

**DESIGN REVIEW
PRE APPLICATION MEETING REQUEST**

Permit info: DSRFY 2020-06
 Application Date: 2/8/2020 ES
 FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921
 ▪ www.gardencityidaho.org ▪ planning@gardencityidaho.org

The objectives of the design review process is to involve the City in the earliest possible time in the development and design of a project and to work with the applicant in an iterative process of review and design. The review process is intended to be flexible and tailored to the needs of the project and the applicant.

The checklist and required materials are due fifteen (15) business days prior to the Design Committee meeting. Late submissions will not be accepted under any circumstances.

APPLICANT INFORMATION

Name: Victor Ferral (Project Manager) **Phone:** 208.336.8370

Email: victor@brsarchitects.com **Firm:** BRS Architects

Proposed Site Address:
 5320 N. Sawyer Ave.

Date of Requested Meeting:
 Monday, February 17th, 2020

DESIGN INFORMATION

Proposed Use:
 Light - Industrial

Surrounding Uses:
 Light - Industrial Light - Industrial

Zoning: Comprehensive Plan Designation

(L-1) Light Industrial

Is the property located in the 100 year flood plain?

YES NO

List the locations of any potential wildlife habitat areas on the property:

Refer to attached Sheet.

List the locations of bus stops and pedestrian pathways within 1/4 mile of the property:

Refer to attached Sheet.

List any easements and locations of water, sewer and irrigation:

Refer to attached sheet.

RECEIVED

FEB 07 2020

GARDEN CITY
DEVELOPMENT SERVICES

APPLICATION INFORMATION REQUIRED

NOTE:

AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED

Site Plan Including Surrounding Development
 Elevations

Landscaping Plan
 Vicinity Map



1010 S. Allante Place, Suite 100
Boise, Idaho 83709
Telephone 208 336-8370
Fax 208 336-8380
www.brsarchitects.com

Friday, February 7th 2020

Attn: Garden City Development Services
6015 Glenwood Street
Garden City, ID 83714

RE: Design Review Pre Application Meeting Request
5320 N. Sawyer Ave. | Garden City, ID. 83714 | Parcel #R1055420071
BRS Job No.: 19038

To whom it may concern,

This letter is to provide complete responses to the questions posed on the first page of the **Garden City Design Review Pre Application Meeting Request**. Please review the following:

List the location of any potential wildlife habitat areas on the property.

No vegetation of environmental quality exists that will be taken out. As the site has been previously developed with no water or wetlands on the site or in close proximity. Therefore, there are no locations for any potential wildlife habitats.

List the location of any bus stops and pedestrian walkways within ¼ mile of the property.

There are two bus stops close to the site. The first on the corner of Alworth & Kent about .2 miles west of the site. The other is on Alworth & E. 50th Street about .4 miles east. Both are along Route 11 as indicated by the Valley Regional Transit map. The site has existing sidewalks along Alworth St. and N. Sawyer Ave.

List any easement and location of water, sewer, and irrigation.

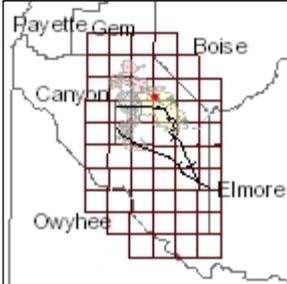
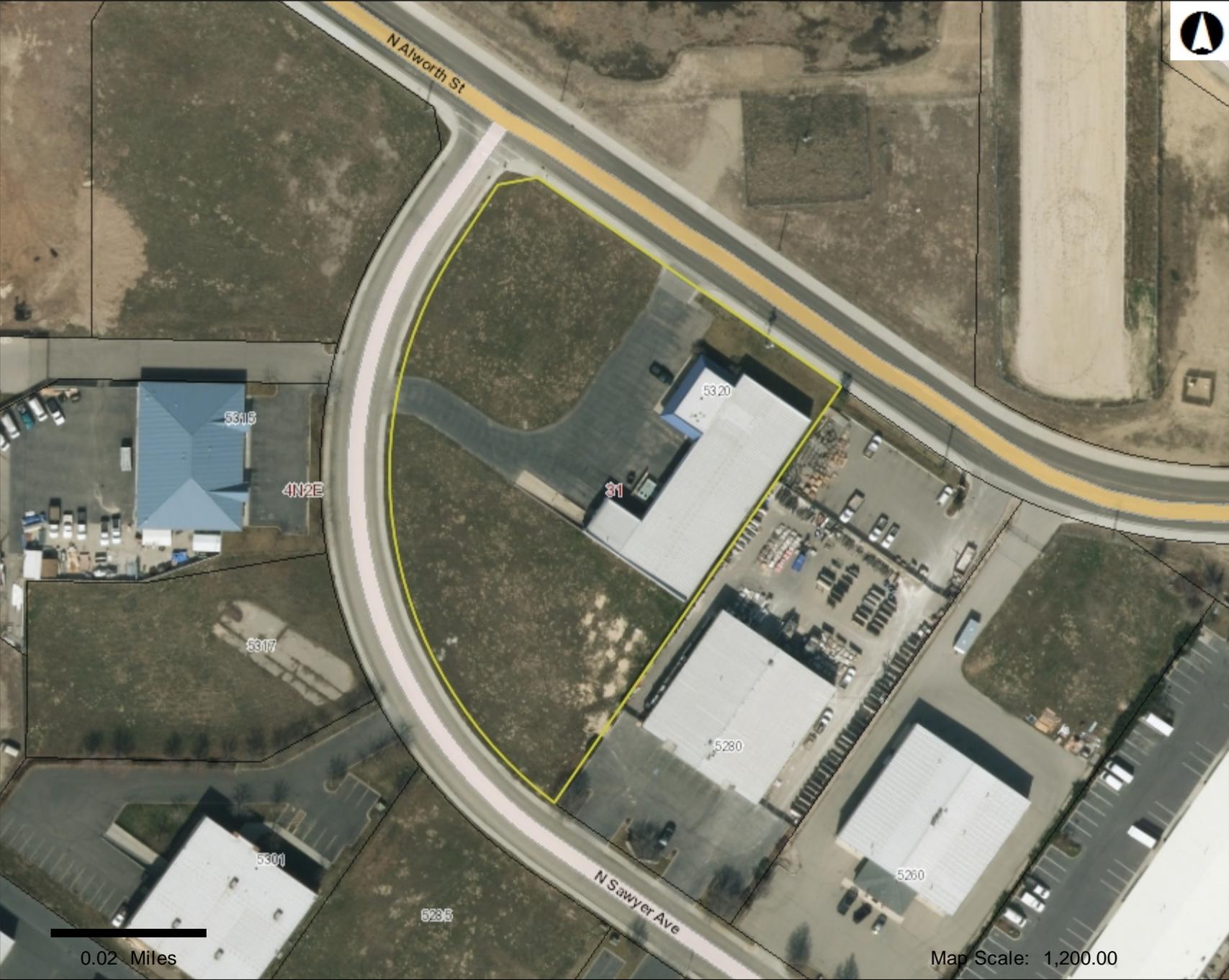
There is an existing 15ft easement along the street facing sides of the property (Alworth & N. Sawyer). The water connection will occur at the Southernmost corner of the site which will also be where irrigation lines will connect to. Sewer connections will connect to the sewer lines on N. Sawyer Ave.

Sincerely,

Victor Ferral
BRS Architects | victor@brsarchitects.com

Ada County Assessor

This map is a user generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION OR LEGAL PURPOSES.



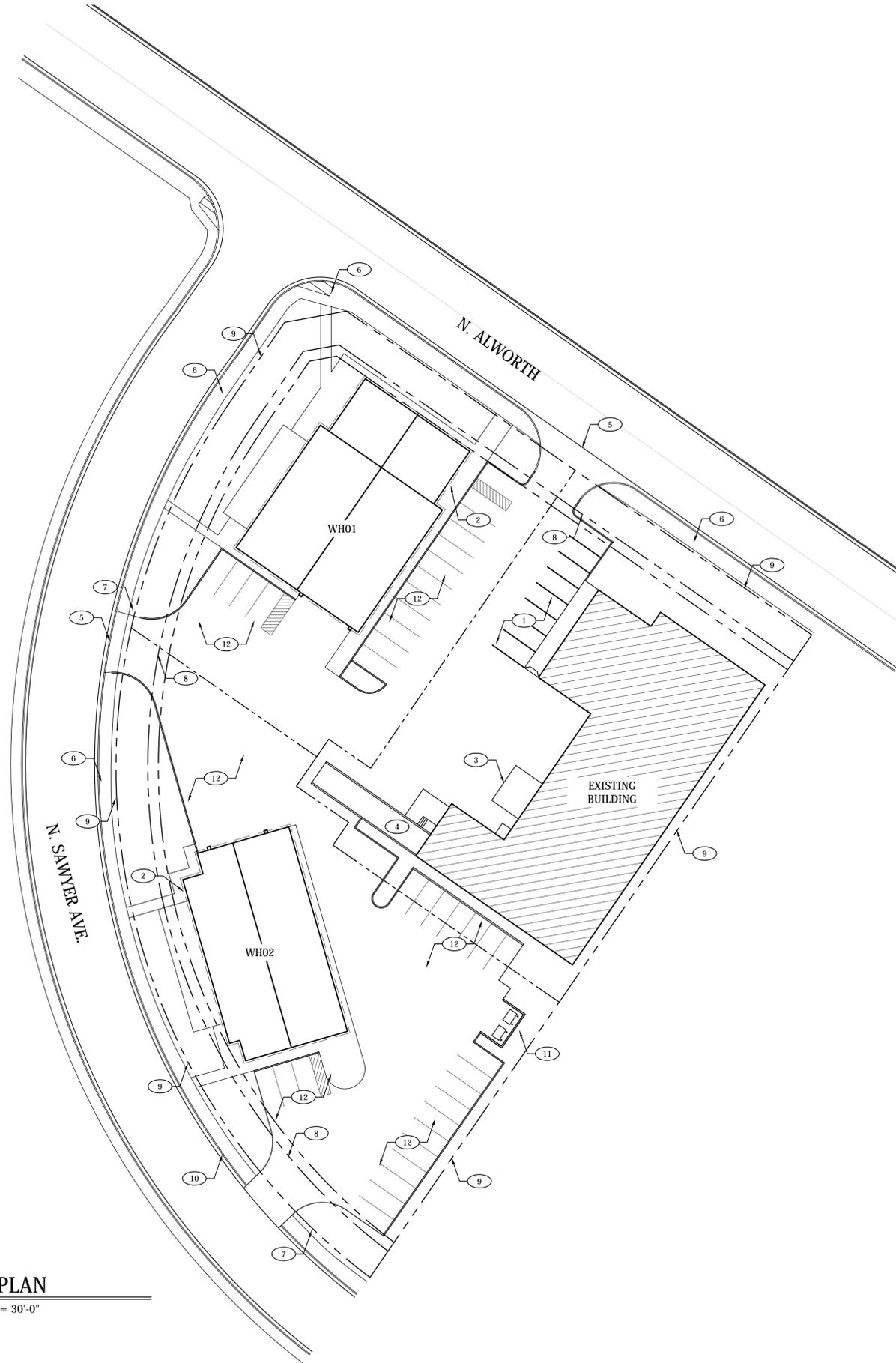
Legend

- + Railroad
- Roads (<2,000 scale)
 - <all other values>
 - Interstate
 - Ramp
 - Principal Arterial
 - Collector
 - Minor Arterial
 - Local
 - Parks
 - Alley
 - Driveway
- Parks
- Address
- Townships
- Sections
- Condos
- Parcels

0.02 Miles

Map Scale: 1,200.00

5/7/2019



SITE PLAN
SCALE: 1" = 30'-0"

GENERAL NOTES

KEYNOTES

1. EXISTING PARKING LOT AREA
2. BUILDING MAIN ENTRY
3. EXISTING TRASH ENCLOSURE
4. EXISTING LOADING RAMP
5. EXISTING SITE ACCESS
6. EXISTING SIDEWALK
7. FIRE HYDRANT LOCATION
8. EXISTING UTILITY EASEMENT (15'-0" SETBACK)
9. PROPERTY LINE
10. PROPOSED NEW SITE ACCESS
11. PROPOSED NEW TRASH ENCLOSURE
12. PROPOSED PARKING LOT AREA

CITY APPROVAL STAMP

NO.	REVISIONS	DATE

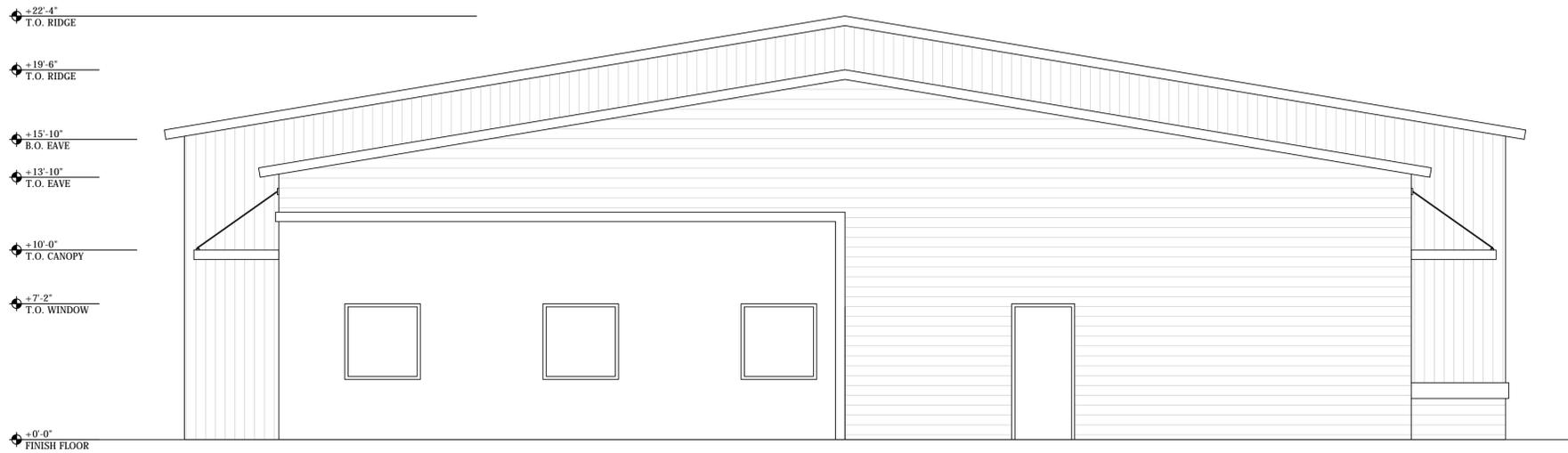
1010 S. ALLANTE PL.
SUITE 100
BOISE, IDAHO 83709
(208) 336-8370
FAX (208) 336-8380



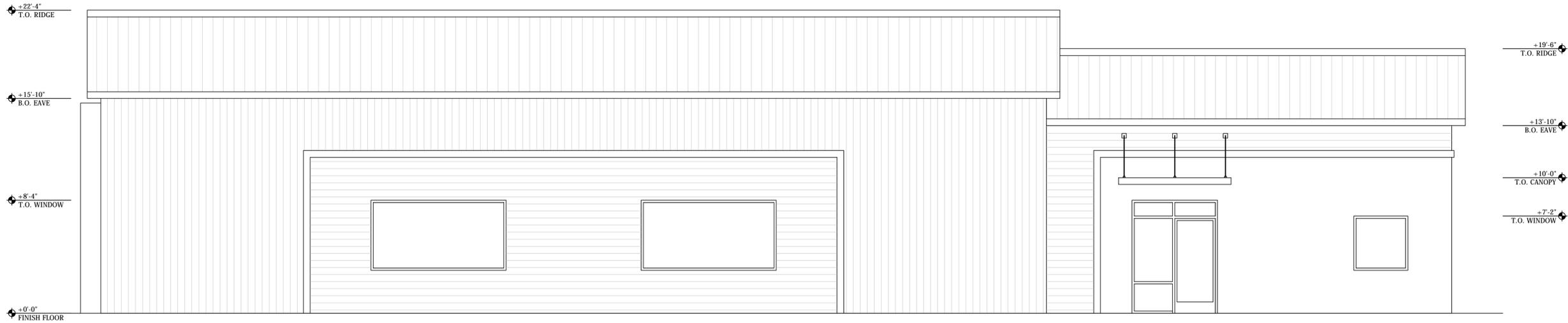
PROPOSED DESIGN FOR:
N. SAWYER AVE. DEVELOPMENT
ALWORTH & NORTH SAWYER
5320 N. SAWYER AVE. GARDEN CITY, ID 83714

DRAWN	VF
DATE	AUGUST 2019
CHECKED	TJK
JOB NO.	19038

SITE PLAN
AS101



01 NORTH ELEVATION (WH 01)
A201 SCALE: 1/4" = 1'-0"



02 EAST ELEVATION (WH 01)
A201 SCALE: 1/4" = 1'-0"

NO.	REVISIONS	DATE

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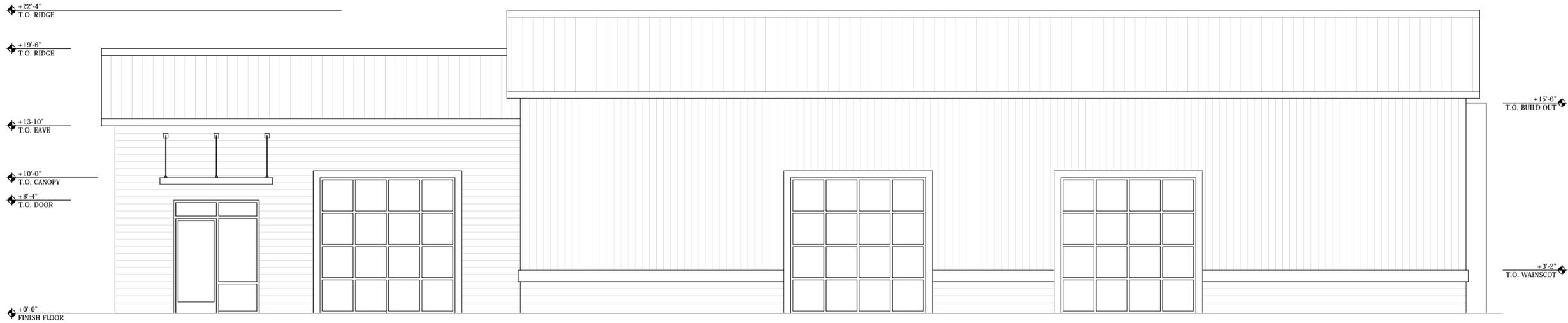
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ELEVATIONS
A201



01 SOUTH ELEVATION (WH 01)
A202 SCALE: 1/4" = 1'-0"



02 WEST ELEVATION (WH 01)
A202 SCALE: 1/4" = 1'-0"

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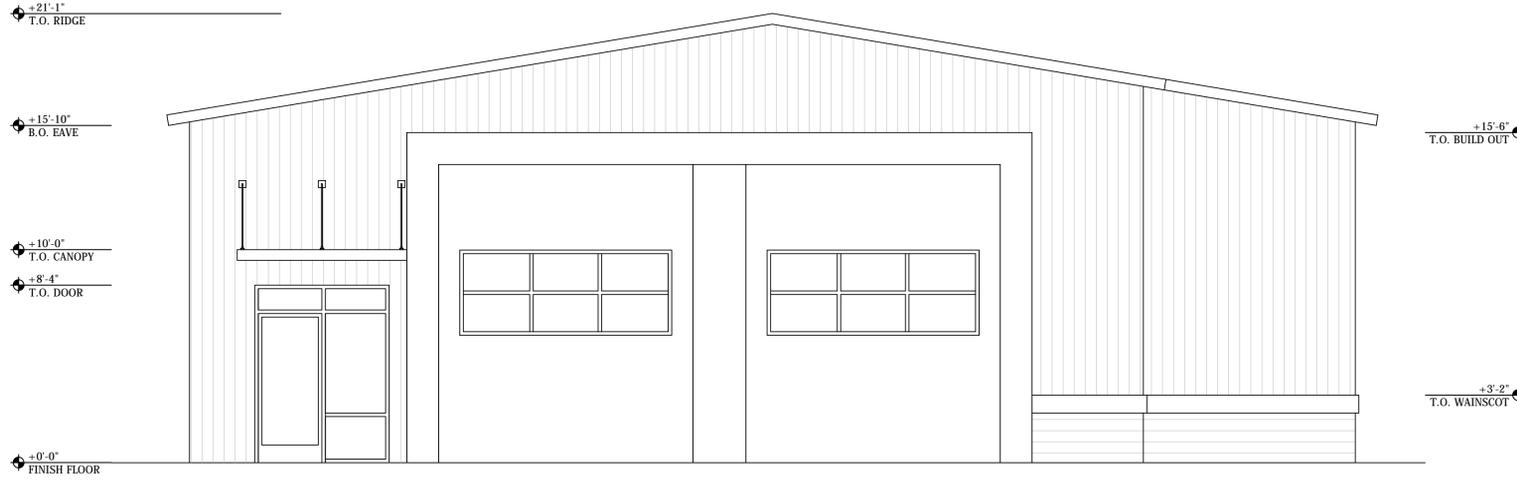
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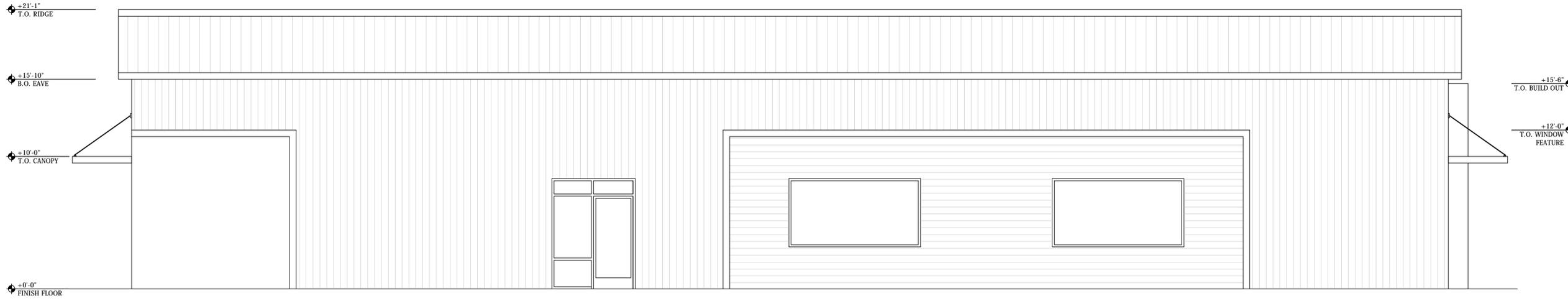
ELEVATIONS

A202

PRELIMINARY



01 NORTH ELEVATION (WH 02)
A203 SCALE: 1/4" = 1'-0"



02 EAST ELEVATION (WH 02)
A203 SCALE: 1/4" = 1'-0"

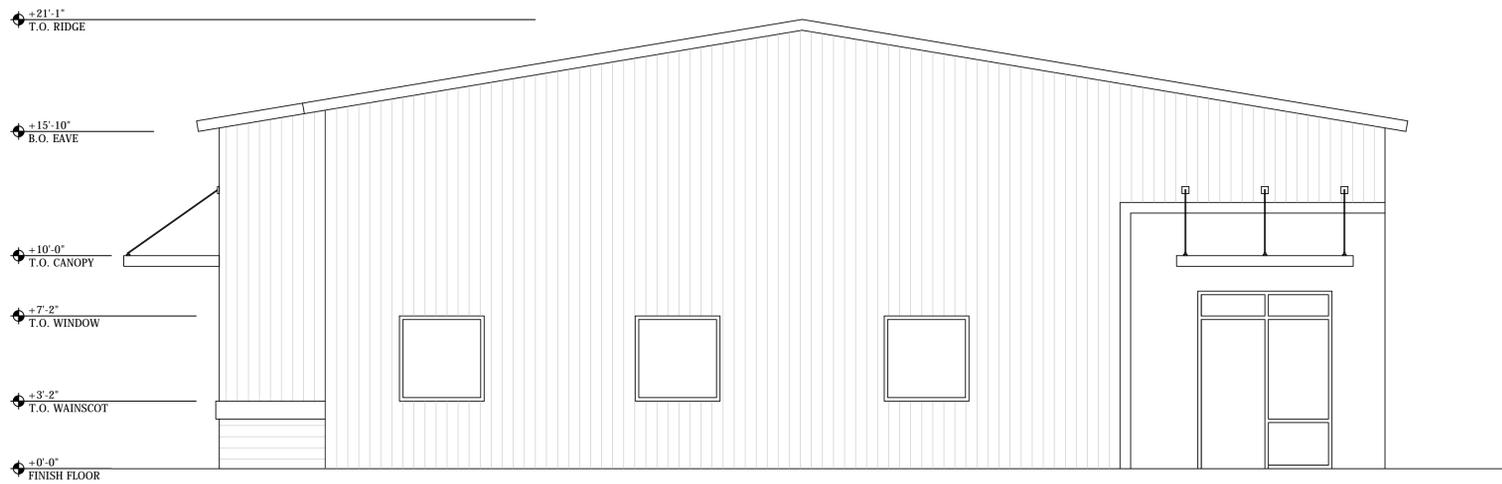
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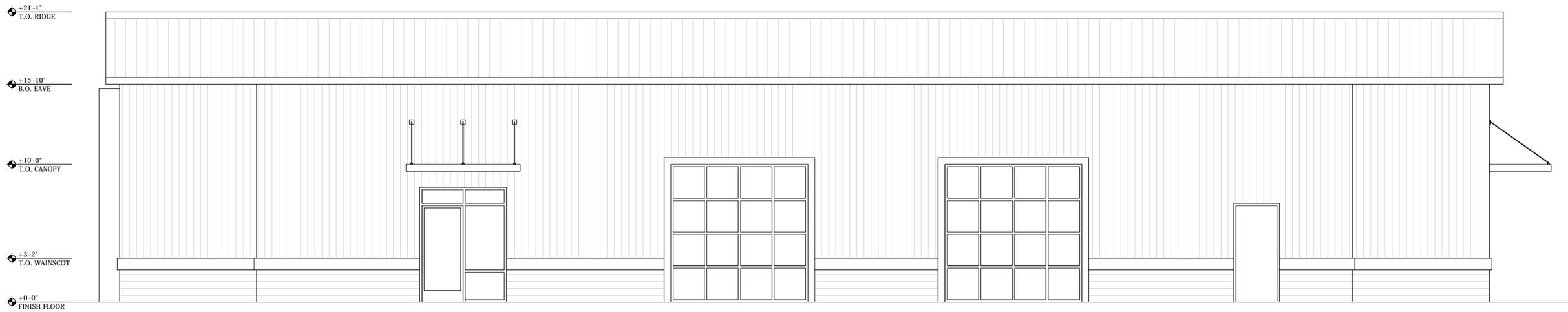
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ELEVATIONS
A203



01 SOUTH ELEVATION (WH 02)
A204 SCALE: 1/4" = 1'-0"



02 WEST ELEVATION (WH 02)
A204 SCALE: 1/4" = 1'-0"

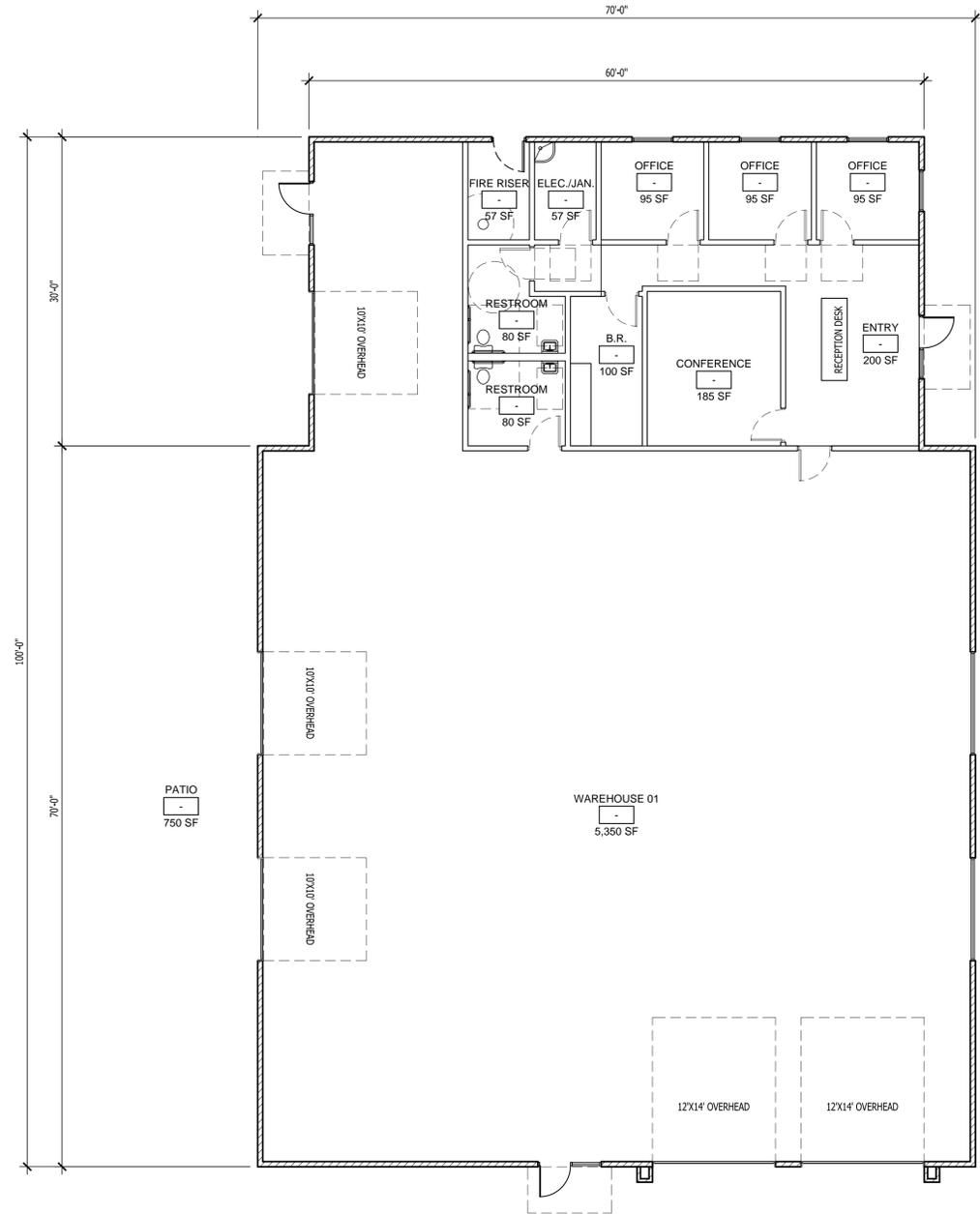
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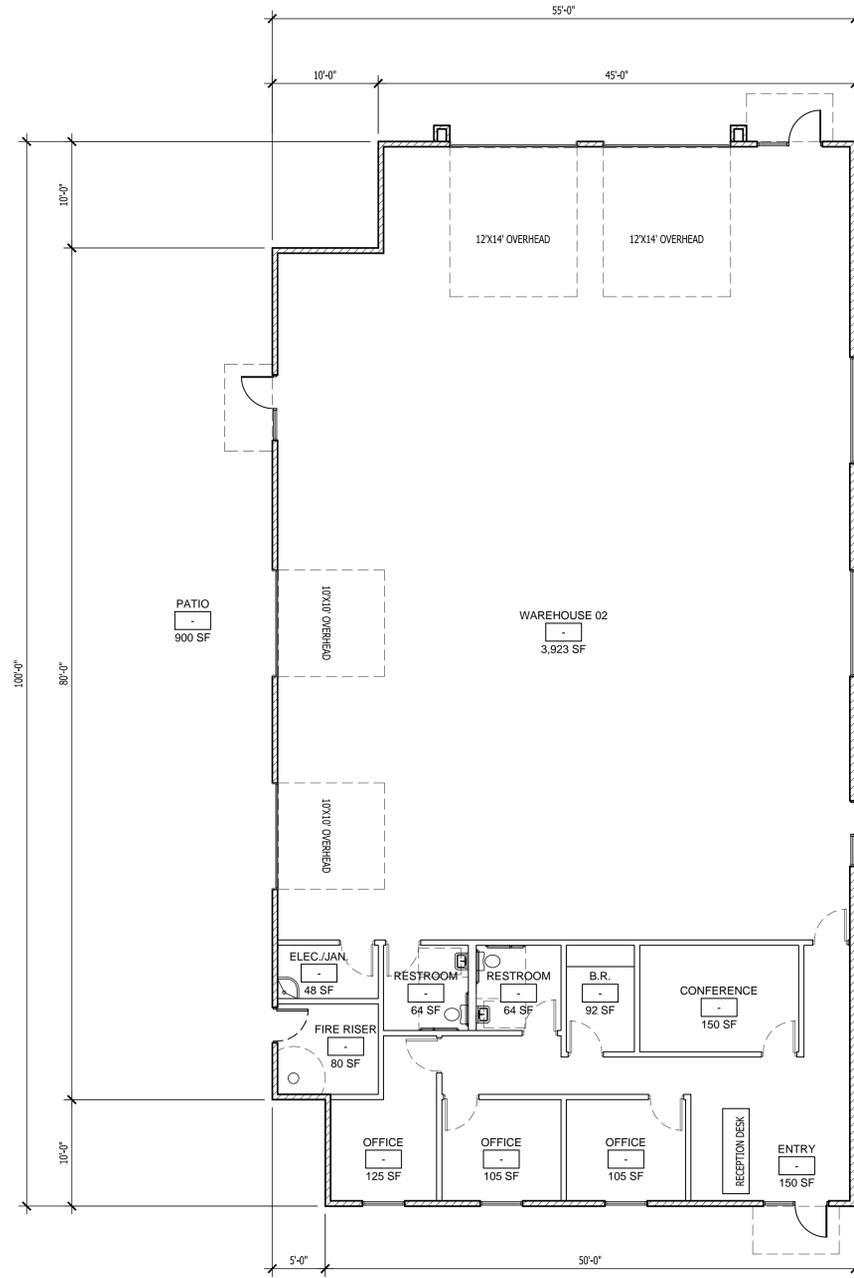
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ELEVATIONS
A204



FLOOR PLAN WAREHOUSE 01 - WH01 (PROPOSED)

SCALE: 1/8" = 1'-0"



FLOOR PLAN WAREHOUSE 02 - WH02 (PROPOSED)

SCALE: 1/8" = 1'-0"

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SKETCH
A103

N. SAWYER AVE

AVAILABLE
LEE & ASSOCIATES
COMMERCIAL REAL ESTATE SERVICES
208-343-2300
LeeAssociates.com
Chase Erkins / Jermaine Thornton







