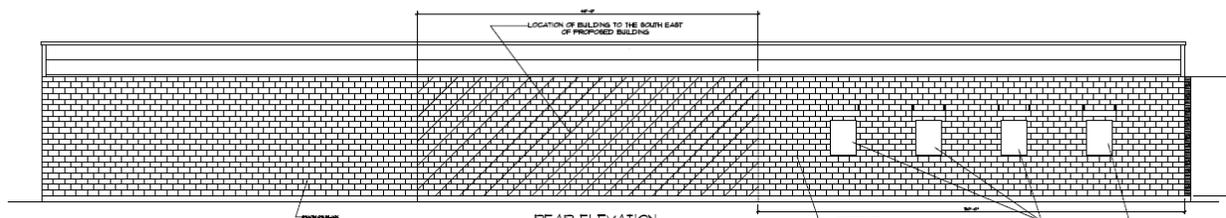
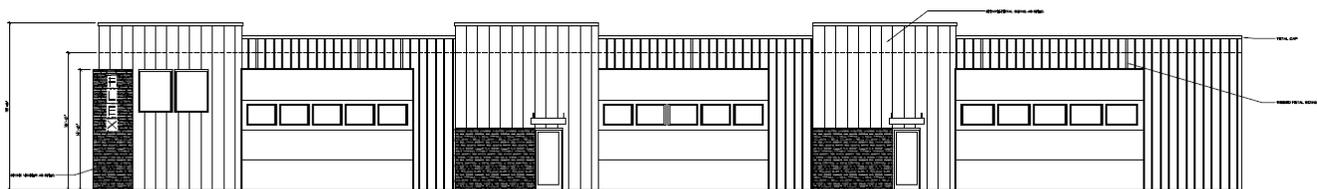




CITY OF GARDEN CITY

6015 Glenwood Street □ Garden City, Idaho 83714
Phone (208)472-2921 □ Fax (208)472-2926

File Number: DSRFY2019-9
For: Industrial Flex Building
Location: 209 W. 36th Street Garden City, Idaho
Applicant: Josh Beach with Conger Group
Report Date: 8/28/2019



Garden City Design Review Committee
Staff Contact: Chris Samples

STAFF REPORT: DSRFY2019-9 – Application materials can be found here: [Link](#)

**City of Garden City
Staff Report**

A. Project Overview

Project Description:

Josh Beach with Conger Group is requesting Design Review Approval for a new industrial flex building to be located at 209 W. 36th St., Ada County Parcel R2734531468. The 0.290 acre site is located in the general commercial (C-2) zoning district. The applicant has provided revised elevations.

Proposed Scope of Work:

Request	Review Process	Notes
Design Review for a new structure	8-6B-3 Design Review	None

Project Details:

Proposed development: Industrial Flex Building

Number of buildings: 1 structure

Parking spaces: 5

Bicycle parking: Not shown

Site Coverage: Limited calculations provided

- Property: 12,632 sq. ft.
- Building: 4,020 sq. ft.
- Landscaping: Unknown
- Paved Areas: Unknown

Trash Enclosure: 1

Site Conditions:

1. Address: 209 W. 36th Street
2. Parcel Number: R2734531468
3. Property Size: 0.29 acres
4. Zoning District: C-2 General Commercial
5. Comprehensive Plan Land Use Map Designation: TOD
6. Floodplain Designation:
 - 2003 FIRM: X
 - 2017 Draft Firm: AE
7. Surrounding Uses:

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- Dwelling Unit, Single Family Detached
 - Manufactured Home Park
 - Varying commercial uses
8. Existing Use: None
9. There are no records on file with Garden City of existing easements
10. Site Access: Brown Street
11. Sidewalks: None on site

Required Decisions:

The following decision processes are required for the project:

Decision	Recommendation Authority	Decision Authority	Hearing Date
Design Review	N/A	Design Committee	9/3/2019

The following decision processes have been completed for the project:

Decision	Recommendation Authority	Decision Authority	Decision/Decision Date
CUPFY2019 – 9: Conditional Use Permit – Industry flex	N/A	P&Z Commission	Approved 6/19/2019
VARFY2019 – 1: Variance – Attached sidewalk and landscaping; Reduction of landscaping buffer requirements	N/A	P&Z Commission	Approved 6/19/2019

The signed findings for CUPFY2019 – 9 and VARFY2019 – 1 are included in the record for this application.

Standards for Review: Standards for review of this application are:

Design Review Standards	
Standard	Staff Comments
8-2B-2 Allowed Uses	Approved use noted
8-2B-3 Form Standards	Setbacks reviewed
8-4A General Provisions	Noted
8-4C Nonresidential Design Provisions	Code compliance issues noted
8-4D Parking and Loading Provisions	Code compliance issues noted
8-4E Transportation and Connectivity Provisions	Variance approval noted; Code compliance issues noted
8-4I Landscaping and Tree Protection Provisions	Variance approval noted; Code compliance issues noted

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8-6B-3 Design Review

Code compliance issues noted

Policies and Studies: No policies and studies were reviewed for this application.

Agency Comments: The following agency comments were provided:

Agency	Comment Summary
ACHD	Standard conditions of approval
ITD	No objection
Garden City Engineer	Parcel consolidation may be required

Public Comments: None received.

Design Review Pre-Application Conference: On May 20, 2019 a pre-application conference was completed in accordance with 8-6B-3. The Committee provided the following comments:

1. Address the Brown Street elevation with additional façade changes.
2. Additional glazing should be added to the façade.
3. Orchard Street façade needs to be broken up horizontally and vertically.
4. All metal/CMU material does not comply with code. Must be revised to show additional use of materials.
5. Rear elevation needs to be broken up and not a solid wall.
6. Wall plane needs to comply with 8-4C-3B-6.
7. Additional landscaping to screen Orchard Street view is necessary. Evergreen plantings should be considered.
8. Find ways, such as signage, to make the two rear units more visible.
9. Pedestrian pathways such as from the southwest to building entrances should be considered. Planters along pedestrian pathways are appropriate.
10. Show bicycle parking
11. Any storage would need to meet applicable city code.
12. Additional façade treatments should be considered at entrances.

The Pre-Application Staff Report and May 20, 2019 Design Committee Minutes are included in the record for this application.

Exhibits: [Link](#)

- 1) 4/11/2019 Submittal:
 - a) Statement of intent;
 - b) Elevations
 - c) Site plan
 - d) Landscape plan
 - e) Topo survey
 - f) Site photos
 - g) Neighborhood meeting materials
- 2) 8/5/2019 Resubmittal:
 - a) Revised elevations

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- 3) Pre-Application Meeting:
 - a) 5/20/2019 Pre-application staff report
 - b) 5/20/2019 Design Committee minutes
- 4) Agency Comments:
 - a) ACHD comments
 - b) ITD comments
 - c) Garden City Engineer comments
- 5) Staff report dated 8/28/2019
- 6) VARFY2019 – 1 – Signed Decision
- 7) CUPFY2019 – 9 – Signed Decision

B. Design Review

1. Decision Maker: Design Committee
2. Standards for Review:

DESIGN STANDARDS FOR REVIEW	
City Code	City Standards/Staff Comments
<u>GCC 8-2B-2 Allowed Uses</u>	The use, Industry Flex, was approved by the Planning and Zoning Commission on 6/19/2019.
<u>GCC 8-2B-3 Form Standards</u>	The applicant has proposed 5' setbacks in accordance with this section.
<u>GCC 8-4A General Provisions</u>	Compliance with the standards of this section is required for all new construction.
<u>GCC 8-4C Design Provisions for Non-Residential Structures</u>	
GCC 8-4C-3(A)	Objective 1: The design of all structures shall have a scale, massing and urban form that has a relationship to the street, the pedestrian and adjacent properties.
	<p><u>Pre-Application Staff Report Comment:</u></p> <p><u>The proposal may be in conflict with the following subsections:</u></p> <p><i>4. First Floor Facades: First floor facades visible from a public street should include surfaces in windows, showcases, displays, or pedestrian access elements as follows: for retail uses at least fifty percent (50%), for all other uses at least fifteen percent (15%).</i></p> <p><i>7. Blank Walls: No blank walls should front a public street.</i></p>

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The left elevation is visible from Brown Street and the elevation containing the three bay doors is visible from W. 36th Street. Subsection seven noted above provides the following treatment guidance to mitigate blank walls:

a. Installing a vertical trellis in front of the wall with climbing vines or plant materials; or

b. Providing a landscaped planting bed at least five feet (5') wide or raised planter bed at least two feet (2') high and three feet (3') wide in front of the wall, with plant materials that obscure or screen at least fifty percent (50%) of the wall's surface within three (3) years;

c. Providing artwork (mosaic, mural, sculpture, relief, etc.) over at least fifty percent (50%) of the blank wall surface.

The proposal may be in conflict with the following subsections:

6. Wall Plane: Facades should have no wall plane wider than two and one-half (2 1/2) times the height of the wall plane. If a new wall plane is required to achieve compliance with this requirement, it must be offset by at least six feet (6').

The proposed building's façade along the three bay elevation is 134' in length and 16' in height. A facade of no wider than 40' (16' x 2.5) could trigger an additional wall plane as noted in this subsection. The proposal does not contain changes in wall plane as noted in this subsection.

Design Review Pre-Application Comment:

1. Address the Brown Street elevation with additional façade changes.
2. Additional glazing should be added to the façade.
3. Orchard Street façade needs to be broken up horizontally and vertically.
4. Rear elevation needs to be broken up and not a solid wall.
5. Wall plane needs to comply with 8-4C-3B-6.
6. Additional landscaping to screen Orchard Street view is necessary. Evergreen plantings should be considered.

	<p>7. Find ways, such as signage, to make the two rear units more visible.</p> <p>8. Additional façade treatments should be considered at entrances.</p> <p><u>8/28/2019 Report Comment:</u></p> <p>The applicant appears to have addressed pre-application comments by varying the façade with differing materials, height changes, and stepping back of the façade.</p>
GCC 8-4C-3(B)	<p>Objective 2: The design layout of all sites shall maximize opportunities for safe and comfortable pedestrian accessibility and minimize the obtrusive effects of parking and vehicular circulation.</p> <p><u>Pre-Application Staff Report Comment:</u></p> <p>Parking has been proposed near the west property line.</p> <p><u>Design Review Pre-Application Comment:</u></p> <p>1. Pedestrian pathways such as from the southwest to building entrances should be considered. Planters along pedestrian pathways are appropriate.</p> <p><u>8/28/2019 Report Comment:</u></p> <p>No changes noted from the pre-application materials.</p>
GCC 8-4C-3(C)	<p>Objective 3: Buildings shall be designed and constructed of quality materials.</p> <p><u>Pre-Application Staff Report Comment:</u></p> <p><u>The proposal may be in conflict with the following subsection:</u></p> <p><i>3. Discouraged Materials: Metal siding, corrugated fiberglass, aluminum siding, mirror or metalized reflective glass, plywood, chipboard siding, vinyl, cinderblock, plastic tilt-up concrete, highly tinted or mirrored glass, and all types of imitation building materials should not be used as the primary building material.</i></p>

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	<p>The applicant has proposed the following building materials that may conflict with this subsection:</p> <ul style="list-style-type: none"> • Smooth Metal Siding • Ribbed Metal Siding • CMU Block <p>In addition, the applicant has proposed stone veneer on the left elevation facing Brown Street</p> <p><u>Design Review Pre-Application Comment:</u></p> <p>All metal/CMU material does not comply with code. Must be revised to show additional use of materials.</p> <p><u>8/28/2019 Report Comment:</u></p> <p>The applicant has proposed the same materials but has varied their distribution on the structure.</p>
GCC 8-4C-3(D)	<p>Objective 4: The site design shall respect existing notable site features including existing buildings, landscaping, trees and water.</p> <p><u>Pre-Application Staff Report Comment:</u></p> <p><u>Review of this section cannot be completed. Additional information is required:</u></p> <p>The application does not contain information on whether any trees on site will be retained. Trees and shrubs located adjacent to the property and within the right of way are proposed to be retained.</p> <p><u>8/28/2019 Report Comment:</u></p> <p>This has not been addressed by the applicant.</p>
GCC 8-4C-3(E)	<p>Objective 5: The design of all buildings shall provide visual interest, support the vision for the area as articulated in the comprehensive plan and positively contribute to the overall urban fabric of the community.</p> <p><u>Pre-Application Staff Report Comment:</u></p> <p><u>The proposal may be in conflict with the following subsection:</u></p>

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2. Articulation: Buildings should be articulated to reduce the apparent scale. Architectural details that are used to articulate the structure may include reveals, battens, and other three-dimensional details that create shadow lines and break up the flat surfaces of the facade.

The proposed building does not appear to contain building articulation noted by this subsection. The following ways to achieve building articulation are noted in this subsection:

a. Window Treatments: Provide ample articulated window treatments in facades visible from streets and public spaces for architectural interest and human scale. Windows should be articulated with mullions, recesses, etc., as well as applying complementary articulation around doorways and balconies.

b. Architectural Elements: The mass of long or large scale buildings can be made more visually interesting by incorporating architectural elements, such as arcades, balconies, bay windows, dormers, and/or columns.

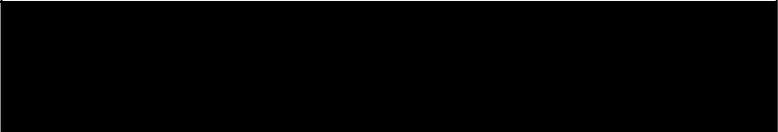
c. Rooflines: A distinctive roofline can reduce perceived building height and mass, increase compatibility with smaller scale and/or residential development, and add interest to the overall design of the building.

(1) Change the roofline by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval.

(2) Roofs that incorporate a variety of vertical dimensions such as multiplaned and intersecting rooflines are encouraged.

(3) Flat roofed designs should include architectural details such as cornices, and decorative facings to provide interest to the roofline.

Review of this section cannot be completed. Additional information is required:

	<p><i>Colors: Colors used on building exteriors should integrate a building's various design elements or features.</i></p> <p>The applicant has not provided colored elevations.</p> <p><u>Design Review Pre-Application Comment:</u></p> <ol style="list-style-type: none"> 1. Address the Brown Street elevation with additional façade changes. 2. Additional glazing should be added to the façade. 3. Orchard Street façade needs to be broken up horizontally and vertically. 4. Rear elevation needs to be broken up and not a solid wall. 5. Wall plane needs to comply with 8-4C-3B-6. 6. Additional landscaping to screen Orchard Street view is necessary. Evergreen plantings should be considered. 7. Find ways, such as signage, to make the two rear units more visible. 8. Additional façade treatments should be considered at entrances. <p><u>8/28/2019 Report Comment:</u></p> <p>The proposed elevation appears to address articulation and window elements. However, windows are limited on the rear elevation, making most of the wall blank. Color elevations or specifications have not been provided.</p>
<p>GCC 8-4C-3(F)</p>	<p>Objective 6: The site development should support and be consistent with the adopted streetscape.</p> <p>Variance VARFY2019 – 1 was approved to allow an attached sidewalk and landscaping.</p>
<p><u>GCC 8-4C-4 Special Provisions for Specific Non-residential Development</u></p>	
<p>GCC 8-4C-4(A) Large Scale Non-Residential Structures</p>	<p><u>Pre-Application Staff Report Comment:</u></p> <p><u>The proposal may be in conflict with the following subsection:</u></p>

	<p><i>1. Facades longer than fifty feet (50') (measured horizontally along the facade) should incorporate relief to perceived building mass through such features as wall projections or recesses, projecting windows, entrances, or other visual relief.</i></p> <p>The façade does not appear to incorporate the visual relief noted by this subsection.</p> <p><u>Design Review Pre-Application Comment:</u></p> <ol style="list-style-type: none"> 1. Address the Brown Street elevation with additional façade changes. 2. Additional glazing should be added to the façade. 3. Orchard Street façade needs to be broken up horizontally and vertically. 4. Rear elevation needs to be broken up and not a solid wall. 5. Wall plane needs to comply with 8-4C-3B-6. 6. Find ways, such as signage, to make the two rear units more visible. 7. Additional façade treatments should be considered at entrances. <p><u>8/28/2019 Report Comment:</u></p> <p>The proposed design addresses staff and committee comments on front and left elevations. The rear and right elevations contain blank walls.</p>
GCC 8-4C-4(F) Outdoor Service and Equipment Areas	<p><u>Pre-Application Staff Report Comment:</u></p> <p><u>Review of this section cannot be completed. Additional information is required:</u></p> <p>Outdoor equipment, other than a trash enclosure is not shown in the applicant's plans. Trash enclosure elevations were not provided.</p> <p><u>8/28/2019 Report Comment:</u></p> <p>This has not been addressed in the resubmittal documents.</p>

GCC 8-4C-5 Prohibitions	All new businesses, corporate and franchise designs will be reviewed on a case-by-case basis by the Design Review Committee to assure compliance with Garden City Code, Comprehensive Plan and Goals.
<u>GCC 8-4D Parking and Off Street Loading Provisions</u>	
GCC 8-4D-5 Required Number of Parking Spaces	<p><u>Pre-Application Staff Report Comment:</u></p> <p><u>Review of this section cannot be completed. Additional information is required:</u></p> <p>Parking counts for nonresidential uses are decided administratively. The applicant will need to provide additional information pursuant to this section to determine a required parking count.</p> <p><u>8/28/2019 Report Comment:</u></p> <p>No new comment on this matter.</p>
<u>GCC 8-4E Transportation and Connectivity Provisions</u>	
GCC 8-4E-3 Public Street Connections	<p><u>Pre-Application Staff Report Comment:</u></p> <p>Driveway access is proposed from Brown Street. Ada County Highway District approval of this access is required by the District.</p> <p><u>8/28/2019 Report Comment:</u></p> <p>No new comment on this matter.</p>
GCC 8-4E-4 Internal Circulation Standards	<p><u>Pre-Application Staff Report Comment:</u></p> <p><u>The proposal may be in conflict with the following subsection:</u></p> <p>A. <i>Driveways, aisles and turnaround areas, when required for fire and refuse access, shall meet the following standards:</i></p> <p>2. <i>Have a minimum width of twenty feet (20').</i></p> <p>The proposed driveway is 22' at its widest point and reduces to 11.89' as the west property line curves. The applicant should</p>

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	<p>consider reconfiguring the site or investigate a variance to this standard. A variance to this standard could impact fire safety. Commentary from the fire department on whether a reconfiguration or variance is appropriate should be obtained.</p> <p><u>8/28/2019 Report Comment:</u></p> <p>Variance VARFY2019 – 1 approved the landscape buffer width reduction without specifically addressing driveway width. This remains unaddressed.</p>
<p>GCC 8-4E-6 Sidewalk Standards and The Garden City Sidewalk Policy</p>	<p>Variance VARFY2019 – 1 approved an attached sidewalk and attached landscape buffer. The Committee cannot act beyond the scope of this entitlement concerning site reconfiguration.</p>
<p>GCC 8-4E-7 Pedestrian and Bicycle Accessibility Standards</p>	<p><u>Pre-Application Staff Report Comment:</u></p> <p><u>The proposal may be in conflict with the following subsection:</u></p> <p><i>A. Pedestrian Accessibility: All new nonresidential development shall provide for pedestrian accessibility.</i></p> <p>The applicant has not proposed pedestrian connectivity as required by this section.</p> <p><u>8/28/2019 Report Comment:</u></p> <p>This has not been addressed in the resubmittal documents.</p>
<p><u>GCC 8-4I Landscaping and Tree Protection Provisions</u></p>	
<p>GCC 8-4I-3 General Landscaping Standards and Irrigation Provisions;</p> <p>GCC 8-4I-4(B) Landscaping Provisions for Non-Residential Uses</p>	<p><u>Pre-Application Staff Report Comment:</u></p> <p><u>Review of this section cannot be completed. Additional information is required:</u></p> <p><i>Entire section.</i></p> <p>The landscaping plan does not provide enough detail to review this section. This includes, but is not limited to, the 5% landscaping area requirement in subsection B1.</p> <p><u>Design Committee Pre-Application Comments:</u></p>

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	<ol style="list-style-type: none"> 1. Additional landscaping to screen Orchard Street view is necessary. Evergreen plantings should be considered. 2. Pedestrian pathways such as from the southwest to building entrances should be considered. Planters along pedestrian pathways are appropriate. <p><u>8/28/2019 Report Comment:</u></p> <p>This has not been addressed in the resubmittal documents.</p>
GCC 8-4I-5 Perimeter Landscaping Provisions	Variance VARFY2019 – 1 authorized a reduction of the landscape buffers required by this section.
GCC 8-4I-6 Parking Lot Landscaping Provisions	<p><u>Pre-Application Staff Report Comment:</u></p> <p><u>Review of this section cannot be completed. Additional information is required:</u></p> <p><i>Entire section.</i></p> <p>The landscaping plan does not provide enough detail to review this section. Information such as distances from trees to parking spaces should be provided.</p> <p><u>8/28/2019 Report Comment:</u></p> <p>This has not been addressed in the resubmittal documents.</p>
GCC 8-4I-7 Tree Preservation Provisions	<p><u>Pre-Application Staff Report Comment:</u></p> <p><u>Review of this section cannot be completed. Additional information is required:</u></p> <p><i>Entire section.</i></p> <p>The landscaping plan does not indicate whether trees are being removed and subject to mitigation.</p> <p><u>8/28/2019 Report Comment:</u></p> <p>This has not been addressed in the resubmittal documents.</p>

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<p><u>GCC 8-6B-3 Design Review</u></p>	<p>Design Review approval may be granted by the Committee only if the applicant meets the required findings of this section. The findings are analyzed below.</p>
<p>Finding 1</p>	<p>Finding: The project conforms to all applicable standards and criteria as set forth in Title 8, Chapter 4.</p> <p>Analysis: As noted through this report, the application does not appear to contain enough information to address the following sections of this chapter:</p> <ul style="list-style-type: none"> • 8-4C Design Provisions • 8-4D Parking and Off-Street Loading Provisions • 8-4E Transportation and Connectivity Provisions • 8-4I Landscaping and Tree Protection Provisions
<p>Finding 2</p>	<p>Finding: The proposed design is in accordance with the purpose of the zoning district and all dimensional regulations of that district;</p> <p>Analysis: The proposal appears to be in conformance with the purpose of the C-2 General Commercial Zoning District and the dimensional regulations of the district.</p>
<p>Finding 3</p>	<p>Finding: The proposed design adheres to standards for the protection of health, safety, and general welfare;</p> <p>Analysis: As noted through this report, the application does not appear to contain enough information to address the following sections of this chapter:</p> <ul style="list-style-type: none"> • 8-4E Transportation and Connectivity Provisions <p>The driveway width noted in this report requires approval from the fire department. A condition of approval to this effect would mitigate this issue.</p>

Finding 4	Finding: The proposed design creates a sense of place and contributes to the uniqueness of the different districts and neighborhoods in the city;
	Analysis: The proposed rear and right elevations noted in the application resubmittal contain blank walls, which could detract from this finding.
Finding 5	Finding: The proposed design improves the accessibility of development to non-motorized and public modes of transportation;
	<p>Analysis: As noted through this report, the application does not appear to contain enough information to address the following sections of this chapter:</p> <ul style="list-style-type: none"> • 8-4E Transportation and Connectivity Provisions <p>The applicant has not addressed pedestrian connectivity, as noted by the Design Committee at the 5/20/2019 hearing:</p> <ol style="list-style-type: none"> 1. Pedestrian pathways such as from the southwest to building entrances should be considered. Planters along pedestrian pathways are appropriate.
Finding 6	Finding: The proposed design supports a development pattern in nodes rather than strip commercial along arterial corridors;
	Analysis: Not applicable. The proposal is not located along an arterial corridor.
Finding 7	Finding: The proposed design supports a compact development pattern that enables intensification of development and changes over time; and
	Analysis: The proposed design appears to be compact and could be intensified vertically over time.
Finding 8	Finding: The proposed design provides outdoor spaces and landscaping compatible with the southwest Idaho climatic conditions and that encourage pedestrian activity.

	<p>Analysis: As noted through this report, the application does not appear to contain enough information to address the following sections of this chapter:</p> <ul style="list-style-type: none">• 8-4E Transportation and Connectivity Provisions• 8-4I Landscaping and Tree Protection Provisions <p>More information is needed to determine compliance with this finding.</p>
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C. Decision Options

The Design Committee may take one of the following actions:

1. Approve of the application as presented;
2. Approve of the application with conditions;
3. Request the applicant return with revised materials for additional review;
4. Deny the application.