



**HATCH
DESIGN
ARCHITECTURE**

200 W. 36th ST., Boise, Idaho 83714 • phone 208.475.3204 • fax 208.475.3205 • email info@hatchda.com

Project Narrative – DSRFY2022-0001

August 29, 2022

Building Permit Department
City of Garden City
6015 Glenwood Street
Garden City, Idaho 83714

Re: **Glass Doctor
6845 North Gardener Lane
Garden City, Idaho 83714**

Dear Hanna Veal,

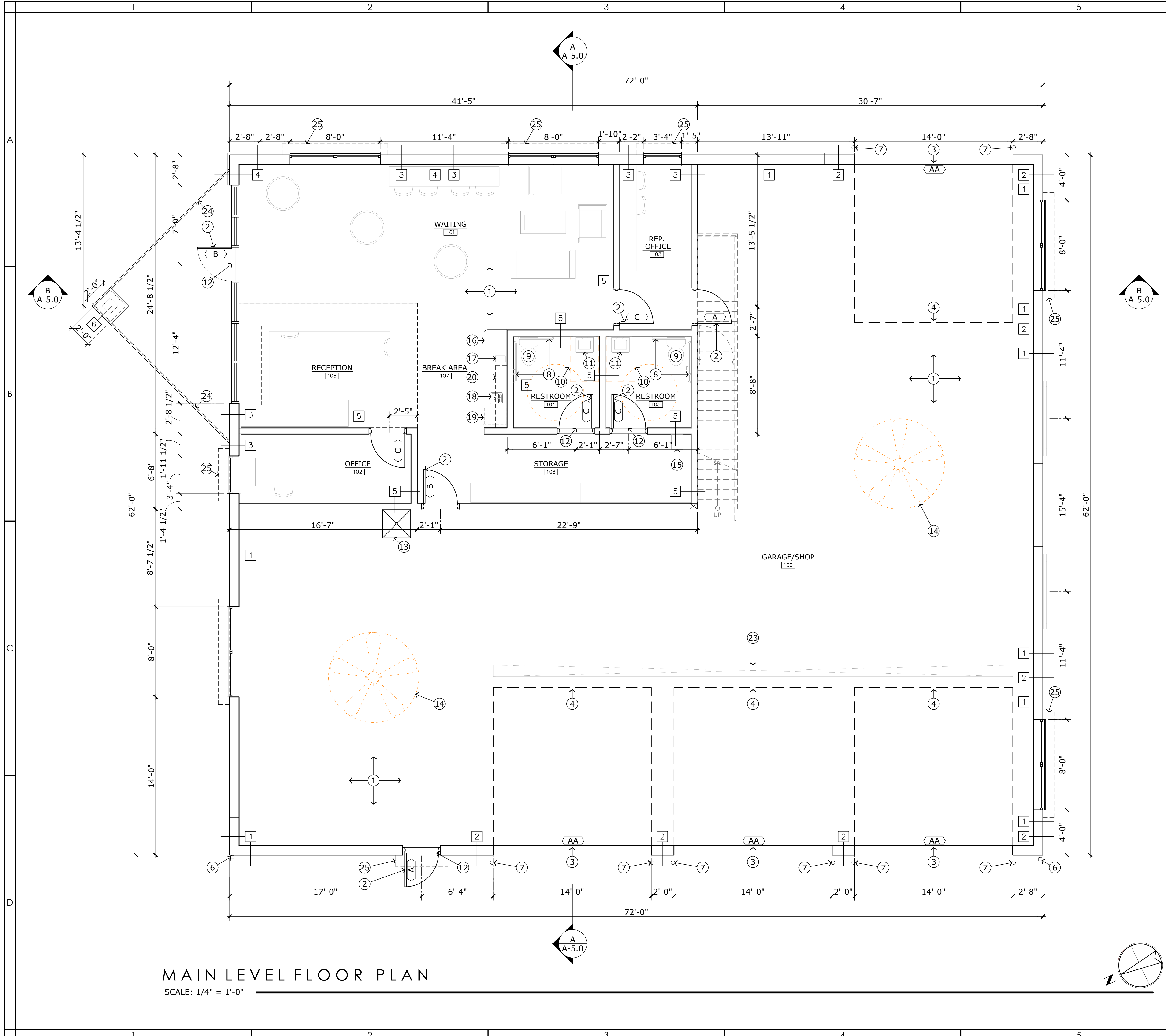
The owner of the property located at 6845 N. Gardener Ln. is proposing a limited design review modification as follows;

- Site plan parking modified to relocate ADA parking closer to building entrance.
- North service door removed, due to conflict with ADA parking.
- Main entry door/windows expanded to storefront system.
- Entrance awning shifted by 16 inches to the west.
- Bicycle parking relocated due to conflict with ADA parking.
- Lower windows width modified to match upper windows on all elevations.
- All windows vertical mullions modified for uniformity.
- Additional windows added to upper and lower north elevation.
- One upper window removed on east elevation to accommodate roof structure while maintaining required glazing percentage per façade.
- Vertical trellis modified from 3 panels to 2.
- Eyebrow awnings added above all lower windows and west service door.

Please contact our office with any questions you may have in reviewing the application materials.

Sincerely,

Jeff Hatch, AIA LEED AP
HATCH DESIGN ARCHITECTURE



MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

BUILDING AREA	
CONDITIONED SPACE	1300 SF
GARAGE/ SHOP	3164 SF
TOTAL BUILDING	4464 SF

- GENERAL NOTES**
- A. ALL CONDITIONED UNITS MUST HAVE 10 MIL. VAPOR BARRIER UNDER SLAB & 3 MIL. AT THE WALLS.
 - B. FOR OVERALL SLAB DIMENSIONS, SEE FOUNDATION PLANS.
 - C. SEE SHEETS A-4.0, A-4.1 FOR ADDITIONAL DIMENSIONS.

- SYMBOL LEGEND**
- (X) → KEYNOTE TAG, SEE KEYNOTES ON THIS SHEET.
 - #A DOOR TAG, SEE SCHEDULE ON SHEET A-6.0.
 - * WALL TAG, WALL PARTITION TYPES ON SHEET A-6.1.

- KEYNOTES**
- 1 LASER SCREED FINISH CONCRETE SLAB W/ 6" COMPACTED GRAVEL BASE (MIN. 95% COMPACTION), OVER 10 MIL. VAPOR BARRIER. SEE STRUCTURAL DRAWINGS FOR REINFORCEMENT. SLOPE MIN. 1/4" PER FOOT TOWARDS O.H.D.
 - 2 DOORS PER SCHEDULE. SEE SHEET A-6.0.
 - 3 DOORS PER PEMB. SEE SHEET A-6.0.
 - 4 LINE INDICATES OVERHEAD DOOR, OPEN POSITION.
 - 5 WALL MOUNTED FIRE EXTINGUISHER, SEE DETAIL 8/A-1.2.
 - 6 DOWNSPOUT. SEE DETAIL 9/A-1.1.
 - 7 STEEL PIPE BOLLARD, SEE DETAIL 10/A-1.1.
 - 8 1 1/2" GRAB BARS, 42" LONG ON SIDES AND 36" LONG BEHIND TOILET. REFER TO ADA MOUNTING HEIGHTS ON SHEET A-7.1 AND DETAILS 2 & 3/A-7.0.
 - 9 ADA COMPLIANT W.C., SEE TYPICAL ADA MOUNTING HEIGHTS ON SHEET A-7.1 AND PLUMBING DRAWINGS BY OTHERS.
 - 10 60" DIA. ADA TURNING RADIUS & CLEARANCES SHOWN DASHED.
 - 11 WALL MOUNTED LAVATORY, SEE ADA MOUNTING HEIGHTS ON SHEET A-7.1 AND DETAIL 1/A-7.0.
 - 12 ADA COMP. THRESHOLD, SEE DETAIL 5/A-7.0.
 - 13 FLOOR SINK. SEE PLUMBING DRAWINGS BY OTHERS.
 - 14 OVERHEAD FAN.
 - 15 DRINKING FOUNTAIN/BOTTLE FILLER.
 - 16 COUNTER FOR COFFEE BAR.
 - 17 COFFEE MAKER. OWNER SUPPLIED.
 - 18 BAR SINK.
 - 19 UNDER-COUNTER MINI FRIDGE. OWNER SUPPLIED.
 - 20 UPPER CABINERY.
 - 21 FUTURE STAIR.
 - 22 FUTURE CLOSET.
 - 23 TRENCH DRAIN.
 - 24 CANOPY ABOVE.
 - 25 EYEBROW AWNING ABOVE.

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200 W. 36TH ST.
BOISE, IDAHO 83714
OFFICE: (208) 475-3204
FAX: (208) 475-3205
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NEW CONSTRUCTION FOR:
GLASS DOCTOR
6845 N. GARDENER LANE, GARDEN CITY, ID 83714

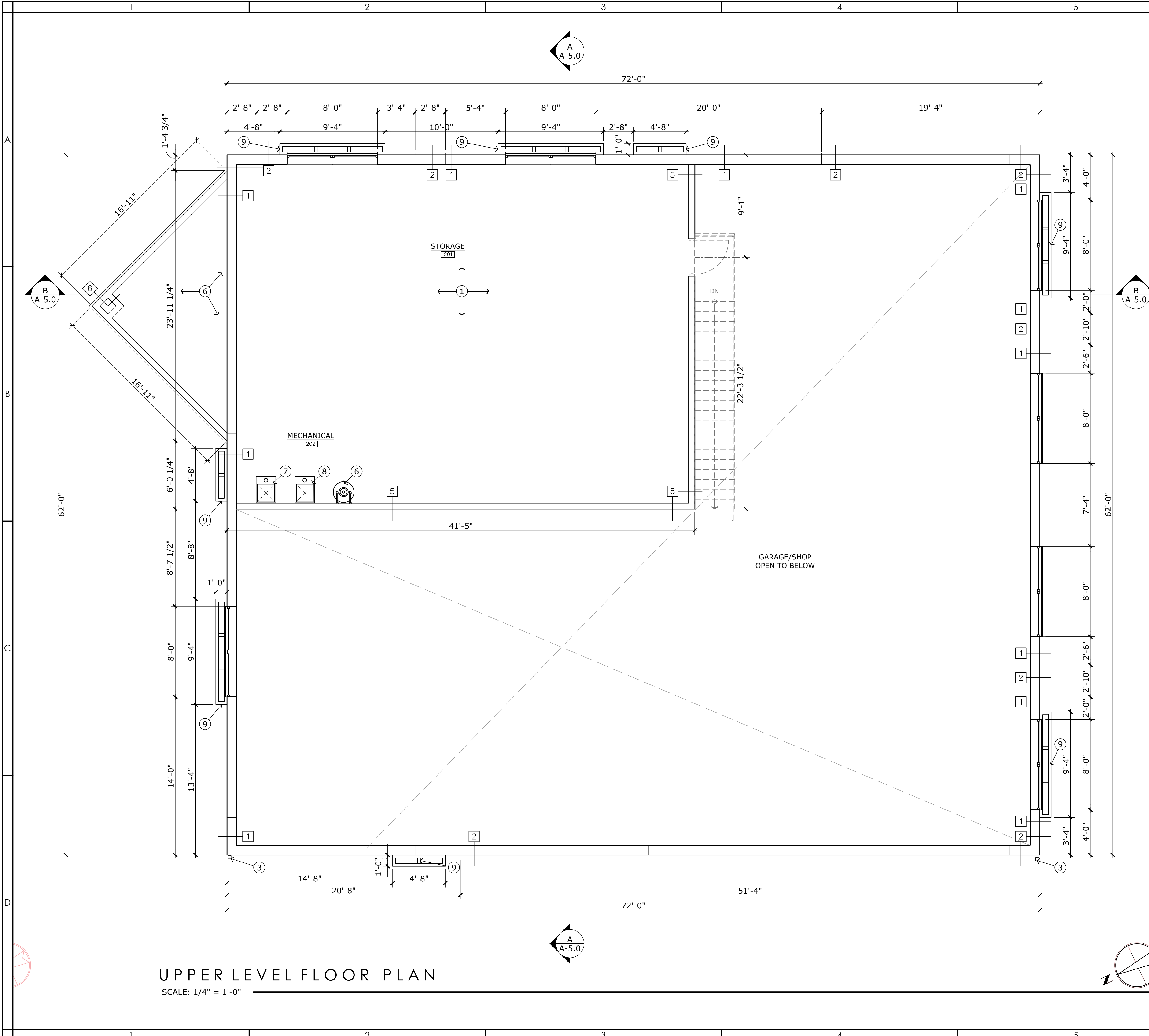
DATE	DESCRIPTION-COMMENTS

DATE: JUNE 2022
DRAWN BY: ECK, SK
CHECKED BY: JLH
JOB NUMBER: 18102

SHEET TITLE
MAIN FLOOR PLAN

SHEET NUMBER
A-2.0

SHEET 4



UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

BUILDING AREA	
CONDITIONED SPACE	1300 SF
GARAGE/ SHOP	3164 SF
TOTAL BUILDING	4464 SF

GENERAL NOTES

A. ALL CONDITIONED UNITS MUST HAVE 10 MIL. VAPOR BARRIER UNDER SLAB & 3 MIL. AT THE WALLS.

B. FOR OVERALL SLAB DIMENSIONS, SEE FOUNDATION PLANS.

C. SEE SHEETS A-4.0, A-4.1 FOR ADDITIONAL DIMENSIONS.

SYMBOL LEGEND

(X) → KEYNOTE TAG. SEE KEYNOTES ON THIS SHEET.

#A DOOR TAG. SEE SCHEDULE ON SHEET A-6.0.

* WALL TAG. WALL PARTITION TYPES ON SHEET A-6.1.

KEYNOTES

① STEEL STUD FLOORING. SEE STRUCTURAL.

② DOORS PER SCHEDULE. SEE SHEET A-6.0.

③ DOWNSPOUT. SEE DETAIL 9/A-1.1.

④ WALL MOUNTED FIRE EXTINGUISHER. SEE DETAIL 8/A-1.2.

⑤ WATER HEATER EQUIPMENT PAD. SEE PLUMBING DRAWINGS.

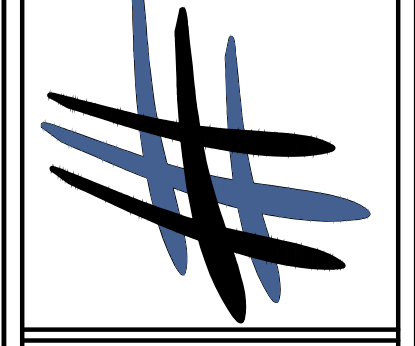
⑥ WATER HEATER. SEE PLUMBING DRAWINGS.

⑦ FURNACE. SEE ELECTRICAL DRAWINGS.

⑧ FUTURE FURNACE.

⑨ EYEBROW AWNING. SEE DETAILS.

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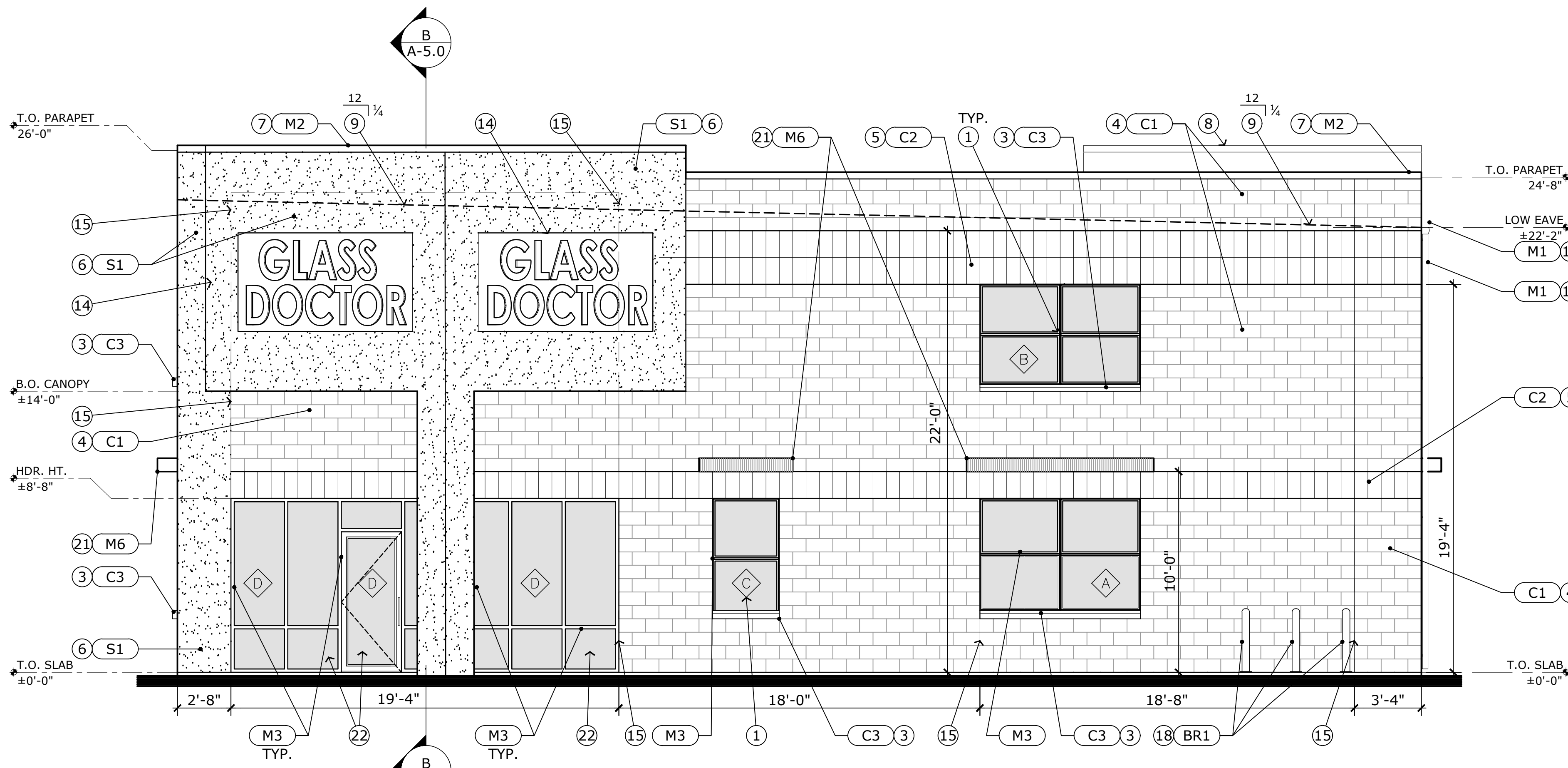
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SHEET TITLE
UPPER FLOOR PLAN

SHEET NUMBER
A-2.1

SHEET 5



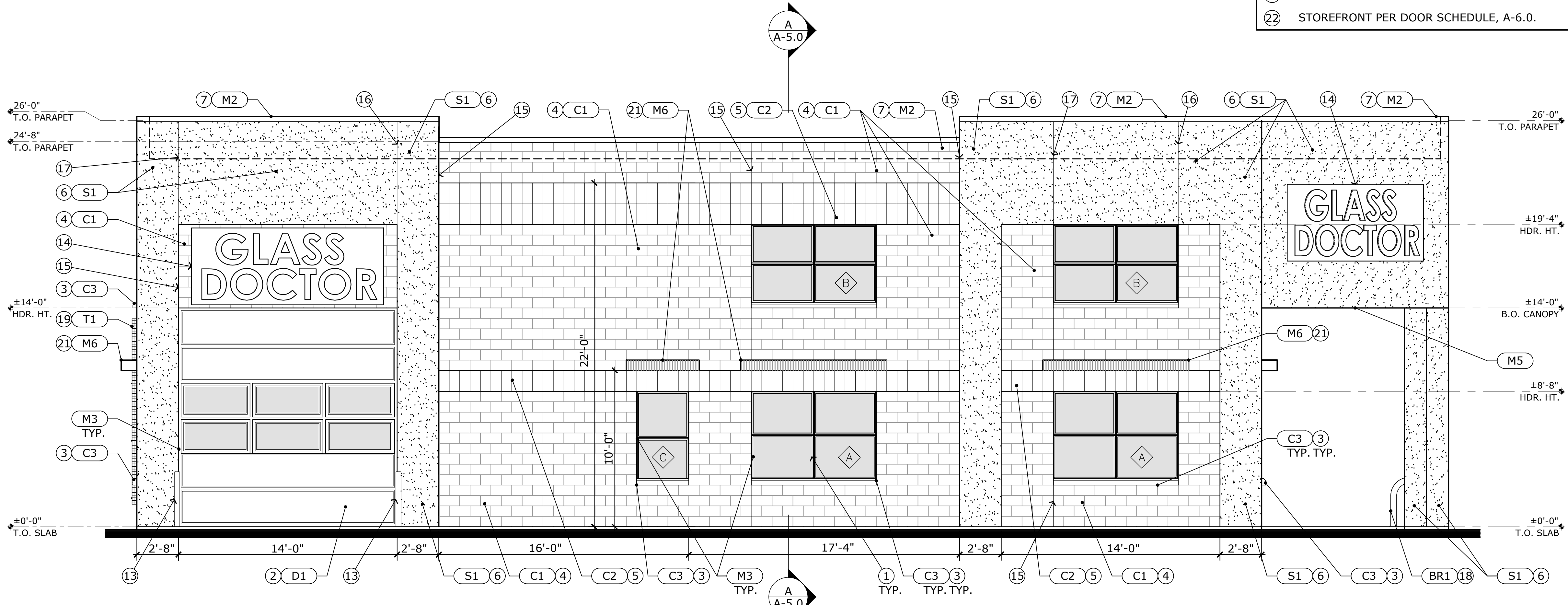
NORTH ELEVATION

SCALE: 1/4" = 1'-0"

- ### GENERAL NOTES
- A. REFER TO WINDOW SCHEDULE ON SHEET A-6.0 FOR WINDOW SIZES, TYPES AND FINISHES.
 - B. REFER TO DOOR SCHEDULE ON SHEET A-6.0 FOR DOOR SIZES, TYPES AND FINISHES.
 - C. ALL SIGNS FROM SIGN VENDOR TO BE COORDINATED WITH OWNER.
 - D. ALL EXTERIOR CMU PRODUCTS TO BE TREATED WITH INTEGRAL WATER REPELLANT.

- ### KEYNOTES
- 1 WINDOWS, PER PLAN. SEE A-6.0.
 - 2 DOORS, PER PLAN. SEE A-6.0.
 - 3 CONCRETE WINDOW SILL.
 - 4 SPLIT FACE CMU.
 - 5 POLISHED CMU, SOLDIER STACK.
 - 6 STUCCO WALL FINISH.
 - 7 MBCI COPING CAP.
 - 8 PARAPET, BEYOND.
 - 9 ROOF SLOPE, BEYOND.
 - 10 PRE-FINISHED METAL ROOFING.
 - 11 4" WIDE PRE-FINISHED METAL GUTTER.
 - 12 DOWNSPOUT, PER PLAN. SEE DETAIL 9/A-1.1.
 - 13 STEEL PIPE BOLLARD, SEE DETAIL 10/A-1.1.
 - 14 EXTERIOR SIGNAGE. OWNER SELECTED, CONTRACTOR INSTALLED.
 - 15 CONTROL JOINT PER MASONRY MANUFACTURER SPECS. SEE STRUCTURAL DRAWINGS.
 - 16 STUCCO CONTROL JOINT ONLY. SEE STRUCTURAL DRAWINGS.
 - 17 MASONRY & STUCCO CONTROL JOINT. SEE STRUCTURAL DRAWINGS.
 - 18 BIKE RACK. SEE DETAIL X/A-1.1.
 - 19 VERTICAL TRELLIS. SEE DETAIL X/A-1.1.
 - 20 METAL TRIM.
 - 21 EYEBROW AWNING. SEE DETAIL X/A-1.1.
 - 22 STOREFRONT PER DOOR SCHEDULE, A-6.0.

- ### EXTERIOR FINISH SPECIFICATIONS
- C1: CONCRETE MASONRY UNIT - SPLIT FACE:**
 CMU w/ INTEGRAL COLOR & WATER REPELLANT
 MANUFACTURER: BASALITE OR APPROVED EQUAL.
 FINISH & COLOR: SEE A-7.3 FOR DETAILS.
- C2: CONCRETE MASONRY UNIT - POLISHED FACE:**
 CMU w/ INTEGRAL COLOR & WATER REPELLANT
 MANUFACTURER: BASALITE OR APPROVED EQUAL.
 COLOR: #695 CHARCOAL
- C3: PRECAST CONCRETE SILL:**
 HEATH SPECIALTY PRECAST OR APPROVED EQUAL PRECAST CONCRETE SILL.
- D1: METAL OVERHEAD PANEL DOORS**
 COLOR: BRITE RED
- D2: METAL DOORS**
 COLOR: BRITE RED
- M1: 4" METAL GUTTER (24 GA.), DOWNSPOUT & TRIM**
 MANUFACTURER: MBCI OR APPROVED EQUAL
 PRODUCT/FINISH: PRE-FINISHED METAL PANEL
 COLOR: MIDNIGHT BRONZE
- M2: METAL COPING CAP**
 OMG PERMASNAP OR APPROVED EQUAL.
 PRE-FINISHED METAL PARAPET COPING CAP.
 INSTALL PER MANUF. RECOMM.
 COLOR: CHARCOAL GREY/A-16.
- M3: METAL TRIM**
 MANUFACTURER: MBCI OR APPROVED EQUAL
 PRODUCT/FINISH: PRE-FINISHED ANODIZED ALUMINUM
 COLOR: CLEAR ANODIZED
- M4: METAL TRIM**
 MANUFACTURER: MBCI OR APPROVED EQUAL
 PRODUCT/FINISH: PRE-FINISHED ANODIZED ALUMINUM
 COLOR: MIDNIGHT BRONZE
- M5: METAL SOFFIT PANEL**
 MANUFACTURER: MBCI OR APPROVED EQUAL
 PRODUCT/FINISH: PRE-FINISHED ANODIZED ALUMINUM
 COLOR: BLUE
- M6: METAL TRIM**
 MANUFACTURER: MBCI OR APPROVED EQUAL
 PRODUCT/FINISH: PRE-FINISHED ANODIZED ALUMINUM
 COLOR: BRITE RED
- MR1: METAL ROOF PANELS**
 MBCI BATTENLOK HS ROOF PANEL OR APPROVED EQUAL.
 12" WIDE, 24 GAUGE MECHANICALLY FIELD-SEALED, HIGH STRENGTH STANDING SEAM ROOF SYSTEM.
 INSTALL PER MANUF. RECOMM.
 COLOR: BRITE RED
- S1: STUCCO WALL FINISH**
 PAREX ARMOURWALL 300, CONSISTS OF FIBER-47 2-COAT SYSTEM. ELASTOMETIC BASED FINISH COAT OVER PAREX PRIMER, FINISH COLOR AS SELECTED BY OWNER/ARCHITECT. AT LOCATIONS 3'-0" ABOVE GRADE SURGACE, APPLY HIGH-IMPACT MEXT FINISH WITH TEXTURE AND COLOR TO MATCH 2-COAT STUCCO FINISH, AS DESCRIBED ABOVE. APPLY/INSTALL PER MANUF. REQUIREMENTS.
- T1: VERTICAL TRELLIS**
 MANUFACTURER:
 COLOR: POWDER COATED
- BR1: BIKE RACK**
 MANUFACTURER:
 COLOR: BRITE RED



EAST ELEVATION

SCALE: 1/4" = 1'-0"

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 200 W. 36TH ST.
 BOISE, IDAHO 83714
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 FAX: (208) 975-2805
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DATE	DESCRIPTION - COMMENTS

DATE: JUNE 2022
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 CHECKED BY: JLH
 JOB NUMBER: 18102

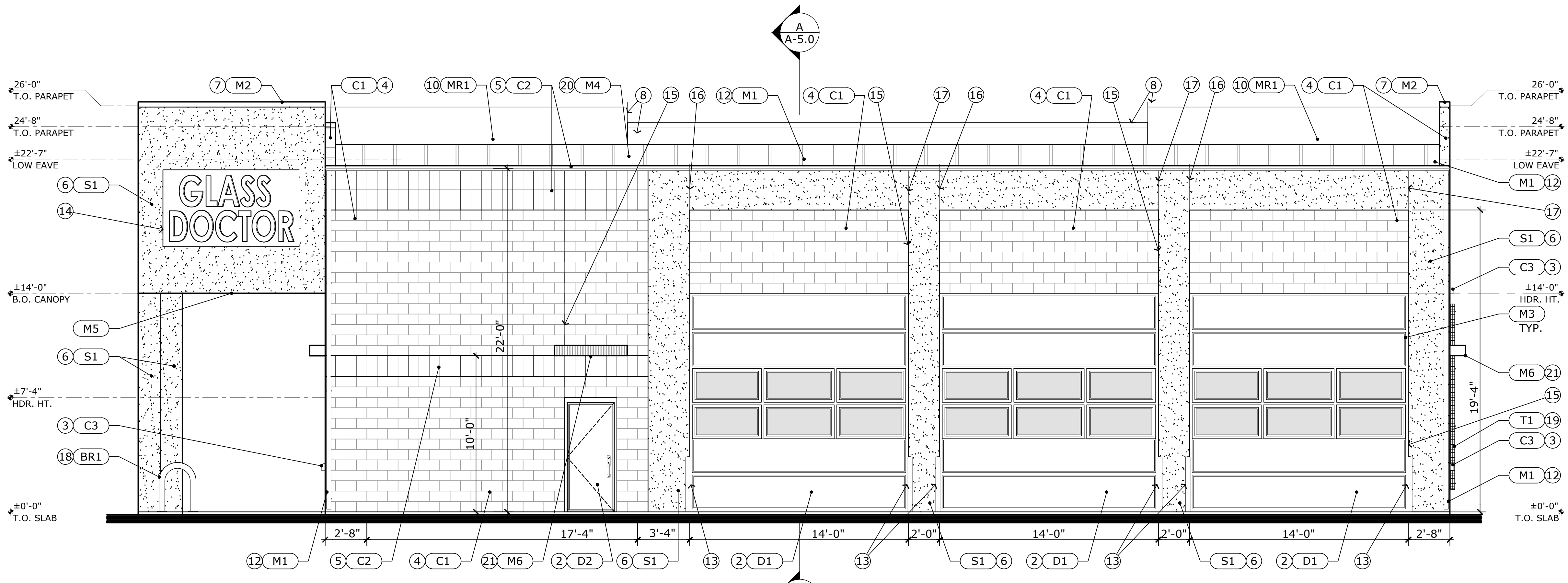
SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A-4.0

SHEET
 11



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

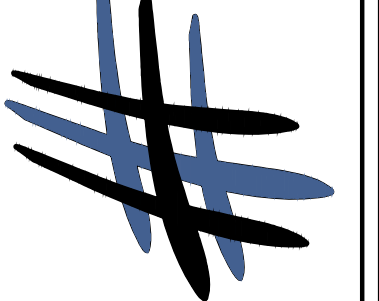
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- C. REFER TO DOOR SCHEDULE ON SHEET A-6.0 FOR DOOR SIZES, TYPES AND FINISHES.
- D. ALL SIGNS FROM SIGN VENDOR TO BE COORDINATED WITH OWNER.
- E. ALL EXTERIOR CMU PRODUCTS TO BE TREATED WITH INTEGRAL WATER REPELLENT.

KEYNOTES

- 1 WINDOWS, PER PLAN. SEE A-6.0.
- 2 DOORS, PER PLAN. SEE A-6.0.
- 3 CONCRETE WINDOW SILL.
- 4 SPLIT FACE CMU.
- 5 POLISHED CMU, SOLDIER STACK.
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NEW CONSTRUCTION FOR:
GLASS DOCTOR
6845 N. GARDENER LANE, GARDEN CITY, ID 83714

DATE	DESCRIPTION - COMMENTS

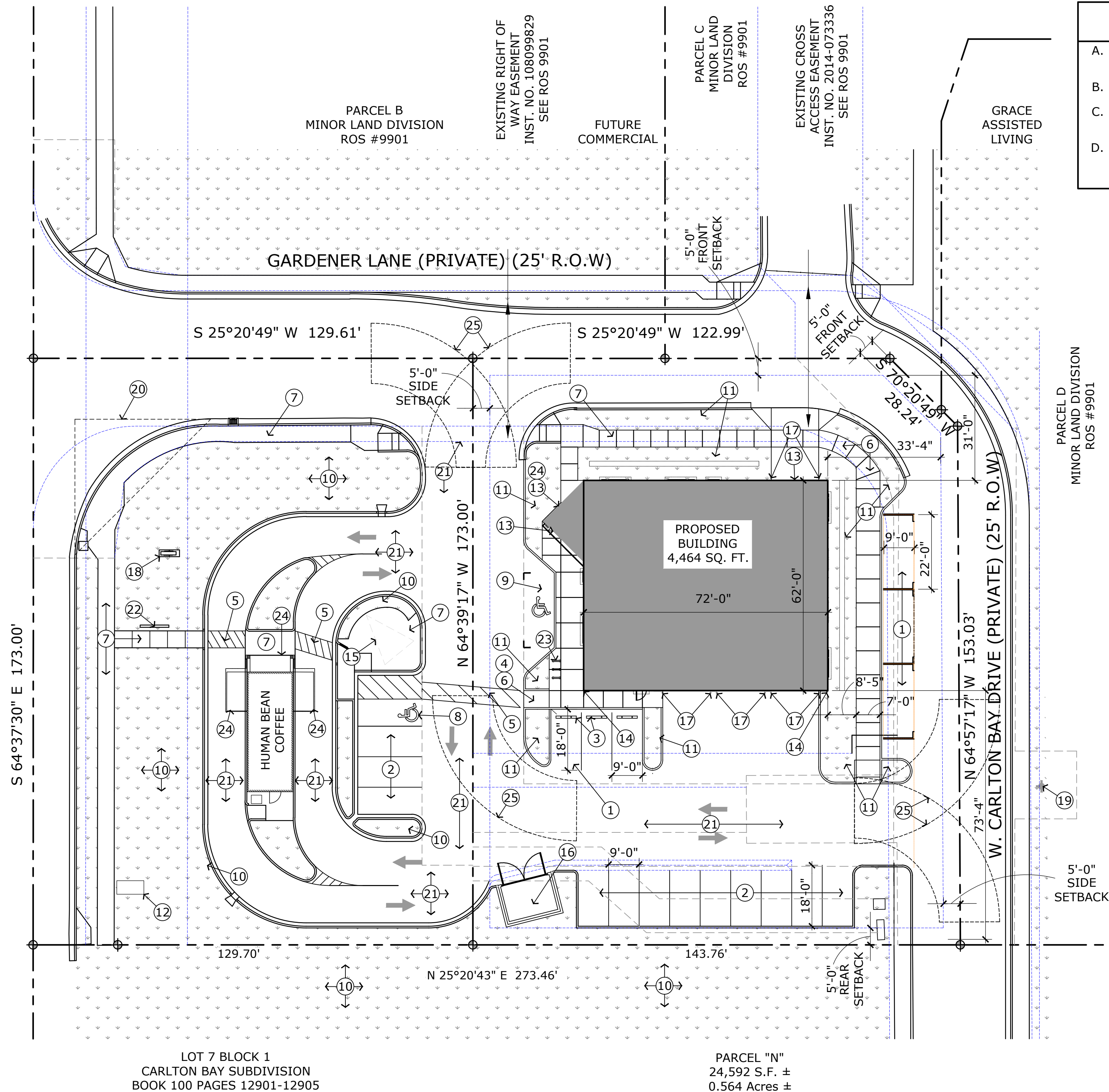
DATE: JUNE 2022
DRAWN BY: ECK, SK
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JOB NUMBER: 18102

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A-4.1
SHEET 11

W. STATE STREET (STATE HIGHWAY 44) (88' R.O.W)

BASIS OF BEARINGS PER
ROS NO. 9901 (R1)

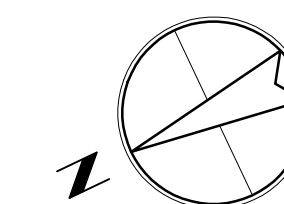


LOT 7 BLOCK 1
CARLTON BAY SUBDIVISION
BOOK 100 PAGES 12901-12905

PARCEL "N"
24,592 S.F. ±
0.564 Acres ±

SITE REFERENCE PLAN

SCALE: 1" = 20'-0"



SITE CALCS

IMPERVIOUS SURFACES	65%	16026	SF
NEW BUILDING FOOTPRINT	18%	4452	SF
LANDSCAPING	17%	4090	SF
OVERALL SITE		24568	SF

GENERAL NOTES

- TRASH STORAGE WILL BE CONTAINED WITHIN THE EXISTING TRASH ENCLOSURE.
- NO OUTDOOR STORAGE AREAS ARE PROPOSED.
- SEWER AND WATER SERVICES ARE AVAILABLE IN W. CARLTON BAY DRIVE.
- ALL MECHANICAL EQUIPMENT IS PROPOSED TO BE ROOF MOUNTED AND SCREENED BY PARAPET.

KEYNOTES

TOTAL PROJECT SITE: 24,568 SQ. FT. (0.564 ACRES)

AREA CALCULATIONS

PROPOSED BUILDING FOOTPRINT 4,452 SQ. FT.
TOTAL BUILDING AREA 4,995 SQ. FT.

PARKING

REQUIRED: HC ACCESSIBLE 1 SPACES

PROVIDED: HC ACCESSIBLE 1 SPACES
STANDARD 17 SPACES
TOTAL 18 SPACES

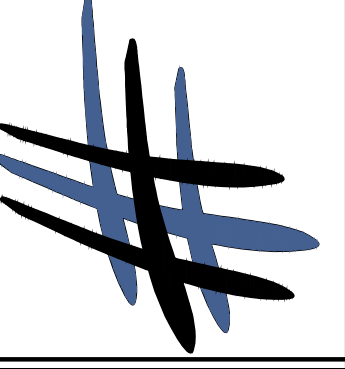
CITY ZONING- C-2

SETBACKS:
FRONT- 5'-0"
REAR- 5'-0"
SIDES- 5'-0"

KEYNOTES

- PROPOSED PARKING STALLS. SEE CIVIL DRAWINGS BY OTHERS.
- EXISTING PARKING STALLS. SEE CIVIL DRAWINGS BY OTHERS.
- WHEEL STOP, PER CIVIL.
- NEW ADA PEDESTRIAN RAMP.
- 5' WIDE STRIPED PEDESTRIAN WALKWAY.
- NEW CONCRETE SIDEWALK, PER CIVIL.
- EXISTING SIDEWALK TO REMAIN. SEE CIVIL DRAWINGS BY OTHERS.
- EXISTING ADA PARKING STALL WITH AISLE TO REMAIN.
- PROPOSED ADA PARKING STALL WITH AISLE.
- EXISTING LANDSCAPED AREA
- PROPOSED LANDSCAPED AREA, PER LANDSCAPE PLAN.
- EXISTING MONUMENT SIGN TO REMAIN.
- PROPOSED SIGNAGE, ABOVE.
- DOWNSPOUT.
- CANOPY, ABOVE.
- EXISTING SHARED TRASH ENCLOSURE TO REMAIN.
- PARKING BOLLARD, SEE DETAIL 10/A-1.1.
- PROPOSED MONUMENT SIGN.
- FIRE HYDRANT, SEE CIVIL DRAWINGS.
- 40' VISION TRIANGLE.
- EXISTING CURB, GUTTER AND ASPHALT ROAD TO REMAIN.
- EXISTING BICYCLE PARKING.
- PROPOSED BICYCLE PARKING, SEE DETAIL ON SHEET A-1.2.
- AWNING ABOVE.
- FIRE ENGINE ACCESS.
- PROPOSED EXTERIOR LIGHTING, SEE ELECTRICAL DRAWINGS BY OTHERS.
- GAS METER. SEE PLUMBING DWGS.
- A/C CONDENSER UNITS, PER MECHANICAL.

HATCH DESIGN
ARCHITECTURE
200 W. 36TH ST
SUITE 100
OFFICE (208) 475-3204
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6845 N. GARDENER LANE, GARDEN CITY, ID 83714

DATE	DESCRIPTION	COMMENTS

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CHECKED BY: JLH
JOB NUMBER: 18102

SHEET TITLE
SITE PLAN

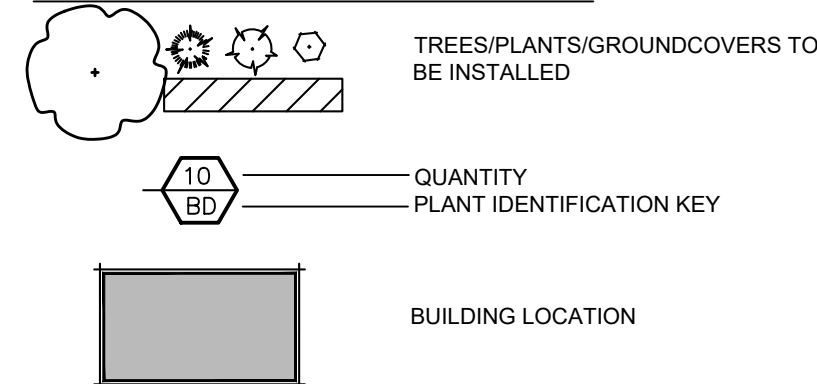
SHEET NUMBER
A-1.0

SHEET 3

PLANT SCHEDULE

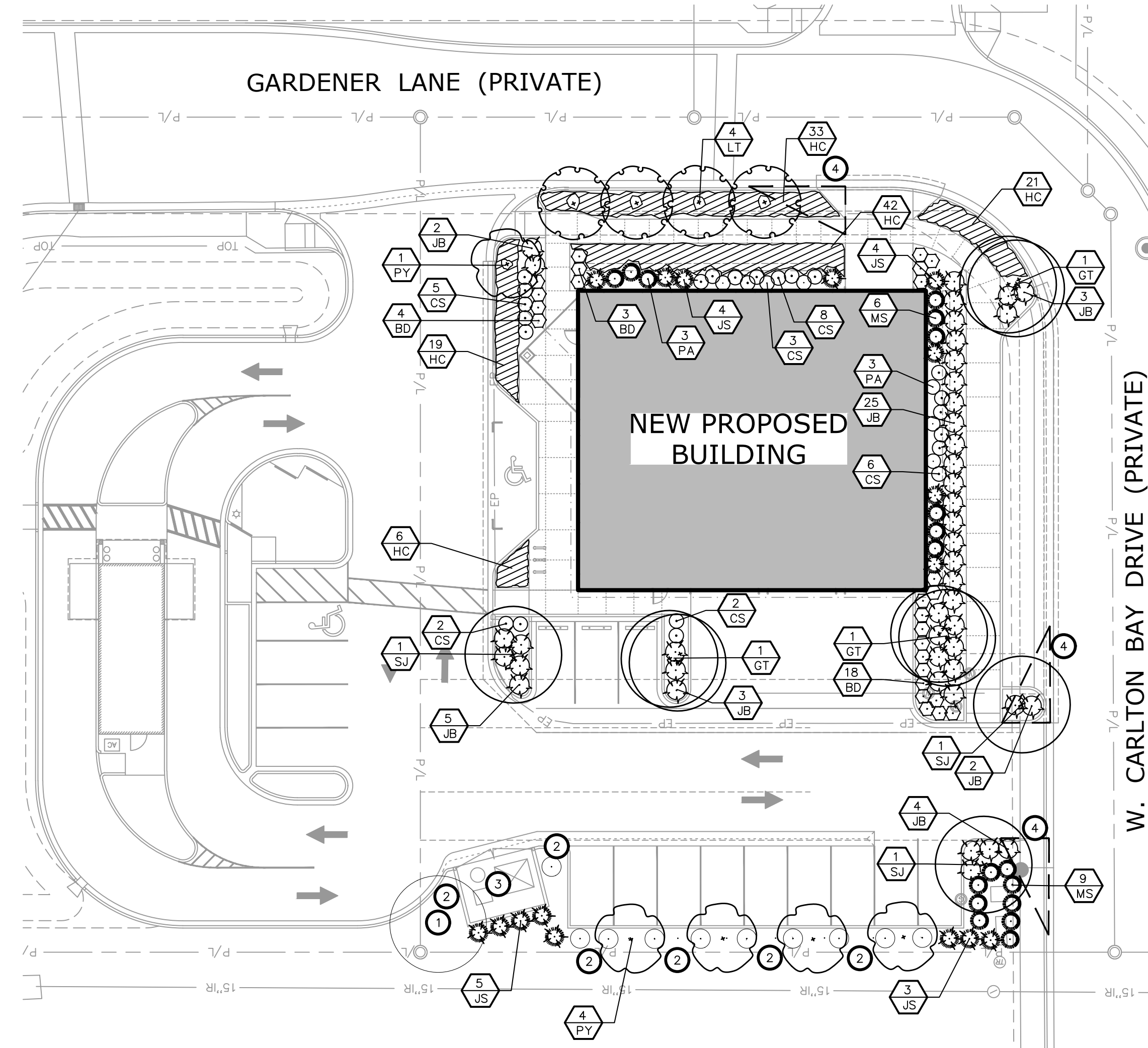
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECIDUOUS SHADE TREES					
3	GT	Gleditsia triacanthos 'Shademaster'	Shademaster® Honeylocust	2" CAL. B&B	Class II - 45' H x 35' W
3	SJ	Sophora japonica 'Regent'	Regent Japanese Pagoda Tree	2" CAL. B&B	Class II - 50' H x 45' W
5	PY	Prunus x yedoensis 'Akebono'	Akebono Yoshino Cherry	2" CAL. B&B	Class I - 25' H x 25' W
4	LT	Liriodendron tulipifera 'Fastigiatum'	Columnar Tulip Tree	2" CAL. B&B	Class II - 50' H x 15' W
CONIFEROUS TREES					
16	JS	Juniperus scopulorum 'Blue Arrow'	Blue Arrow Juniper	6-7 HGT. B&B	12' H x 2-3' W
SHRUBS/PERENNIALS/ORNAMENTAL GRASSES					
25	BD	Buxus microphylla japonica 'Winter Gem'	Winter Gem Boxwood	#1	
23	CS	Cornus stolonifera 'Arctic Fire'	Arctic Fire Dogwood	#2	
121	HC	Hypericum corymbosum	St. John's Wort	#1; 36" o.c.	prune/mow to ground every spring
44	JB	Juniperus squamata 'Blue Star'	Blue Star Juniper	#1	
18	MS	Miscanthus sinensis 'Morning Light'	Morning Light Maiden Grass	#2	
6	PA	Parthenocissus quinquefolia	Virginia Creeper	#2	vine; train to planter panel

LANDSCAPE LEGEND



CALLOUT LEGEND

- 1 RETAIN AND PROTECT EXISTING TREE
- 2 RETAIN AND PROTECT EXISTING PLANTS
- 3 EXISTING DUMPSTER ENCLOSURE
- 4 VISION TRIANGLE
- 5 CONTRACTOR TO FIELD LOCATE PLANT MATERIALS TO BEST SCREEN THE UTILITIES



LANDSCAPE PLAN

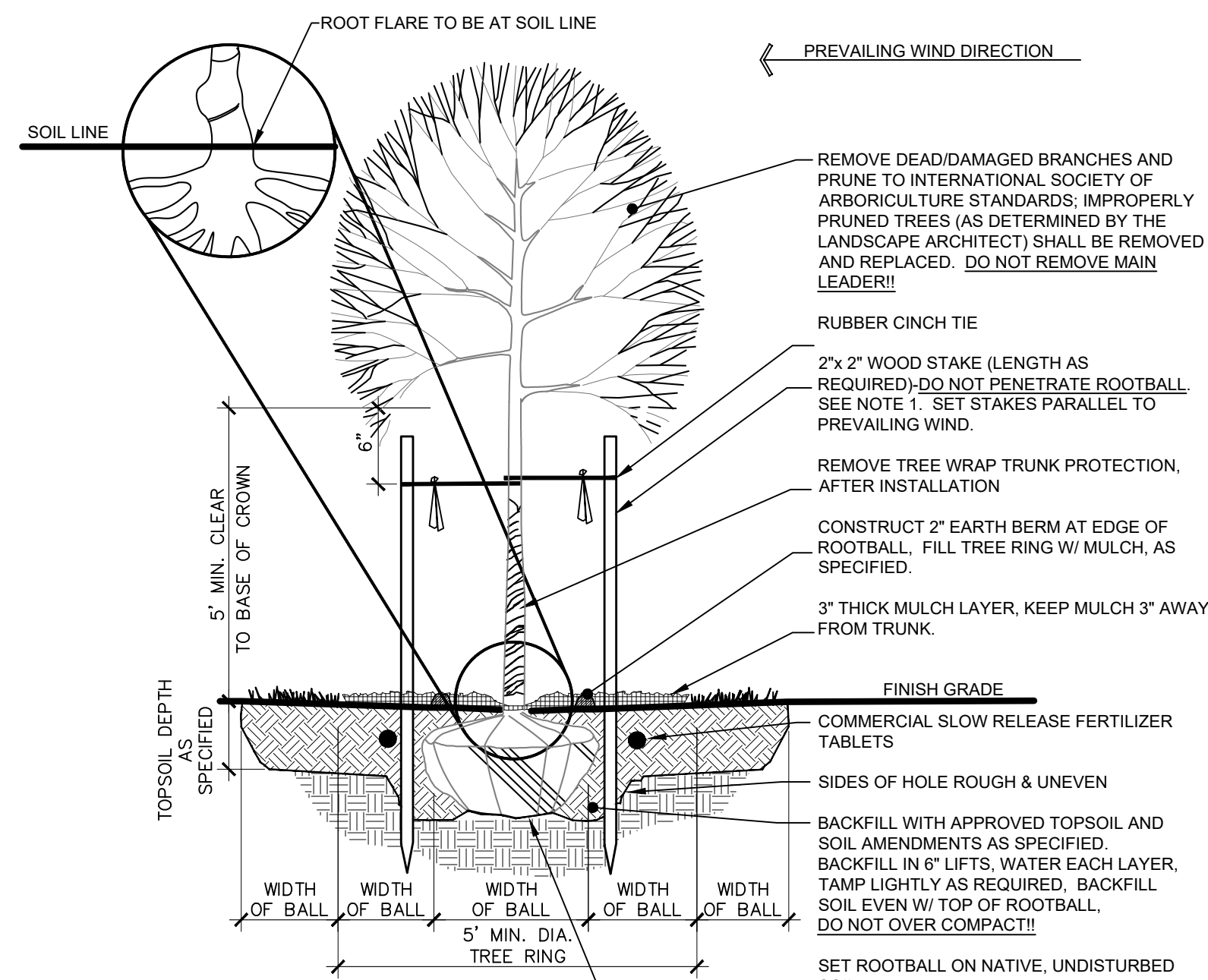


LANDSCAPE NOTES:

- CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK. PRIOR TO BEGINNING WORK.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CAN NOT BE OBTAINED.
- COORDINATE ALL WORK WITH ALL OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- COORDINATE WORK SCHEDULE AND OBSERVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START-UP.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.
- IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT SYMBOLS SHALL OVERRIDE SCHEDULE QUANTITIES AND CALL OUT SYMBOL NUMBERS.
- ALL PLANTING BEDS SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF LARGE (1" MINUS) BROWN PERMABARK ROCK MULCH. SUBMIT SAMPLE FOR APPROVAL. CONTRACTOR SHALL APPLY A PRE-EMERGENT HERBICIDE SUCH AS CASARON OR APPROVED EQUAL PRIOR TO INSTALLATION OF MULCH.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
- FINISH GRADES SHALL PROVIDE A SMOOTH TRANSITION WITH ADJACENT SURFACES AND ENSURE POSITIVE DRAINAGE IN ACCORDANCE WITH THE SITE GRADING PLAN.
- AMEND EXISTING APPROVED TOPSOIL AT A RATIO OF THREE CUBIC YARDS OF APPROVED COMPOST PER 1000 SQUARE FEET. ROTO-TILL ORGANIC MATTER A MINIMUM OF 6 INCHES INTO TOPSOIL.
- FERTILIZE ALL TREES AND SHRUBS WITH AGRIFORM PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATIONS. ALL PLANTING BEDS SHALL HAVE A MINIMUM 18" DEPTH OF TOPSOIL. SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 3" BELOW ADJACENT SURFACES OF PLANTER BED AREAS. REUSE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. VERIFY SUITABILITY AND CONDITION OF TOPSOIL AS A GROWING MEDIUM. PERFORM SOIL TEST/ANALYSIS AND PROVIDE ADDITIONAL AMENDMENT AS DETERMINED BY SOIL TESTS. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL AND HAVE A PH OF 5.5 TO 7.0. IF ON-SITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTOR IS RESPONSIBLE TO EITHER:
 - A) PROVIDE APPROVED IMPORTED TOPSOIL, OR
 - B) IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY THE LANDSCAPE ARCHITECT.
- IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, ENSURE IT IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
 - A) OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THOSE FOUND ON THE PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT A DEPTH OF NOT LESS THAN 4 INCHES.
 - B) REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY, TOXICITY, AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE BY THE CONTRACTOR. NO TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION. ACIDITY/ALKALINITY RANGE - PH. 5.5 TO 7.0.
- IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSAL OF PROPERLY OFF SITE.
- TREES SHALL NOT BE PLANTED WITHIN THE 10'-0" CLEAR ZONE OF ALL A.C.H.D. STORM DRAIN PIPE, STRUCTURES, OR FACILITIES. TREES SHALL NOT BE PLANTED WITHIN 5'-0" OF AN A.C.H.D. SIDEWALK.
- SEEPAGE BEDS AND OTHER STORM DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
- IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

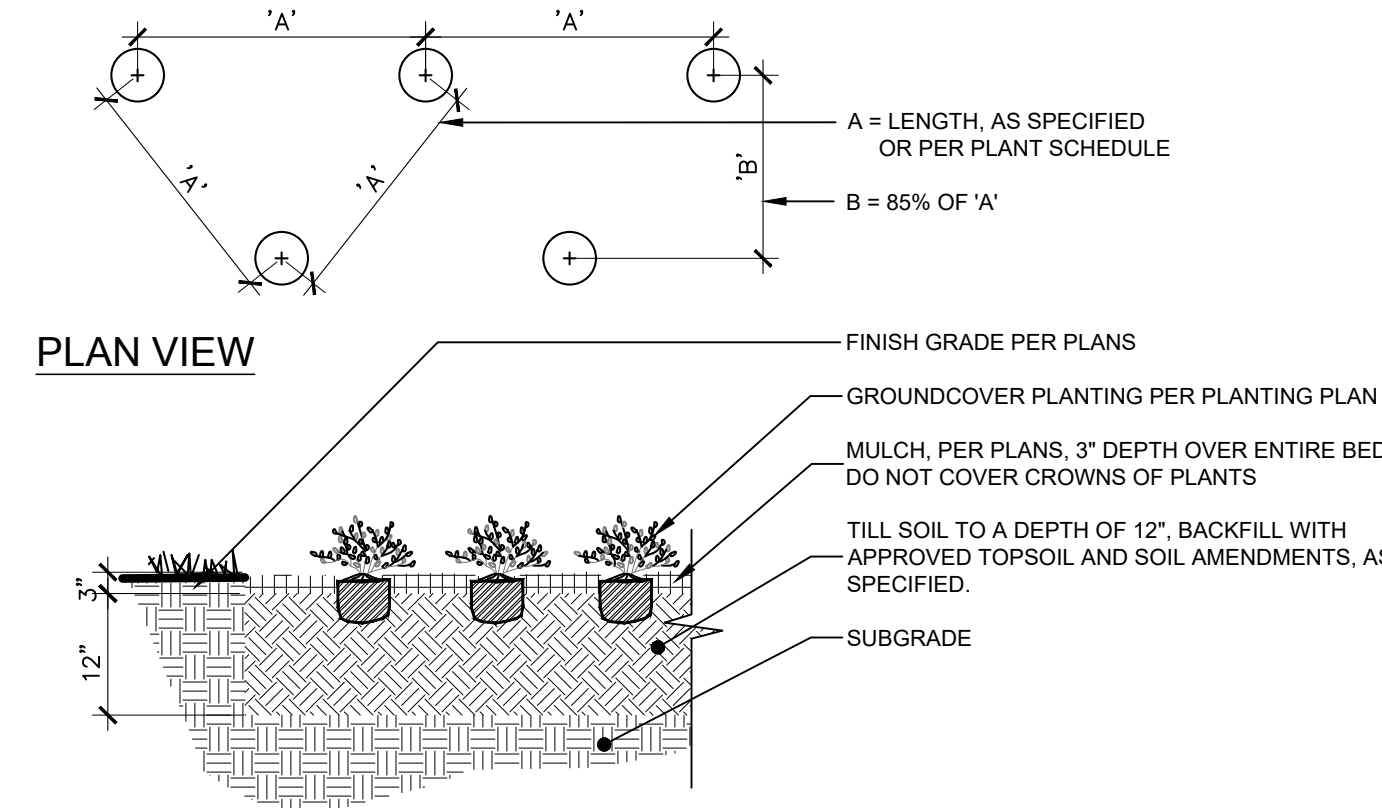
WEED ABATEMENT NOTES:

- ALL AREAS TO BE PLANTED SHALL HAVE WEED ABATEMENT OPERATIONS PERFORMED ON THEM PRIOR TO PLANTING.
- CONTRACTOR SHALL SPRAY ALL EXPOSED WEEDS WITH "ROUND-UP" (CONTACT HERBICIDE) OR APPROVED EQUAL.
- DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED WEEDS FROM THE SITE.
- CONTRACTOR SHALL OPERATE THE AUTOMATIC IRRIGATION SYSTEM FOR A PERIOD OF FOURTEEN (14) DAYS. AT CONCLUSION OF THIS WATERING PERIOD, DISCONTINUE WATERING FOR THREE TO FIVE (3-5) DAYS.
- APPLY SECOND APPLICATION OF ROUND-UP TO ALL EXPOSED WEEDS. APPLY IN STRICT CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE WEEDS FROM THE SITE.
- IF ANY EVIDENCE OF WEED GERMINATION EXISTS AFTER TWO (2) APPLICATIONS, CONTRACTOR SHALL BE DIRECTED TO PERFORM A THIRD APPLICATION.
- AT THE TIME OF PLANTING, ALL PLANTING AREAS SHALL BE WEED FREE.



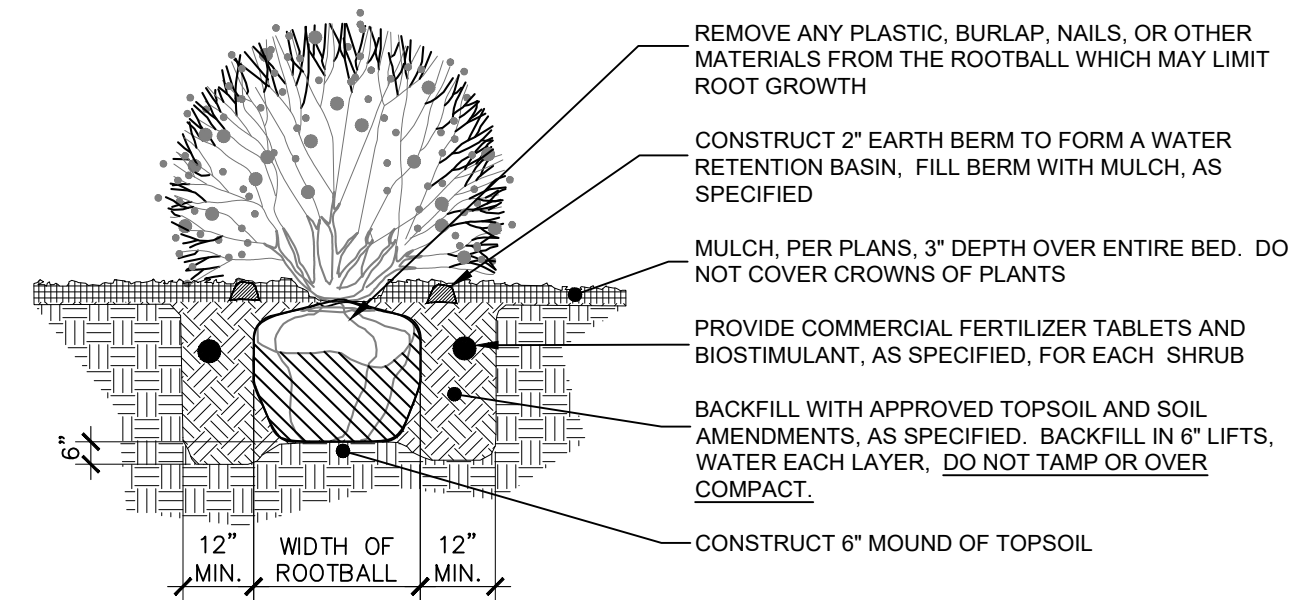
- NOTES:**
- REMOVE BURLAP, TWINE, AND WIRE BASKET FROM TOP 2/3 OF ROOTBALL. REMOVE ALL NAILS, TIES, AND PLASTIC FROM ROOTBALL. IF SYNTHETIC BURLAP IS UTILIZED TO WRAP THE ROOTBALL, IT SHALL BE COMPLETELY REMOVED. ONLY BIODEGRADABLE BURLAP SHALL BE LEFT ON THE BOTTOM OF THE ROOTBALL.
 - THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICHEVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
 - IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
 - LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
 - WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
 - WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
 - IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
 - FOR TREES LOCATED WITHIN ROADSIDE PLANTERS LESS THAN 8'-0" IN WIDTH, PROVIDE TREE ROOT BARRIER (DEEPROOT #24-2 OR APPROVED EQUAL). LOCATE ROOT BARRIER AT BACK OF CURB AND EDGE OF SIDEWALK. ALL TREE INSTALLATIONS SHALL CONFORM TO ALL AGENCY APPROVAL REQUIREMENTS, CONTRACTOR SHALL VERIFY PRIOR TO ANY INSTALLATIONS.

1 DECIDUOUS TREE PLANTING NOT TO SCALE



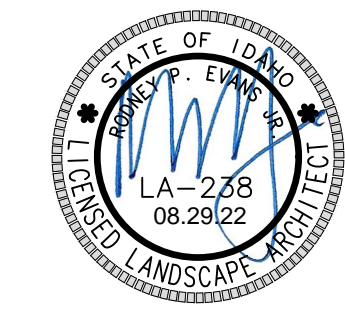
- NOTES:**
- ALL GROUNDCOVER PLANTS TO BE PLANTED ON CENTER AND IN A TRIANGULAR PATTERN.
 - APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUNDCOVER BEDS.

2 GROUNDCOVER / PERENNIAL PLANTING NOT TO SCALE



- NOTES:**
- SHRUB SHALL BEAR SAME RELATIONSHIP TO GRADE AS IT DID IN NURSERY.
 - WATER SHRUB TWICE WITHIN FIRST 24 HOURS.
 - THIN BRANCHES AND FOLIAGE BY 1/2.
 - DO NOT CUT LEADERS TO RETAIN NATURAL SHRUB SHAPE.
 - FOR CONTAINER GROWN PLANTS THAT ARE ROOTBOUND, SPLIT THE ROOTBALL WITH 3 EQUAL SPACED VERTICAL CUTS.

3 SHRUB PLANTING NOT TO SCALE



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NEW CONSTRUCTION FOR:
GLASS DOCTOR
GARDEN CITY, ID 83714

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