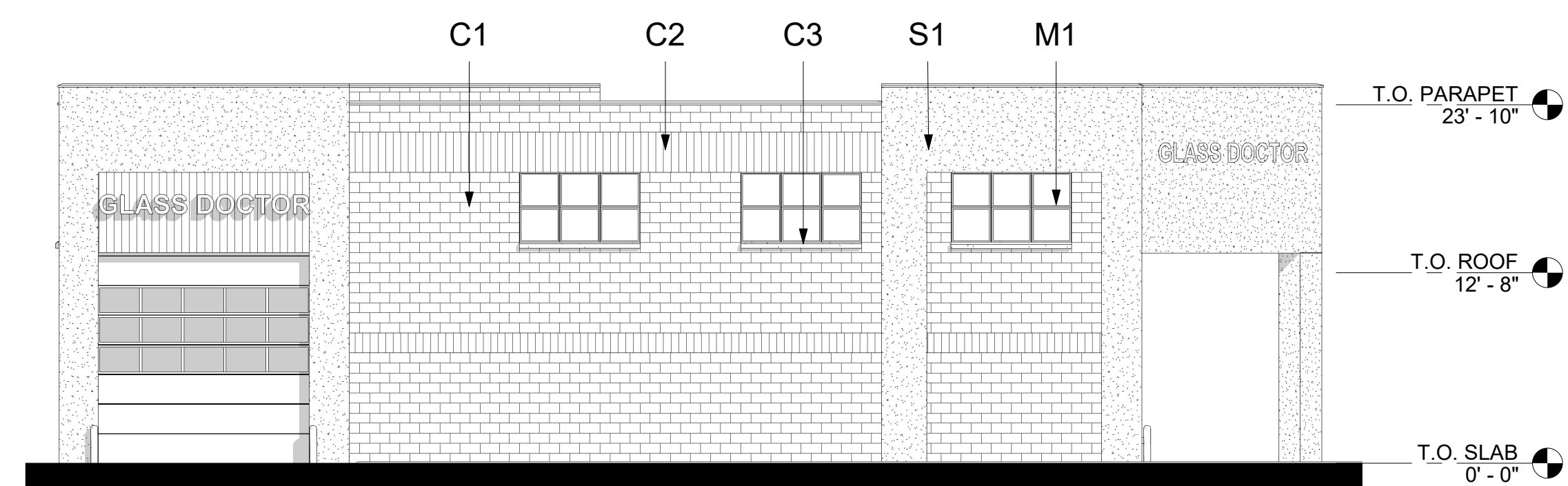
DATE: SEPTEMBER 2021
DRAWN BY: WE
CHECKED: JLH
JOB NUMBER: 18102

SHEET TITLE
SITE PLAN

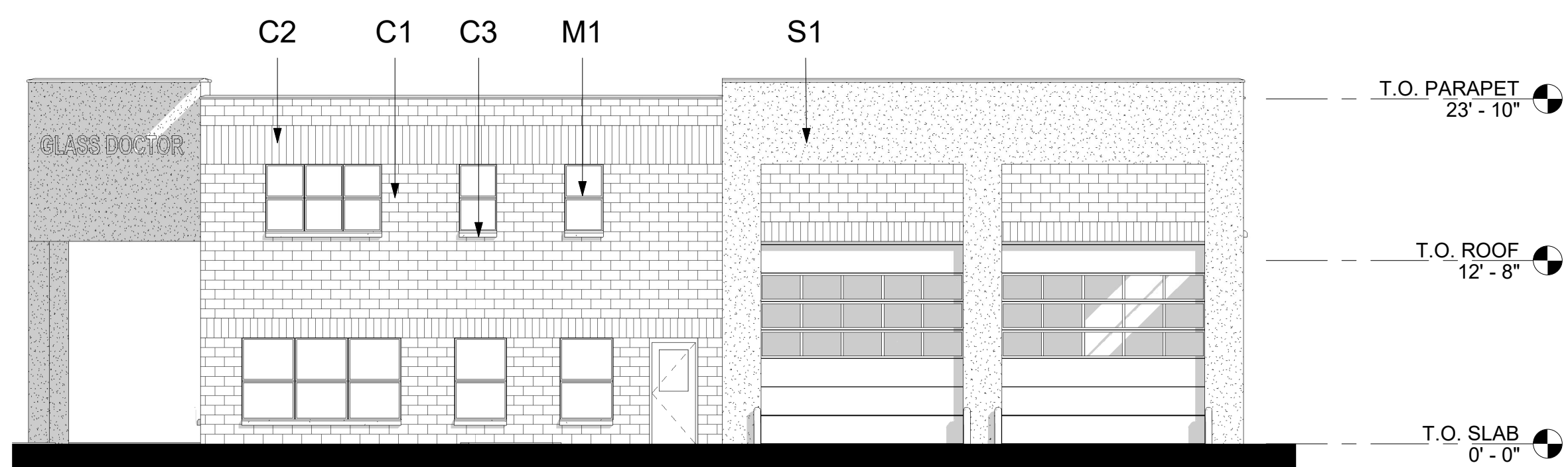
SHEET NUMBER
A-1.0



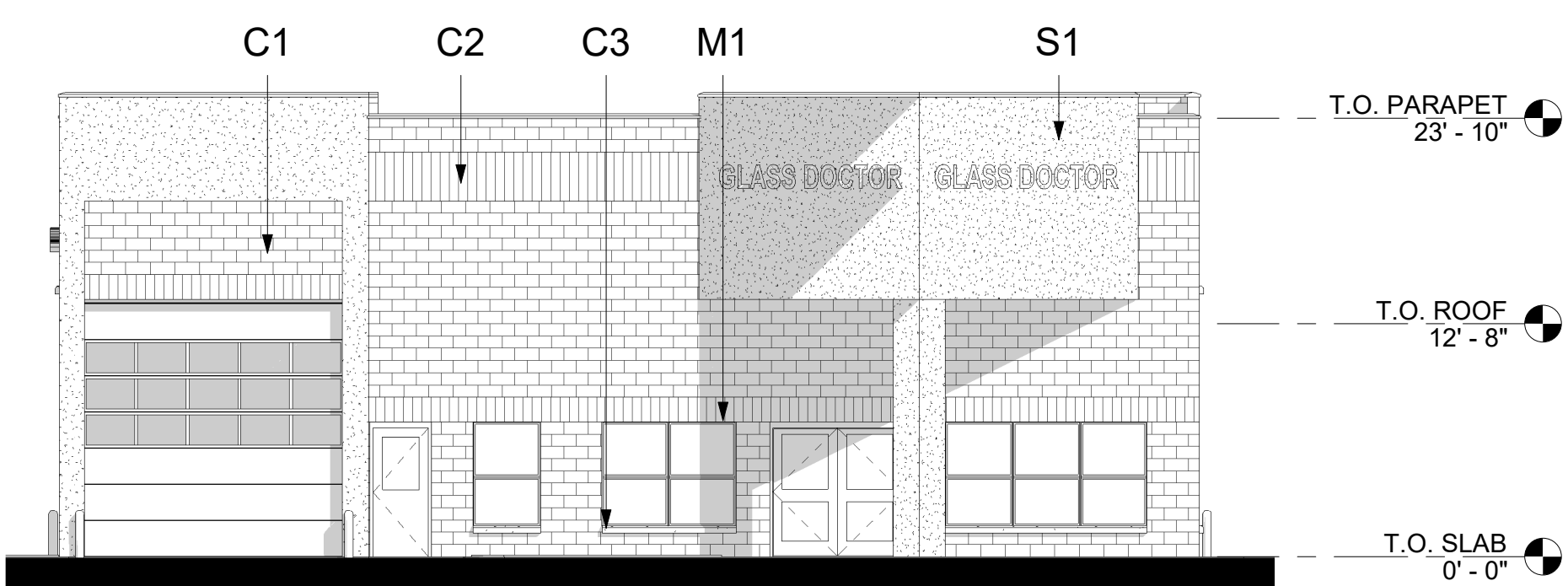
1 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"

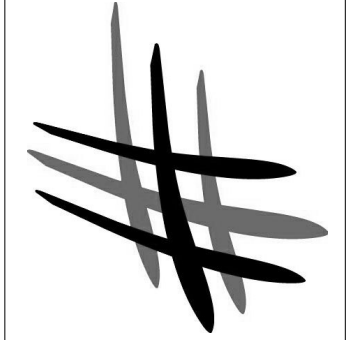


4 NORTH ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND

S1	MATERIAL: STUCCO COLOR/FINISH: BLUE
C1	MATERIAL: CMU COLOR/FINISH: BASALITE GRAPHITE
C2	MATERIAL: SOLDIER COURSE BRICK COLOR/FINISH: SLATE GREY
C3	MATERIAL: PRE-CAST CONCRETE COLOR/FINISH: GREY
M1	MATERIAL: ANODIZED ALUMINUM COLOR/FINISH: MCCI BRITE RED

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DATE: SEPTEMBER 2021
DRAWN BY: WE
CHECKED: Checker
JOB NUMBER: 18102

SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-4.0