

# PLANNING SUBMITTAL FORM

Permit info: \_\_\_\_\_  
 Application Date: \_\_\_\_\_ Rec'd by: \_\_\_\_\_  
 FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921 (tel.)  
 208.472.2926 (FAX) ▪ [www.gardencityidaho.org](http://www.gardencityidaho.org) ▪ [planning@gardencityidaho.org](mailto:planning@gardencityidaho.org)

APPLICANT	PROPERTY OWNER
Name: Bill Truax	Name: Bill Truax
Company: PARKWAY 405 LLC	Company: PARKWAY 405 LLC/PARKWAY STATION LLC
Address: PO BOX 1158	Address: PO BOX 1158
City: BOISE	City: BOISE
State: ID Zip: 83701	State: ID Zip: 83701
Tel.: 208-447-9114	Tel.: 208-447-9114
FAX:	FAX:
E-mail: bill@galenafund.com	E-mail: bill@galenafundc.om

**ACTION REQUESTED (check all that apply)**

**ALL BLUEPRINTS MUST BE FOLDED INTO 8 1/2" X 11" SIZE WITH THE TITLE BLOCK/PANEL FACE UP SO AS TO FIT WITHIN A LEGAL SIZE FILE FOLDER**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> Appeal<br><input type="checkbox"/> Lot Line Adjustment<br><input type="checkbox"/> City Code Text Amendment<br><input type="checkbox"/> Sign Permit<br><input type="checkbox"/> Specific Area Plan<br><input type="checkbox"/> Conditional (special) Use Permit<br><input type="checkbox"/> Temporary Use Permit<br><input type="checkbox"/> Easement/Vacation of Easement | <input checked="" type="checkbox"/> Design Review<br><input type="checkbox"/> Final Plat<br><input type="checkbox"/> Flood Plain Dev<br><input type="checkbox"/> Variance<br><input type="checkbox"/> MFH Installation<br><input type="checkbox"/> Minor PUD<br><input type="checkbox"/> Minor Land Division<br><input checked="" type="checkbox"/> Ability to Serve-CUP, DSR or SUB if applicable | <input type="checkbox"/> Preliminary Plat<br><input type="checkbox"/> Preliminary PUD<br><input type="checkbox"/> Re-zone<br><input type="checkbox"/> Zoning Certificate<br><input type="checkbox"/> MFH Removal |
|---|--|--|

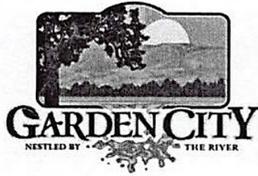
**PROPERTY INFORMATION**

Site address:

Subdivision Name: Twotown Parkway Sub	Lot: 50	Block: 1
Tax Parcel Number: R8583760500	Zoning: M	Total Acres: 1.368
Proposed Use: Mixed Use Retail/Residential	Floodplain: yes	<span style="border: 1px solid red; border-radius: 50%; padding: 2px;">no</span>

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

 _____ signature of the applicant (date)	 _____ signature of the owner (date)
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<b>DESIGN REVIEW</b>	
Permit info: _____	
Application Date: _____	Rec'd by: _____
FOR OFFICE USE ONLY	

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 ▪ [www.gardencityidaho.org](http://www.gardencityidaho.org) ▪ [planning@gardencityidaho.org](mailto:planning@gardencityidaho.org)

APPLICANT	PROPERTY OWNER
<b>Name:</b> Bill Truax	<b>Name:</b> Bill Truax, Manager
<b>Company:</b> PARKWAY 405 LLC	<b>Company:</b> PARKWAY 405 LLC/PARKWAY STATION LLC
<b>Address:</b> PO BOX 1158	<b>Address:</b> PO BOX 1158
<b>City:</b> BOISE	<b>City:</b> BOISE
<b>State:</b> ID <b>Zip:</b> 83701	<b>State:</b> ID <b>Zip:</b> 83701
<b>Tel.:</b> 208-447-9114	<b>Tel.:</b> 208-447-9114
<b>E-mail:</b> bill@galenafund.com	<b>E-mail:</b> bill@galenafund.com

**PROPERTY AND DESIGN INFORMATION**

This application is a request to:     Construct New     Addition     Subdivision

**Site Address:** Lot 50 - TBD N. Freeride Ln., Garden City, ID 83714

<b>Subdivision Name:</b> Twotown Parkway Sub	<b>Lot:</b> 50	<b>Block:</b> 1
<b>Tax Parcel Number:</b> R8583760500	<b>Zoning:</b> M	<b>Total Acres:</b> 1.368
<b>Proposed Use:</b> mixed Use Retail/Residential	<b>Floodplain:</b> Yes <span style="border: 1px solid blue; border-radius: 50%; padding: 2px;">No</span>	

**OBJECTIVES 8-4C**

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

**Bike and Pedestrian:** How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

**Parking and parking lot standards:** Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

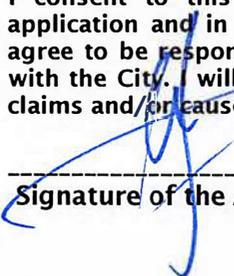
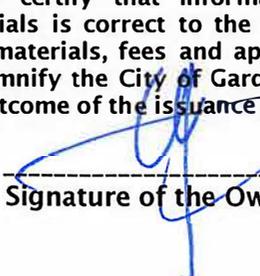
**Community Interaction:** How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

**Landscaping:** Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

**Building Design:** How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

 _____ Signature of the Applicant	1/15/2020 _____ (date)	 _____ Signature of the Owner	1/15/2020 _____ (date)
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**APPLICATION INFORMATION REQUIRED**

**Note:**

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED**  
**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

**ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:**

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Compliance Statement and Statement of Intent                            | <input checked="" type="checkbox"/> Affidavit of Legal Interest                    |
| <input checked="" type="checkbox"/> Neighborhood Map  | <input checked="" type="checkbox"/> Sustainability Checklist <i>*if applicable</i> |
| <input checked="" type="checkbox"/> Site Plan   |  |
| <input checked="" type="checkbox"/> Landscape Plan  |  |
| <input checked="" type="checkbox"/> Schematic Drawing   |  |
| <input checked="" type="checkbox"/> Lighting Plan   |  |
| <input checked="" type="checkbox"/> Topographic Survey  |  |
| <input checked="" type="checkbox"/> Grading Plan  |  |
| <input checked="" type="checkbox"/> Will Serve Letter <b>**If required, must submit a Fire Flow Request</b> |  |
| <input checked="" type="checkbox"/> Ada County Approved Addresses   |  |
| <input checked="" type="checkbox"/> Waiver Request of Application Materials                                 |  |



## **PLEASE CHECK THE FOLLOWING:**

### **INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:**

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- Purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

### **INFORMATION REQUIRED ON NEIGHBORHOOD MAP:**

- 8 ½" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

### **INFORMATION REQUIRED ON SITE PLAN:**

- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- Sidewalks, bike and pedestrian paths.
- Berms, walls, screens, hedges and fencing.
- Location and width of easements, canals, ditches, drainage areas.
- Location, dimensions and type of signs.
- Trash storage and mechanical equipment and screening.
- Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- Log depicting square footage of impervious surface, building and landscaping
- Location and height of fences and exterior walls
- Location and dimensions of outdoor storage areas
- Location of utilities and outdoor serviced equipment and areas
- Location of any proposed public art, exterior site furniture, exterior lighting, signage

**INFORMATION REQUIRED ON LANDSCAPE PLAN:**

- Scale the same as the site plan.
- Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- Size, location and species of existing vegetation labeled to remain or to be removed.
- All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location
- Locations and dimensions of open space and proposed storm water systems

**INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):**

- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color
- Sample materials (as determined by the staff)

**INFORMATION REQUIRED ON LIGHTING PLAN:**

- 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- Location of municipal street lights

**INFORMATION FOR TOPOGRAPHIC SURVEY:**

- The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

**INFORMATION REQUIRED ON GRADING PLAN:**

- 11" x 17" size minimum
- Scale not less than one inch equals twenty feet (1" = 20')
- Two foot (2') contours for the entire proposal site
- One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- Existing easement and utility locations
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- Proposed storm water systems

**INFORMATION REQUIRED MASTER SIGN PLAN:**

***\*Required for developments of two or more buildings:***

- Location, elevations, and materials of proposed signage

**INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:**

***\*Required if irrigation canal/irrigation ditch runs through property or along property lines:***

- Letter from company indicating approval

**INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:**

- Statement must include a list of the application materials to be waived and an explanation for the request.



# DESIGN REVIEW PRE-APPLICATION MEETING REQUEST

Permit info: \_\_\_\_\_  
Application Date: \_\_\_\_\_  
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The objectives of the design review process is to involve the City in the earliest possible time in the development and design of a project and to work with the applicant in an iterative process of review and design. The review process is intended to be flexible and tailored to the needs of the project and the applicant.

The checklist and required materials are due fifteen (15) business days prior to the Design Committee meeting. **Late submissions will not be accepted under any circumstances.**

### APPLICANT INFORMATION

**Name:** Bill Truax, Parkway 405 LLC      **Phone:** 208-447-9114  
**Email:** bill@galenafund.com      **Firm:** Inflection Development LLC  
**Proposed Site Address:** Lot 50 - TBD E. Freeride Ln., Garden City, ID 83714

**Date of Requested Meeting:** Earliest Available

### DESIGN INFORMATION

**Proposed Use:** Mixed use residential over retail building

**Surrounding Uses:** North-Residential; East-Multifamily and vacant land; South-Commercial, West-Residential

**Zoning:** M      **Comprehensive Plan Designation:** Activity Center/TOD, Main Street Corridor, Green Boulevard Corridor

**Is the property located in the 100 year flood plain?**

YES      **NO**

**List the locations of any potential wildlife habitat areas on the property:**

Boise River to the North of the site.

**List the locations of bus stops and pedestrian pathways within 1/4 mile of the property:**

Bus stops on Adams/41st, Adams/42nd-43rd St, Adams/44th, Chinden/43rd St.  
Riverfront Park NW of property and Boise River Greenbelt Access at approx. 1000' from property boundary.

**List any easements and locations of water, sewer and irrigation:**

Existing ACHD ROW/sidewalk, existing access drive easement and typical utility easements

### APPLICATION INFORMATION REQUIRED

NOTE:

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED**

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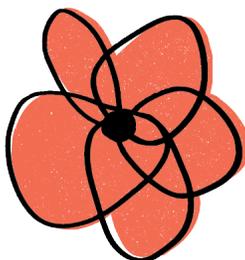
**ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED**

Site Plan Including Surrounding Development  
 Elevations

Landscaping Plan  
 Vicinity Map

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  - d. Sustainability Checklist (Exempt)
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2. Neighborhood Maps
3. Vicinity Map
4. Schematic Drawings
  - a. Topographic Survey
  - b. Schematic Drawings
  - c. Photometric Plan (exterior)
  - d. Record Drawings (Twotown Parkway Subdivision)
  - e. Affidavit of Correction (Final Plat)
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6. Legal Description
7. Ability to Serve (request previously submitted)
8. Affidavit of Legal Interest
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**PARKWAY  
STATION**  
- GARDEN CITY -

## Parkway LOT 50 (Lot 50 - E. Freeride Ln.)

### Request for Waiver

#### **ADDRESS and SURVEY**

The property was not assigned an address due to a sanitary restriction condition from CDHD noted on the plat. Once the property is tied into the sewer line as appropriate, the restriction can be lifted and the address assigned. Record drawings attached include all topographic information and the subdivision was filed in April 2018. We do not feel it is necessary to update the survey for purposes of this application.

#### **PHOTOMETRIC DETAIL**

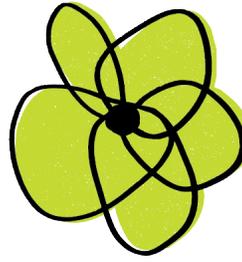
We request that the actual photometric detail for this property be attached to the construction plan. An attached aerial shows the location of the many subdivision and street lights that provide ample lighting for safety considerations. Our lighting plan will be established after location of the building is approved and since the site is taken up by podium and building structures, the lighting plan pertains to the building more than to the site. Appropriate measures will be taken to prevent light pollution affecting property to the west of the project site.

#### **WILL SERVE**

All utility companies are in the subdivision with capacity to serve lot 50. Easements for future connections to these services are contained in the subdivision plat and declaration of easement documents included in the Design Review application submittal. Republic Services is providing trash service to the residential portion of the lot and will provide container service to the commercial uses on Lot 50.

**LOT 50**  
**[PHASE 4]**

January 15, 2020



**PARKWAY  
STATION**  
– GARDEN CITY –

## STATEMENT OF INTENT / COMPLIANCE STATEMENT

### Project Scope

The goal of the Parkway Station redevelopment is to create a culturally significant place that people love, nestled along the river in Garden City—a simple, distinctively branded neighborhood with a defined sense of place. Parkway will provide a mix of diverse residences and commercial uses that compliment all of the offerings in and around the downtown Boise core. The vision is to get people out of their car as much as possible—shorten commute times, provide alternative commute options and make activity part of the social fabric. Health and happiness are built-in amenities!

Currently the overall development consists of various activities on 42<sup>nd</sup> and 43<sup>rd</sup> Streets in Garden City in several phases: **PHASE 1.** A 4.07 acre Mixed-Use 50-lot Planned Unit Development (PUD) approved on 42<sup>nd</sup> St. currently beginning construction; **PHASE 2.)** 2.76 acre, 32-unit townhome MPUD and public charter school on 43<sup>rd</sup> St, zoned C-2 in the Neighborhood Commercial Node (NCN) Overlay and Transit Oriented Design (TOD) Overlay districts; **PHASE 3.)** 45,000 square foot Mixed Use building on 42<sup>nd</sup> St, at the corner of Veterans Memorial Parkway and Adams St.; and **PHASE 4.)** Mixed Use Residential-over-Retail buildings on Lot 50 from PHASE 1.

#### **PHASE 1: Mixed Use (SUBFY 2016-1 Twotown Parkway Sub. No. 1)**

The property is bounded by Adams Street, East 42nd Street, Riverfront Park and residential to the west. The northern portion of the site would be developed as residential with 32 lots for 3 story townhomes. 16 of the townhomes are arranged in two groups of eight and face E. 42nd Street. The townhomes will have a similar height and set back as the apartments across the street. The adjacent sidewalk will be reconstructed to ten feet wide with bulb outs, street trees and historic light fixtures to mirror the improvements on the opposite side of the street. Together the two projects will create a pedestrian friendly street scape with a unique sense of place. The result will be the essence of a vibrant corridor between Adams Street and the greenbelt that can be completed by the development of the remaining lots on the block. The townhouses will have distinctive features that will distinguish them as individual homes— gable roofs, terraces, balconies, and entries that face the street. The buildings will be offset and vary in finish materials and color from a complimentary palette.

The northwest portion of the site adjacent to the park will be developed as nine cottages clustered around a common garden area. The one and one half story cottages will each have a room-size covered front porch and main entry that faces the common area to encourage interaction and a sense of community, people will know their neighbors.

There is another cluster of 16 townhouses in the center of the site that are arranged in four groups of four. The rear garages share a common access lane. The fronts of these townhouses face onto a private street that loops through the residential section.

#### **PHASE 2: Mixed Use (SUBFY2017-2 Twotown Parkway Sub. No. 2)**

The property is bounded by 43<sup>rd</sup> St. on the West, Riverfront Park on the East, and commercial property to the North and residential to the South. The site is developed using a Minor Planned Unit Development (MPUD) and one of the City's approved templates. The current interpretation of the project to include a Public Charter School achieves a very difficult objective of the City's 2006 Comp Plan, Goal #11, by establishing a public charter school serving kids in Grades K-8 in Garden City. With the proposed changes, the project will remain in substantial compliance with all

approvals in the FOFOLD from April 24, 2017, with a consolidation of townhouse lots into a single LOT 37 on which the Future School will be situated, and will address the difficult task of emergency fire access.

The school campus concept is a novel approach to achieve intensification of use while preserving and enhancing open space in small areas of redevelopment. The addition of a school to the MPUD on 43<sup>rd</sup> St. provides excellent linkages between 42<sup>nd</sup> St. and 43<sup>rd</sup> St. and provides significantly more sense of place and community to the neighborhood. In order to achieve this campus, shared use agreements are being developed between Future School, the Boys and Girls Club and if the City is amendable, its Riverfront Park will become a centerpiece of the arrangement.

**Both the Future Public School and the Boys & Girls Club renovations are complete, and the Future Public School is in its second successful year of enrollment.**

**Townhomes**

The townhomes will have a similar height and set back as the apartments across the street. The adjacent sidewalk will be reconstructed with street trees and historic light fixtures to mirror the improvements on the 42<sup>nd</sup> St. Together the two projects will create a pedestrian friendly street scape with a unique sense of place. The result will be the essence of a vibrant corridor between Adams Street and the greenbelt that can be completed by the development of the remaining lots on the block. The townhouses will have distinctive features that will distinguish them as individual homes— gable roofs, terraces, balconies, and entries that face the street. The buildings will be offset and vary in finish materials and color from a complimentary palette.

**Public Charter School within Boys & Girls Club Campus (CUPFY2017-12)**

An innovative private/public partnership to launch in Fall 2018 the Future Public School, the first public school designed from the start to offer students and families in Garden City a rich educational program focusing on, among other things, the STEM disciplines, computer sciences and design thinking ([www.futurepublicschool.org](http://www.futurepublicschool.org)). One of co-founders of Future has already experienced great success with an after-school program at the Boys & Girls Club's Moseley Center, and it is the success of this program and the close connection with the Club's staff that has spurred the initiative.

This joint venture brings together the resources of Parkway Station, the Boys & Girls Club, the Idaho New Schools Fellows, Bluum ([www.bluum.org](http://www.bluum.org)), and other local partners, as well as the national school design and development experience of Building Hope ([www.buildinghope.org](http://www.buildinghope.org)) to offer children and families in Garden City with a first-in-class learning opportunity that builds on the proven track record of the Club. All groups have been working closely together and with a prominent local architectural firm with significant school design and construction experience, erstad ARCHITECTS, on the planning, design and entitlements side to create a learning experience unlike any other in Idaho. Financing for the school construction also included a provision for much-needed renovations and upgrades to the Club's Moseley Center facilities. This Future School project will serve as a model of resource-sensitive development not only for Idaho but for other cities nationally.

**PHASE 3: Mixed Use Retail/Residential (DSRFY2018-4)**

A high-visibility corner with a traffic count of 32,607+ cars daily at a signalized intersection. A 45,000 square foot mixed-use retail/residential building is complete. This building will serve as a visual anchor to the overall Parkway area and will add additional consumers to the retail/commercial tenants and increase the sense of place with its use of exterior facades, patios and decks. Zoning is C-2.

The building is arranged as a 45,000 SF building with approximately 6,000SF retail space on the first floor, intended for an anchor restaurant user on the corner. Residential apartments for lease are on the 1st – 3rd floors. The building will serve continuing demand for residential units in Ada County, and will also begin to add the commercial/retail tenants that are sorely lacking in the area. This building will begin to anchor the sense of place that

is becoming a reality in the area and will greatly improve the visibility of Garden City as a multi-faceted place to Live/Taste/Create/Play.

Leasing activities are expected to complete 2020.

#### **PHASE 4: Mixed Use Retail/Residential (DSRFY2020-**

The Boise Valley is in a **housing crisis**, especially lacking in developed housing in infill sites with close proximity to employment hubs and with superior transportation options. The proposed Lot 50 development is consistent with the Garden City Comp Plan's Activity Nodes as depicted on the Land Use map, and amplifies the value of the City's Main Street corridor along N. Adams St.

Lot 50 of the Twotown Parkway Subdivision, at the corner of Adams and E. 42nd St. is proposed commercial retail and residential development. This development is proposed as approximately 152,000SF residential and 8,500SF retail project built on a concrete podium used for parking, covered bike parking, vertical gardens and storage. A 17,000SF open-space green courtyard is designed on the podium between the buildings for residential enjoyment.

These uses enhance the pedestrian character of the development and add local retail options for neighborhood residents and river commuters. The 42<sup>nd</sup>/Adams corner is activated through the significant retail on the already active corner. The wide pedestrian sidewalks serve as an inviting natural buffer from the low-speed street traffic along N. Adams St. Zoning on Lot 50 is Mixed-Use, and this development is consistent with that zoning designation. Parking is sufficiently arranged to support the intended use and provides additional neighborhood parking availability for those looking to benefit from covered stalls. The building is set back from the street in line with the City's intended vision for the area and establishes a defined pedestrian connectivity to other Parkway Station assets.

One market-defining feature that is very exciting is the inclusion of 1,500SF of amenity space dedicated to "Vertical Farming" with indoor growing facilities allocated to each residential unit. St. Al's has agreed to work with the Owner to create the ongoing educational and maintenance programs for these vertical farms as part of its Signature Project commitment to the Boise Valley, providing access to local fresh leafy greens.

**Following a Neighborhood Meeting held at 405 E. 42<sup>nd</sup> St, we have made several significant modifications to the project from the Plans discussed with the City at the Pre-Application meeting.**

- **The building has been set back from N. Freeride Ln., to allow for more pedestrian circulation along N. Freeride Ln.**
- **The buildings have been reduced from 5 stories of residential over 2 stories of concrete podium to 4 stories of residential over 2 stories of concrete podium.**
- **Residential Unit count has decreased from 175 units to 140 units**
- **Fenestration has been added to the Easternmost Stair tower to improve safety and circulation**
- **Façade "softening" measures have been added to the N. Adams St. and N. Freeride Ln. elevations**

#### **8-2B-3 FORM STANDARDS:**

Our building height is compliant with Mixed Use (M) Zoning district of 72'. The scale of this project reflects the growing importance of higher density residential infill opportunities in the Boise Valley and especially at the **Veterans/Adams multimodal transportation node** and is directly addressed in Garden City Municipal Code Section 8-2B-1.C.

Mixed Use: The mixed use (M) district allows for a mix of commercial and residential uses that are complementary of one another. The purpose is to accommodate and encourage further expansion and renewal in designated areas of the community. **A variety of residential, office, and commercial uses are encouraged in an effort to provide a mix of activities necessary to establish a truly urban character. All densities of residential, professional offices, neighborhood services retail uses may be located within this designation.**

The Parkway Station area is ideally situated near arterial corridors and along Valley Regional Transit Route 11, a line that is significantly in need of the increased ridership available with urban density. Ridership and use of the greenbelt continue to increase, and this proposed project provides a direct and meaningful addition of riders along a greenbelt corridor to the downtown Boise employment center. The increases in density will further the City objective of sustainability of real estate along the Boise River corridor. We have ongoing discussions with VRT and Compass on regional transit focused projects like Lot 50.

A direct offset to vehicular loading is also addressed in a creative solution, and one that we hope becomes a model to be replicated in the Boise Valley. The property will purchase e-bikes ([www.radpowerbikes.com](http://www.radpowerbikes.com) or similar) and provide access to them to residents for commuting use. The property anticipates provision of 40-50 e-bike units to ensure true increase in ridership.

### **Phased Permitting and Phased Occupancy**

We are requesting a Phased Permit Review and a Phased Occupancy Certificate schedule.

For Permitting, we are requesting a separate Grading and Foundation/Podium Permit while the Building Permit Plans are finalized. The Grading and Foundation/Podium permit applications are expected to be delivered to the City in March/April 2020, with the Building Permit request to follow.

We intend to deliver the project in 4 phases with a total construction duration that will exceed 12 months, so we ask that the approval consider that phasing. An Exhibit of the Phasing Plan is attached for ease of reference. We have already worked with the City of Garden City on a phased occupancy on a vertical mixed-use building and are familiar with inspection processes.

- Phase 1: North Building
- Phase 2: South Building
- Phase 3: Podium
- Phase 4: Retail Tenant Improvements

### **EXTRAVEHICULAR ACTIVITIES:**

A defining feature of Parkway Station is the pedestrian and bike focus, connecting all commercial areas at Adams Street to Riverfront Park and the Greenbelt, with Greenbelt-to-Downtown as an increasingly popular commute option. The onsite paths thread between the central groups of townhomes to amenity nodes and along one side of the common garden at the cottages, linking to the existing pathway in the Riverfront Park. This provides a direct pedestrian and bike access to Riverfront Park, the Boys& Girls Club and the Greenbelt, and connects all of these areas to other local amenities and employers like Future Public School, Fishers, UPS and Anser Charter School to the southwest. Further commercial/retail businesses in the area with the development of PHASE 4 will increase the sense of place in the neighborhood.

As part of the PUD application processes, we have reduced rear yard setbacks for the residential units, creating an efficiently planned and community-centered environment. The property will be fenced along the west property line with a 6' high solid fence. We are proposing a four foot wide planters between the private street and the fence for landscaping with enlarged planters strategically placed for tree planting. Between the developments and Riverfront Park, there is a four-to-six foot high decorative metal fence planned. There will be an opening in the fence where the pedestrian path connects with the park path.

We believe the proposed project is the type of development that the Garden City comprehensive plan and zoning ordinance intended to inspire, and it has already begun to spark further positive redevelopment. We would propose that the City create a forms-based design overlay to the larger surrounding radius around Parkway Station to ensure future developments are complementary to the vision. The buzz in the surrounding community is extremely positive and continues building rapidly!

## Project Phasing

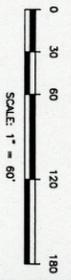
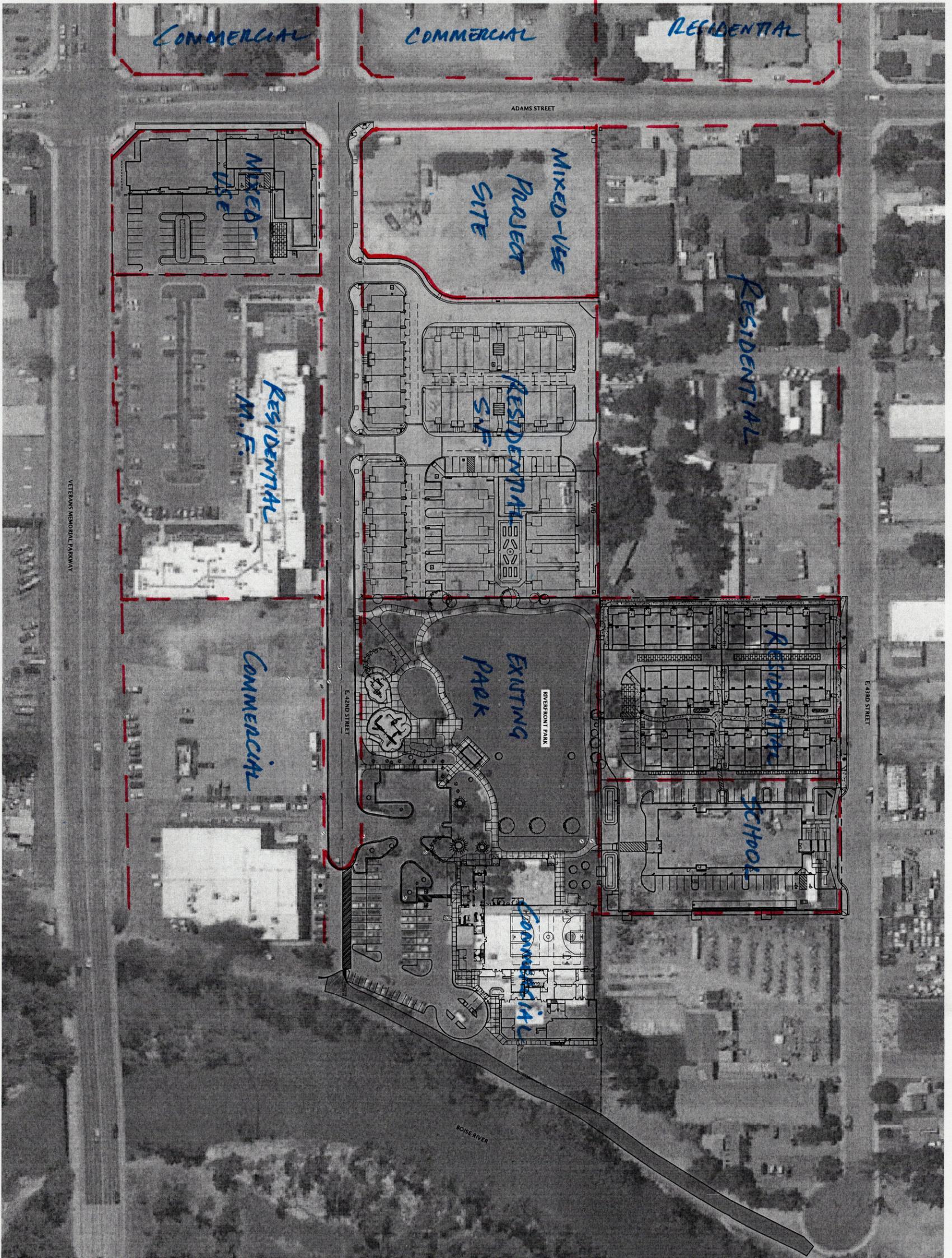
The overall Parkway Station community is being built out in phases based on absorption and organic demand patterns.

**PHASE 1** townhomes are complete. Cottage units will be complete in 2020.

**PHASE 2** Future Public School is complete, and the school is in its 2<sup>nd</sup> year of operation. Townhomes are complete.

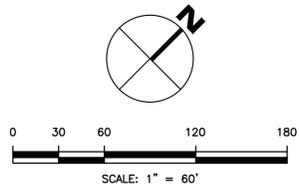
**PHASE 3** is complete.

**PHASE 4** is intended to begin construction in **April**.



<p><b>CX.X</b></p> <p>CSW PROJECT NO. 17035 DRAWING DATE 01/17/2018</p>	<p><b>PARKWAY STATION</b> 42ND &amp; 43RD STREET, GARDEN CITY, ID NEIGHBORHOOD MAP</p>	<p>PREPARED FOR: PARKWAY STATION LLC GARDEN CITY, ID</p>	<p>DESIGNED: C. GRAHAM DRAWN: C. GRAHAM CHECKED: C. GRAHAM APPROVED: C. GRAHAM</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV. NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV. NO.	DESCRIPTION	DATE				<p>804 W. RICHMOND STREET BOISE, ID 83708 PH: (208) 946-3874</p> <p><b>CIVIL SITE WORKS</b></p> <p>FILE NAME: 17035 AERIAL VIC MAP.DWG</p>
REV. NO.	DESCRIPTION	DATE									

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804 W. RICHMOND STREET  
BOISE, ID 83706  
Ph: (208) 946-3874

REV. NO.	DESCRIPTION	DATE

DESIGNED: C. GRAHAM  
 DRAWN: C. GRAHAM  
 CHECKED: C. GRAHAM  
 APPROVED: C. GRAHAM

PREPARED FOR:  
 PARKWAY STATION LLC  
 GARDEN CITY, ID

**PARKWAY STATION**  
 42ND & 43RD STREET, GARDEN CITY, ID  
 NEIGHBORHOOD MAP

CSW PROJECT NO. 17035  
 DRAWING DATE 01/11/2018

**CX.X**



neUdesign  
ARCHITECTURE  
725 E 2nd St  
Meridian, ID 83642  
208.884.2824

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CLIENT:  
INFLECTION DEVELOPMENT  
PARKWAY LOT 50  
GARDEN CITY, ID 83714

PROFESSIONAL SEAL

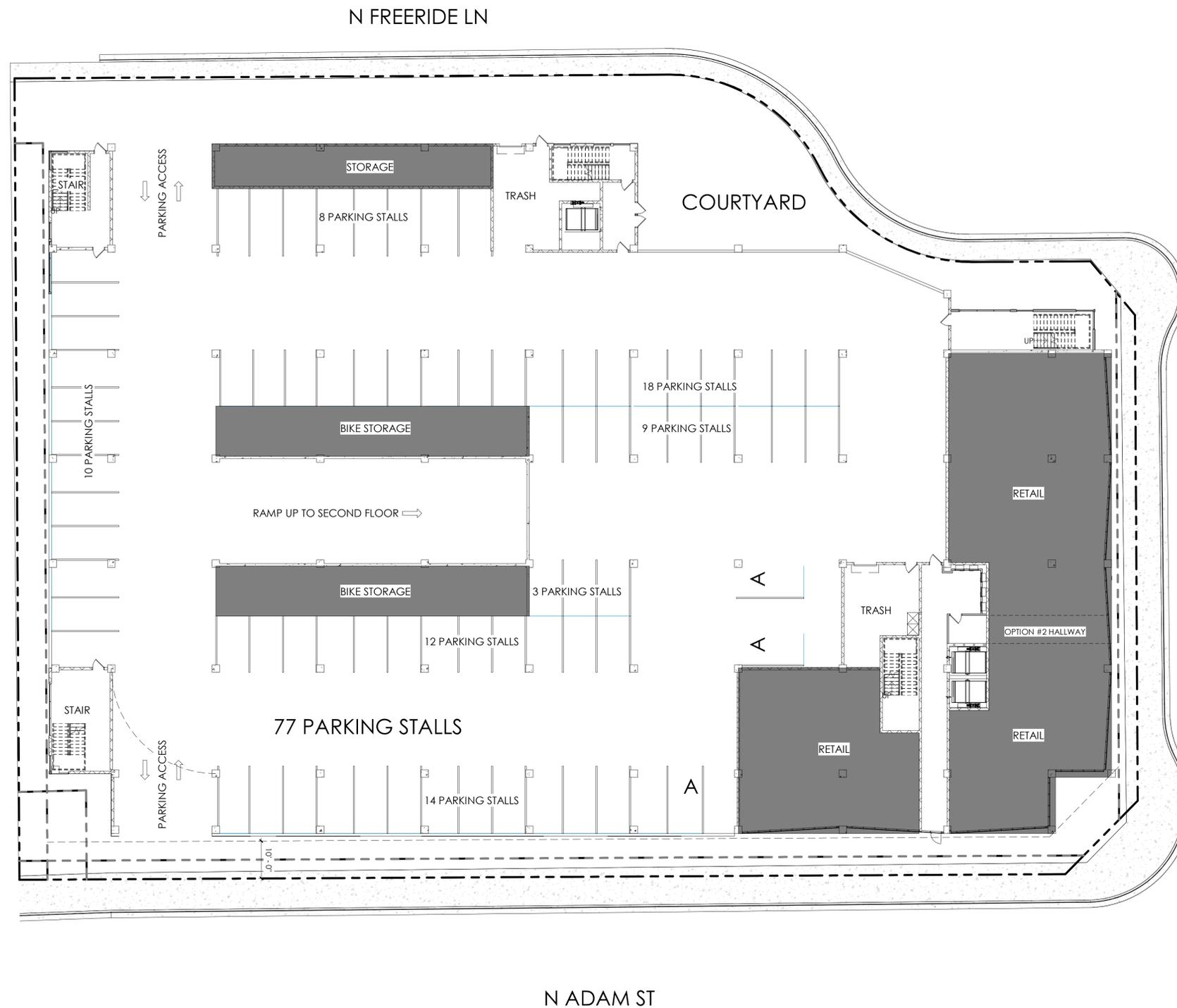
**NOT FOR PERMIT**

NO.	DESCRIPTION	DATE
D	DESIGN REVIEW	01.10.2020
C	DESIGN REVIEW	09.13.19
B	DESIGN REVIEW	07.12.19
A	CLIENT REVIEW	06.24.19

SITE PLAN

A-101

JOB NUMBER 19144  
DRAWN BY MRM



1 SITE PLAN  
1/16" = 1'-0"





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CLIENT:  
INFLECTION DEVELOPMENT

PARKWAY LOT 50

GARDEN CITY, ID 83714

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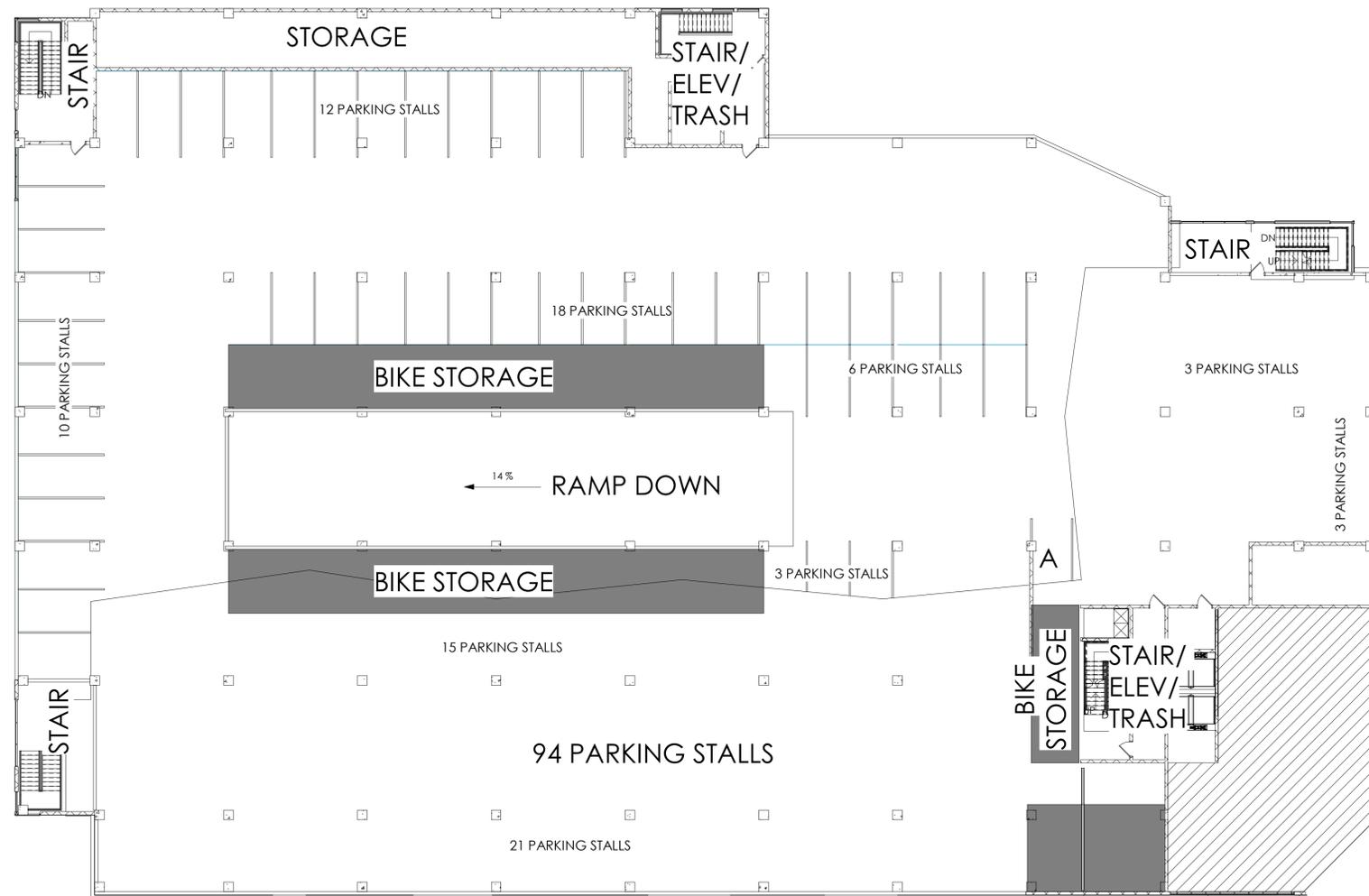
NO.	DESCRIPTION	DATE
B	DESIGN REVIEW	01.10.2020
A	CLIENT REVIEW	06.24.19

SECOND  
FLOOR  
PLAN

A-112

JOB NUMBER  
DRAWN BY

19144  
MRM



1 LEVEL 2  
1/16" = 1'-0"



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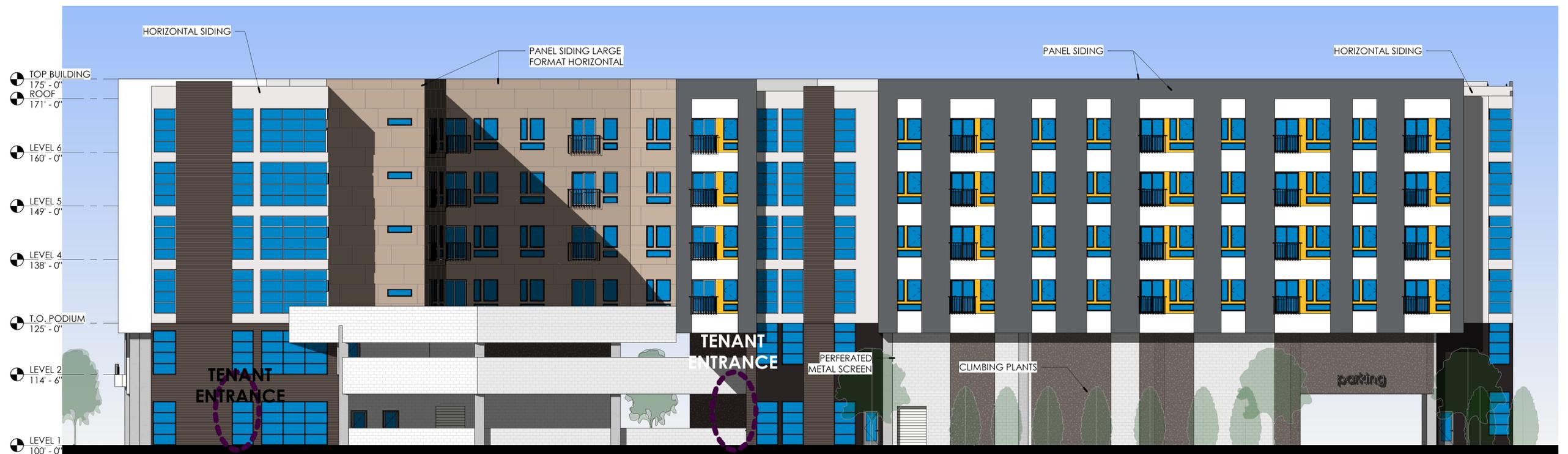
EXTERIOR ELEVATIONS

A-211

JOB NUMBER 19144  
DRAWN BY MRM



1 SOUTH ELEVATION  
3/32" = 1'-0"



2 NORTH ELEVATION  
3/32" = 1'-0"



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CIENT: INFLECTION DEVELOPMENT

PARKWAY LOT 50

GARDEN CITY, ID 83714

PROFESSIONAL SEAL

**NOT FOR PERMIT**

NO.	DESCRIPTION	DATE
B	DESIGN REVIEW	01.10.2020
A	DESIGN REVIEW	07.12.19

EXTERIOR ELEVATIONS

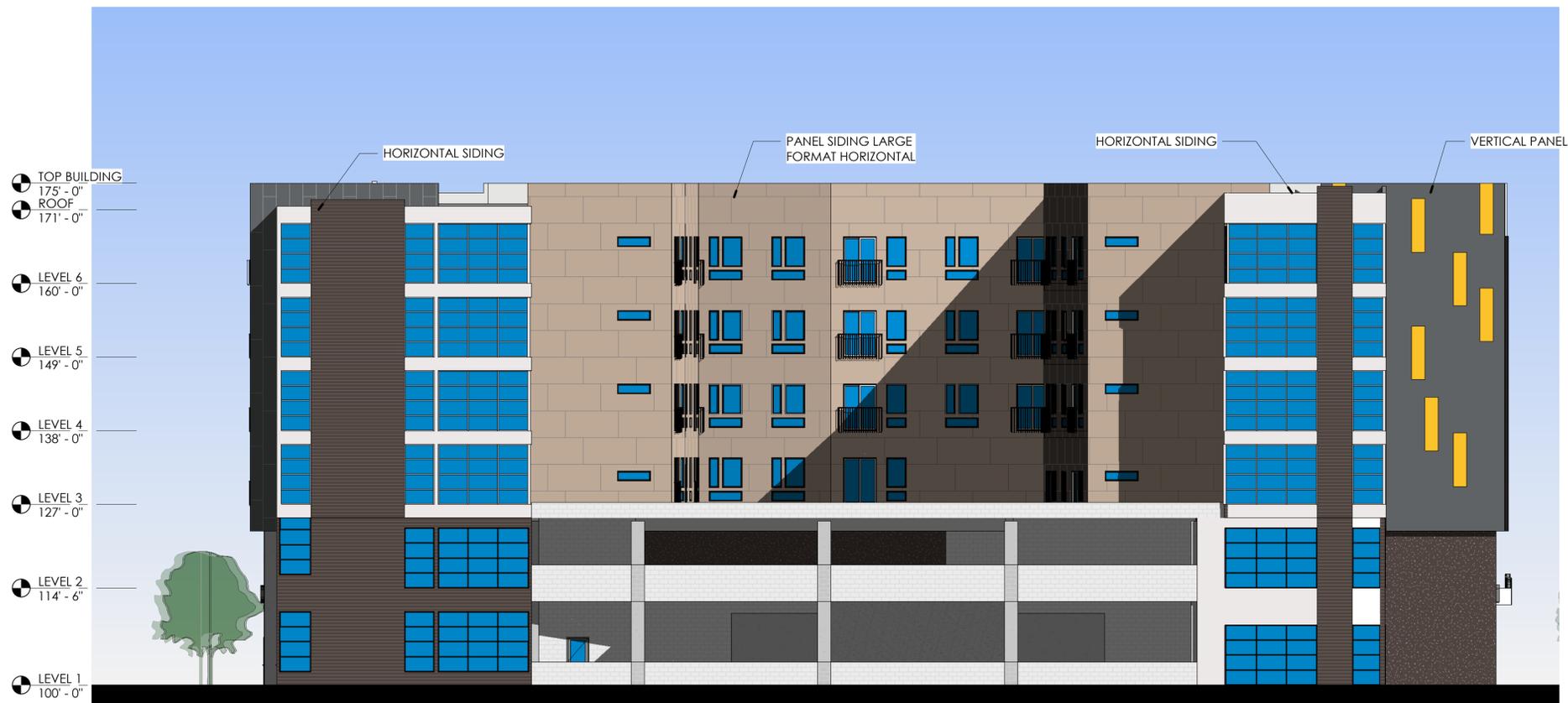
A-212

JOB NUMBER  
DRAWN BY

19144  
MRM



**1** EAST ELEVATION  
3/32" = 1'-0"



**2** WEST ELEVATION  
3/32" = 1'-0"



2 EAST - 42ND



1 SOUTH - 42ND & ADAMS



7 NORTH



4 EAST



3 WEST



6 COURTYARD LOOKING EAST



5 COURTYARD LOOKING WEST



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PARKWAY LOT 50

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C	DESIGN REVIEW	01.10.2020
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A	CLIENT REVIEW	06.24.19

PERSPECTIVES

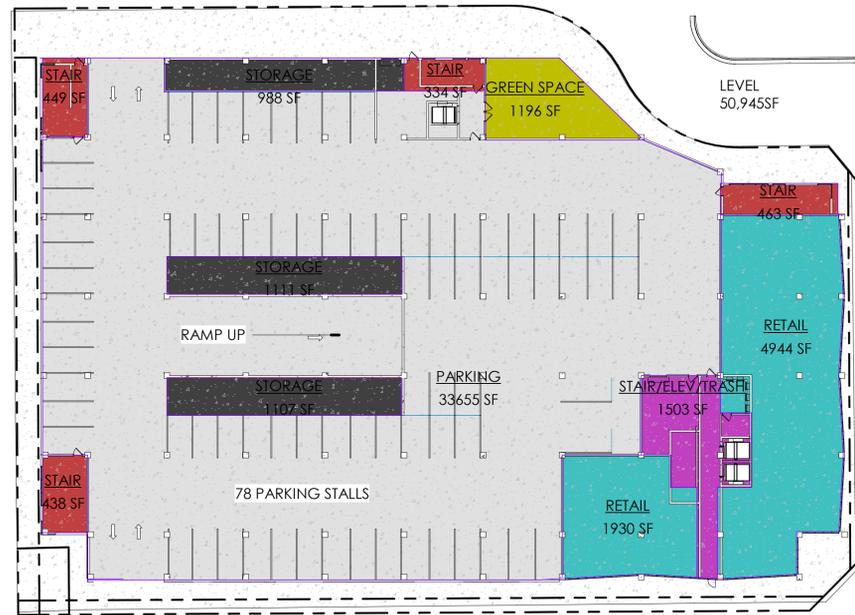
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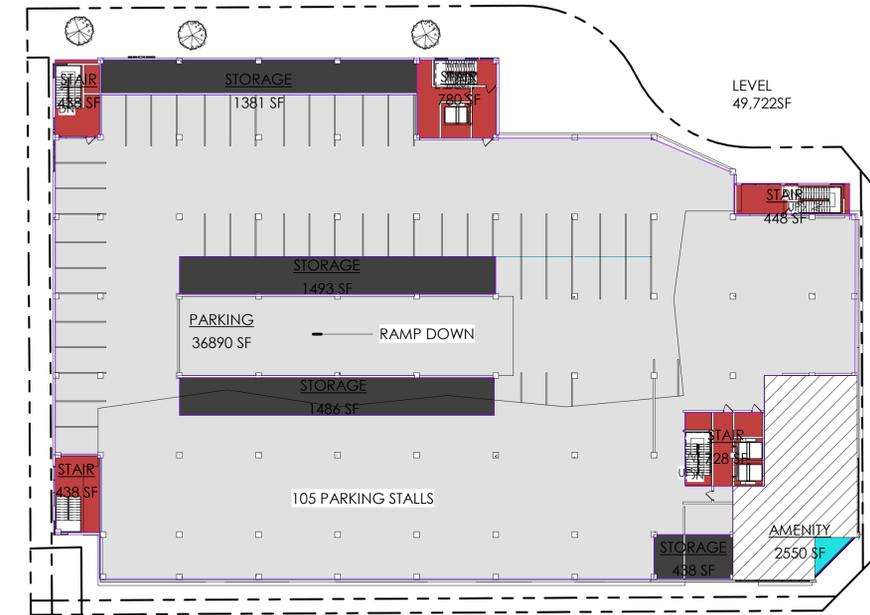
19144  
MRM

**Building Area Legend**

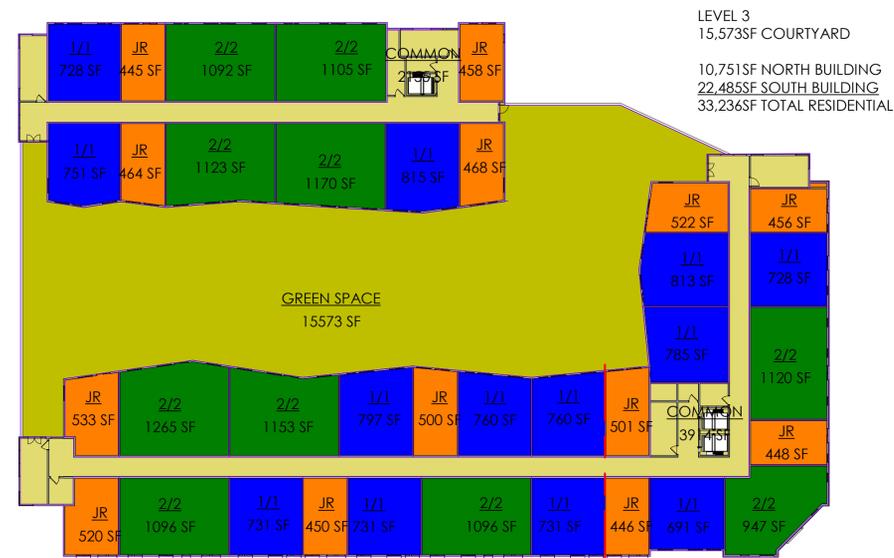
- 1/1
- 2/2
- AMENITY
- COMMON
- GREEN SPACE
- JR
- PARKING
- RETAIL
- STAIR
- STAIR/ELEV/TRASH
- STORAGE



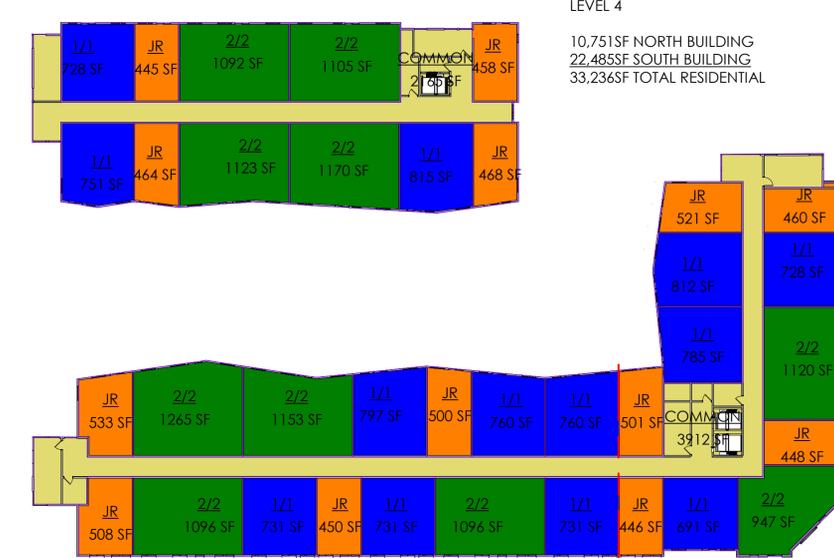
**1** LEVEL 1  
1" = 30'-0"



**2** LEVEL 2  
1" = 30'-0"



**3** LEVEL 3  
1" = 30'-0"



**4** LEVEL 4  
1" = 30'-0"



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CIENT: INFLECTION DEVELOPMENT  
PARKWAY LOT 50  
GARDEN CITY, ID 83714

PROFESSIONAL SEAL

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NO.	DESCRIPTION	DATE
D	DESIGN REVIEW	01.10.2020
C	DESIGN REVIEW	09.13.19
B	DESIGN REVIEW	07.12.19
A	CLIENT REVIEW	07.03.19

AREA PLANS

G-101



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CUSTOMER:  
**INFLECTION DEVELOPMENT**  
**PARKWAY LOT 50**  
GARDEN CITY, ID 83714

PROFESSIONAL SEAL

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C	DESIGN REVIEW	09.13.19
B	DESIGN REVIEW	07.12.19
A	CLIENT REVIEW	07.03.19

AREA PLANS

G-102

JOB NUMBER 19144  
DRAWN BY MRM

**Building Area Legend**

- 1/1
- 2/2
- AMENITY
- COMMON
- GREEN SPACE
- JR
- PARKING
- RETAIL
- STAIR
- STAIR/ELEV/TRASH
- STORAGE



# DEVELOPMENT PLANS FOR TWO TOWN PARKWAY SUBDIVISION

## A RE-SUBDIVISION OF LOTS 1-6, BLOCK 17 OF FAIRVIEW ACRES SUBDIVISION NO. 3 SITUATED IN THE SE 1/4 OF THE SW 1/4 OF SECTION 32 T.4N., R.2E., B.M., CITY OF GARDEN CITY, ADA COUNTY, IDAHO 2016

### GENERAL

- COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS FOR PROTECTION FROM EROSION BY STORM WATER IS REQUIRED FOR THIS PROJECT. A RESPONSIBLE PARTY (RP) SHALL BE RESPONSIBLE TO COMPLY WITH THE EPA REQUIREMENTS. IF THE OWNER HAS NOT DESIGNATED A RP, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE A RP. THE RP IS REQUIRED TO PREPARE, FILE AND COMPLY WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THIS PROJECT. THE RP IS RESPONSIBLE TO FILE A NOTICE OF INTENT (NOI) TO CONSTRUCT WITH EPA. EPA MUST OFFICIALLY ACCEPT THE NOI PRIOR TO BEGINNING ANY SITE DISTURBANCE ACTIVITIES. THE SWPPP IS A DOCUMENT/PLAN THAT IS REQUIRED TO BE UPDATED AND AMENDED TO BEST FIT THE SITE AS CONSTRUCTION OCCURS. THE RP IS RESPONSIBLE TO KEEP THE PLAN CURRENT. AT COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND AFTER THE PROJECT SITE IS STABILIZED FOR EROSION CONTROL, THE RP IS REQUIRED TO PREPARE AND SUBMIT A NOTICE OF TERMINATION OF THE SWPPP WITH EPA.
- ALL CONSTRUCTION, MATERIALS, APPURTENANCES AND TESTING SHALL COMPLY WITH THE REQUIREMENTS OF THE 2015 EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (SPWC), UNLESS SPECIFICALLY MODIFIED BY THESE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR, ALL APPLICABLE SUB-CONTRACTORS, DEVELOPER/OWNER, UTILITY COMPANY REPRESENTATIVES, A GARDEN CITY DEPARTMENT OF PUBLIC WORKS REPRESENTATIVE AND AN ADA COUNTY HIGHWAY DISTRICT REPRESENTATIVE SHALL ATTEND A PRE-CONSTRUCTION CONFERENCE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN A CONSTRUCTION PERMIT FROM THE ADA COUNTY HIGHWAY DISTRICT AT LEAST 24 HOURS PRIOR TO COMMENCING CONSTRUCTION OF ANY OF THE IMPROVEMENTS SHOWN HEREON LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
- CONSTRUCTION INSPECTION SHALL BE PERFORMED BY THE PROJECT ENGINEER, THE ADA COUNTY HIGHWAY DISTRICT AND/OR THE GARDEN CITY DEPARTMENT OF PUBLIC WORKS. INSPECTION BY THE GARDEN CITY DEPARTMENT OF PUBLIC WORKS WILL BE FOR DEPARTMENT PURPOSES ONLY TO SPOT CHECK WORK COMPLIANCE WITH THE CITY'S REQUIREMENTS. IT IS THE PROJECT ENGINEER'S RESPONSIBILITY TO ASSURE COMPLIANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING WORK. ANY DEVIATIONS, OMISSIONS OR ERRORS SHALL BE PRESENTED TO THE PROJECT ENGINEER FOR RESOLUTION. ANY CHANGES TO THE PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO AND APPROVED BY THE GARDEN CITY DEPARTMENT OF PUBLIC WORKS PRIOR TO IMPLEMENTATION OF THE CHANGE. SAID CHANGE MAY ALSO NEED TO BE SUBMITTED TO THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY FOR APPROVAL.
- THE CONTRACTOR SHALL CONTACT DIGLINE (811) AND OTHER APPROPRIATE UTILITY PROVIDERS FOR UTILITY LOCATIONS AT LEAST 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION.
- ANY WATERS CREATED BY DEWATERING SHALL NOT BE PERMITTED TO DIRECTLY DISCHARGE TO ANY EXISTING SURFACE WATER FACILITY. PRIOR TO DISCHARGING TO WATERS OF THE STATE OF IDAHO, THE CONTRACTOR SHALL SECURE A SHORT-TERM UTILITY EXEMPTION FROM THE APPLICABLE REGIONAL OFFICE OF THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY.
- HORIZONTAL AND VERTICAL SEPARATION OF POTABLE AND NON-POTABLE PIPELINES SHALL MEET THE REQUIREMENTS OF ISPPWC SECTION 405 AND ISPPWC DRAWING NO. 407.
- ALL LOT, BLOCK, STREET RIGHT-OF-WAY, AND EASEMENT DIMENSIONS SHALL BE TAKEN FROM THE PLAT OF PARKVIEW STATION.
- THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS, BOTH ABOVE AND BELOW GROUND, AS REQUIRED FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. THIS SHALL INCLUDE CLEARING AND GRUBBING WHICH CONSISTS OF CLEARING THE GROUND SURFACE OF ALL TREES, STUMPS, BRUSH, UNDERGROWTH, HEDGES, HEAVY GROWTH OF GRASSES OR WEEDS, FENCES, STRUCTURES, DEBRIS, RUBBISH, AND SUCH MATERIAL WHICH, IN THE OPINION OF THE ENGINEER, IS UNSUITABLE FOR THE FOUNDATION OR PAVEMENTS. ALL MATERIAL NOT SUITABLE FOR FUTURE USE ON SITE SHALL BE DISPOSED OF OFF SITE.
- SURVEY CONTROL POINTS WHICH ARE CRITICAL TO THE CONSTRUCTION OF THE PROJECT ARE LOCATED WITHIN THE LIMITS OF WORK. THE CONTRACTOR SHALL TAKE PRECAUTION TO PROTECT THE POINTS IN PLACE.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL THE DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
- ALL CONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES ARE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ANY JURISDICTIONAL BODY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN AND AROUND THE CONSTRUCTION AREA.
- ALL MATERIALS FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTORS MUST FURNISH PROOF THAT ALL MATERIALS INSTALLED ON THIS PROJECT MEET THE REQUIREMENTS OF ITEM #16 AT THE REQUEST OF THE AGENCY AND/OR THE ENGINEER.
- THE CONTRACTOR IS TO FIELD VERIFY ALL EXISTING PAVEMENTS, CURB AND GUTTER, STORM DRAIN, CHANNEL CROSSINGS, AND SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY CONFLICTS NOT SHOWN ON PLANS. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CALL DIG-LINE 1-800-342-1585.
- ALL UTILITIES INCLUDING SERVICE LINES WITHIN THE STREET TRAVEL WAYS SHALL BE IN PLACE PRIOR TO CURB, GUTTER, SIDEWALKS AND STREET CONSTRUCTION.
- THE PIPE CONTRACTOR SHALL REPLACE ALL PAVEMENT AND CONCRETE REMOVED FOR THE INSTALLATION OF WATER, SEWER OR IRRIGATION PIPE. ALL PAVEMENT SHALL BE REPLACED WITHIN SEVEN CALENDAR DAYS FROM THE TIME THE PAVEMENT AND/OR CONCRETE IS REMOVED. CONCRETE AND PAVEMENT SHALL BE REPLACED PER ISPCW STANDARDS.
- NO PAVING SHALL OCCUR UNTIL THE CONTRACTOR OBTAINS WRITTEN APPROVAL OF ALL INSTALLED WATER AND SEWER FACILITIES FROM THE CITY OF GARDEN CITY.
- CONTRACTOR SHALL RETAIN ON SITE AT ALL TIMES A COPY OF THE GEOTECHNICAL REPORT BY MTI (B15512993) DATED DECEMBER 2, 2015.
- CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS TO THE DESIGN ENGINEER FOR REVIEW. AFTER REVIEW, THE DESIGN ENGINEER SHALL PREPARE AND PROVIDE THE RECORD CONSTRUCTION DRAWINGS TO THE CITY OF GARDEN CITY PRIOR TO INITIAL ACCEPTANCE OF THE PROJECT.

### ROADWAY

- ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT EDITION OF THE ISPPWC AND THE ACHD SUPPLEMENTAL SPECIFICATIONS. NO EXCEPTIONS TO DISTRICT POLICY, STANDARDS, AND THE ISPPWC WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE DISTRICT.
- WHEN DISCREPANCIES OCCUR BETWEEN PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. UNTIMELY NOTIFICATION SHALL NEGATE ANY CONTRACTORS CLAIM FOR ADDITIONAL COMPENSATION.
- ALL CONTRACTORS WORKING WITHIN THE PUBLIC ROAD RIGHT-OF-WAY ARE REQUIRED TO SECURE A RIGHT-OF-WAY PERMIT FROM ACHD AT LEAST 24 HOURS PRIOR TO ANY CONSTRUCTION.
- INSPECTION OF WORK WITHIN THE RIGHT-OF-WAYS SHALL BE BY THE ADA COUNTY HIGHWAY DISTRICT AND THE OWNER'S ENGINEER. CONTACT ACHD "ZONE" INSPECTION STAFF # 387-6280.
- ALL STORM DRAINAGE APPURTENANCES SHALL BE INSPECTED BY ADA COUNTY HIGHWAY DISTRICT (RW ONLY), AND THE OWNERS ENGINEER.
- ALL ON-SITE PRIVATE DRIVES SHALL CONFORM TO THE CURRENT EDITION OF THE ISPPWC. NO EXCEPTIONS TO THE ISPPWC WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE DESIGN ENGINEER AND/OR GARDEN CITY PUBLIC WORKS.
- CONTACT THE DESIGN ENGINEER FOR CONSTRUCTION OBSERVATION OF ALL ON-SITE PRIVATE DRIVES. THE CITY MAY STILL OBSERVE THE PRIVATE DRIVE CONSTRUCTION, BUT THE DESIGN ENGINEER IS PRIMARILY RESPONSIBLE FOR PLAN CONFORMANCE OF ALL ON-SITE PRIVATE DRIVES.
- TESTING RESULTS OF ON-SITE PRIVATE DRIVES SHALL BE REVIEWED FOR COMPLIANCE BY THE OWNER'S ENGINEER.
- ALL COSTS OF RETESTING FOR PREVIOUSLY FAILED TESTS SHALL BE BACKCHARGED TO THE CONTRACTOR BY THE OWNER.
- ALL COSTS TO THE CONTRACTOR INCURRED IN CORRECTING DEFICIENT WORK SHALL BE TO THE CONTRACTOR'S ACCOUNT. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
- EXISTING A.C. PAVEMENT SHALL BE CUT TO A NEAT STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EXPOSED EDGE SHALL BE TACKED WITH EMULSION PRIOR TO PAVING.
- MANHOLE GRADE RINGS, CAST IRON RINGS AND COVERS SHALL BE PROVIDED BY THE SEWER CONTRACTOR. THE ROAD CONTRACTOR SHALL INSTALL THE SEWER GRADE RINGS, CAST IRON RINGS, COVERS AND CONCRETE COLLARS TO FINISH GRADE. WATER VALVE BOXES AND COVERS SHALL BE PROVIDED BY THE WATER CONTRACTOR. THE ROAD CONTRACTOR SHALL INSTALL THE WATER VALVE BOXES COVERS AND CONCRETE COLLARS TO FINISH GRADE.
- ALL TOPS OF VALVE BOXES AND SEWER MANHOLES SHALL BE SET FLUSH WITH THE SLOPE OF THE FINISHED STREET GRADES. THE ROADWAY CONTRACTOR SHALL INSTALL AND ADJUST ALL SPACERS, GRADE RINGS, MANHOLE RINGS AND LIDS.
- ALL WATER VALVES WILL BE PLACED SO AS NOT TO CONFLICT WITH ANY CONCRETE CURB, GUTTER, VALLEY GUTTER, AND SIDEWALK IMPROVEMENTS.
- ALL WATER METERS ARE TO BE LOCATED OUTSIDE THE ROAD RIGHT-OF-WAY. THERE MUST BE AT LEAST A ONE (1) FOOT SEPARATION BETWEEN BACK OF SIDEWALK (OR CURB IF NO SIDEWALK) AND THE LEADING EDGE OF ANY FIRE HYDRANT.
- OVER EXCAVATION AND ADDITIONAL GRANULAR BACKFILL MAY BE REQUIRED IN HIGH GROUNDWATER AREAS WHICH ARE TO BE DETERMINED BY THE FIELD INSPECTOR.
- ALL MATERIALS PLACED WITHIN THE PUBLIC RIGHT-OF-WAY AS FILL OR BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH SECTION 306 OF THE CURRENT EDITION OF ADA COUNTY HIGHWAY DISTRICT STANDARD SPECIFICATIONS.
- CLEARING AND GRUBBING AND REMOVAL OF OBSTRUCTIONS SHALL BE IN ACCORDANCE WITH ISPPWC SECTION 201.
- EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH ISPPWC SECTION 202.
- STRUCTURAL EXCAVATION AND COMPACTING BACKFILL SHALL BE IN ACCORDANCE WITH ISPPWC SECTION 204.
- DEWATERING SHALL BE IN ACCORDANCE WITH ISPPWC SECTION 205.
- PERMANENT EROSION CONTROL SHALL BE IN ACCORDANCE WITH ISPPWC SECTION 206.
- PERMANENT STORMWATER BEST MANAGEMENT PRACTICES SHALL BE IN ACCORDANCE WITH ISPPWC SECTION 207.
- UNCRUNCHED AGGREGATE (6-INCH MINUS) SHALL BE PER ISPPWC SECTION 801.
- CRUSHED AGGREGATE BASE ¾-INCH (TYPE I) SHALL BE PER ISPPWC SECTION 802.
- DRAINAGE GEOTEXTILE (TYPE I) SHALL BE PER ISPPWC SECTION 2050.
- ROADWAY CONSTRUCTION WILL MEET SPECIFIC DETAILS AND REQUIREMENTS OF THE FOLLOWING IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION STANDARD DRAWINGS (CURRENT EDITION) OR THE APPLICABLE ACHD SUPPLEMENTAL DRAWINGS (CURRENT EDITION):
  - STREET SECTION, DRAWING NO. SD-801, AND SECTIONS AS SHOWN ON TYPICAL STREET SECTIONS.
  - 4' CONCRETE VALLEY GUTTER, DRAWING NO. SD-708
  - VERTICAL CURB AND GUTTER, (ACHD SUP.DWG. SD-701).
  - PEDESTRIAN RAMP FOR HANDICAPPED, DRAWING NO. SD-712C.
  - SIDEWALKS, (ACHD SUP. DWG. SD-709).
- THE ENGINEER OF RECORD CERTIFIES THAT THE PLANS ARE PREPARED IN SUBSTANTIAL CONFORMANCE WITH THE ACHD POLICY AND STANDARDS IN EFFECT AT THE TIME OF PREPARATION. THE ENGINEER ACKNOWLEDGES THAT ACHD ASSUMES NO LIABILITY FOR ERRORS OR DEFICIENCIES IN THE DESIGN. ALL VARIANCES FROM ACHD POLICY SHALL BE APPROVED IN WRITING.
- FOR PRIVATE DRIVE AISLES IMPROVEMENTS, PAVEMENT TESTING SHALL BE PERFORMED BY A MATERIALS TESTING & INSPECTION COMPANY. TESTING AND INSPECTION REPORTS SHALL BE SUBMITTED TO THE DESIGN ENGINEER AND GARDEN CITY ENVIRONMENTAL DIVISION PRIOR TO THE FINAL INSPECTION FOR A CERTIFICATE OF OCCUPANCY. AFTER REVIEWING THE TESTING REPORTS, THE DESIGN ENGINEER SHALL PROVIDE A LETTER TO CERTIFY THAT ALL DRAINAGE STRUCTURES, IMPROVEMENTS AND APPURTENANCES WERE CONSTRUCTED IN CONFORMANCE TO THE APPROVED PLANS.

### SEWER

- ALL SEWER PIPE AND FITTINGS WITH COVER GREATER THAN 3 FEET, SHALL BE POLYVINYL CHLORIDE (PVC) CONFORMING TO THE REQUIREMENTS OF ASTM D-3034, SDR-35 FOR SIZES 4-INCH THROUGH 15-INCH; ASTM F-679, SDR-35, 1-1 WALL FOR SIZES 18-INCH THROUGH 27-INCH; OR ASTM F-794, T-46 FOR SIZES 18-INCH THROUGH 36-INCH. THE MINIMUM COVER FOR ALL PVC SEWER LINES SHALL BE 3 FEET. SEWER PIPE AND FITTINGS WITH COVER LESS THAN 3 FEET SHALL BE DUCTILE IRON (DI) CONFORMING TO ANSI A-21.51 OR AWWA C-151, MINIMUM CLASS 50.
- SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE PER THE ISPPWC WITH A MAXIMUM OF 12 INCHES OF CONCRETE GRADE RINGS. A 24-INCH DIAMETER CAST IRON RING COVER AND A CONCRETE COLLAR PER ISPPWC DRAWINGS SD-S01, SD-S05, SD-S07, SD-S08, SD-S09. MANHOLES SHALL NOT HAVE STEPS. THE SEWER CONTRACTOR SHALL FIELD VERIFY THAT NO MORE THAN 12-INCHES OF GRADE RINGS ARE NECESSARY TO ADJUST THE MANHOLE TO FINAL GRADE. GRADE RINGS, RING AND COVERS SHALL BE PROVIDED BY THE SEWER CONTRACTOR. MANHOLE CONES SHALL BE ECCENTRIC FOR ALL MANHOLES 4 FEET AND DEEPER. THE VERTICAL WALL OF THE CONE SHALL BE PLACED UPSTREAM AND ROTATED 45°. CONCENTRIC CONES SHALL BE USED FOR MANHOLES LESS THAN 4 FEET DEEP.
- MANUFACTURED COMPRESSION BOOTHS SHALL BE USED IN MANHOLES WHERE PIPELINES ENTER AND LEAVE THE MANHOLE.
- SEWER SERVICE LINES SHALL BE ISPPWC TYPE "A" OR "B" AND CONSTRUCTED AND MARKED PER ISPPWC DRAWING SD-S11A. SERVICES SHALL NOT BE DEEPER THAN 5 FEET AT THE PROPERTY LINE, UNLESS SPECIFICALLY APPROVED BY THE CITY. SERVICES SHALL EXTEND HORIZONTALLY 10 FEET BEYOND THE PROPERTY LINE.
- SEWER LINES SHALL INCLUDE AN INSPECTION CLEANOUT PLACED DIRECTLY ADJACENT TO AND INSIDE PUBLIC STREET RIGHT-OF-WAY OR THE SEWER EASEMENT LINE. THE CLEANOUT SHALL CONFORM TO SD-S06A & SD-S06B (BOLT DOWN COVER OPTION) WITH THE RISER BEING THE SAME SIZE AS THE SERVICE LINE.
- ALL SEWER MAINS AND SERVICES SHALL BE BEDDED PER THE REQUIREMENTS OF TYPE I BEDDING, EXCEPT THAT BEDDING MATERIAL SHALL BE SELECT ¾-INCH MAXIMUM CRUSHED GRAVEL CHIPS. ALL BEDDING SHALL BE THOROUGHLY SHOVEL-SUICED UNDER THE PIPE.
- GROUNDWATER LEVELS SHALL BE MAINTAINED BELOW THE TRENCH BOTTOM AT ALL TIMES DURING CONSTRUCTION. GROUNDWATER SHALL NOT BE PERMITTED TO ENTER THE PIPELINE SYSTEM DURING CONSTRUCTION. AS SOON AS POSSIBLE THE CONTRACTOR SHALL INSTALL A REMOVABLE WATER TIGHT PLUG IN THE NEW PIPELINE AT THE POINT OF CONNECTION TO THE EXISTING SEWER SYSTEM.
- SEWERS SHALL BE CLEANED AND TESTED AFTER ALL UTILITIES ARE INSTALLED AND PRIOR TO PAVING. MATERIAL CLEANED FROM THE CONSTRUCTION SHALL NOT BE PERMITTED TO DISCHARGE TO THE DOWNSIDE RECEIVING PIPELINE. ALL INSTALLED SEWER PIPES SHALL BE TESTED IN ACCORDANCE WITH DIVISION 500 OF THE ISPPWC. A REPRESENTATIVE OF THE CITY MUST BE PRESENT MUST OBSERVE THE TESTING. MAINLINE PIPELINE TESTING SHALL INCLUDE AIR PRESSURE, DEFLECTION AND CLOSED CIRCUIT TELEVISION (CCTV) VISUAL INSPECTION. SERVICE LINE TESTING SHALL INCLUDE AIR PRESSURE AND CLOSED CIRCUIT TELEVISION (CCTV). THE CCTV REPORT SHALL BE IN THE FORM OF A VHS VIDEOTAPE OR DVD AND A WRITTEN LOG. MANHOLES SHALL BE VACUUM OR HYDROSTATICALLY TESTED FOR LEAKAGE. THE SEWER SYSTEM SHALL NOT ACCEPT ANY FLOWS UNTIL THE CITY ISSUES AN INITIAL ACCEPTANCE OF THE SYSTEM.
- THE CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF AT LEAST A ONE-YEAR FOLLOWING THE CITY'S INITIAL ACCEPTANCE.
- THE HORIZONTAL SEPARATION OF THE WATER AND SEWER MAINS SHALL BE A MINIMUM OF TEN (10) FEET WHERE IT IS NECESSARY FOR SEWER AND WATER TO CROSS EACH OTHER AND THE SEWER LINE IS LESS THAN 18 INCHES BELOW OR ABOVE THE WATER MAIN. THE SEWER LINE CROSSING SHALL BE SLEEVED WITH PVC. PRESSURE PIPE CONFORMING TO AWWA C-900 OR ASTM D2241, FOR A DISTANCE OF 10' ON BOTH SIDES OF WATER LINE. ONE FULL LENGTH OF BOTH WATER MAIN AND SEWER LINE SHALL BE CENTERED OVER THE CROSSING POINT SO THAT ALL JOINTS WILL BE AS FAR FROM THE CROSSING AS POSSIBLE.
- FOR SEWER CONSTRUCTION ALL STATIONING RELATES TO THE SEWER CENTERLINE.
- PRIOR TO CONSTRUCTION, TEMPORARY BENCH MARKS (TBM'S) SHALL BE SET IN THE FIELD BY A LICENSED SURVEYOR OR ENGINEER AND SHALL BE FLAGGED AND CLEARLY VISIBLE FROM ALL DIRECTIONS. A TBM SHALL BE LOCATED WITHIN 100 FEET OF THE TIE-IN TO EXISTING SEWER AND SPACED NO GREATER THAN 500 FEET ALONG THE SEWER ALIGNMENT THEREAFTER. TBM'S SHALL HAVE ELEVATIONS TIED TO THE NAVD 1988 DATUM.

### WATER

- ALL WATER MAINS SHALL BE POLYVINYL CHLORIDE (PVC) CONFORMING TO THE REQUIREMENTS OF AWWA C-900, CLASS 235, DR-18. ALL FITTINGS SHALL BE MECHANICAL JOINT OR FLANGED DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF AWWA C-110. ALL PLASTIC PIPE SHALL BE INSTALLED WITH A #12 DIRECT BURIAL TRACER WIRE PLACED ALONG THE NORTH AND EAST SIDE OF THE MAIN. THE TRACER WIRE WILL NOT BE EXTENDED UP TO OR ALONG VALVE BOXES, BUT SHALL CONTINUE ALONG THE MAINLINE, UNINTERRUPTED. MINIMUM BURIAL DEPTHS FOR WATER MAINS SHALL BE 4 FEET FROM FINISH GRADE TO THE TOP OF THE PIPE.
- INDIVIDUAL WATER SERVICE CONNECTIONS SHALL BE POLYETHYLENE PIPE CONFORMING TO AWWA C-901, CLASS 200, DR-7.3. SERVICES SHALL BE CONSTRUCTED CONFORMING TO ISPPWC DRAWING SD-401 OR SD-402, EXCEPT THAT THE LID SHALL CONTAIN A "TOUCH READ" HOLE. THE METER CAN SHALL BE 21-INCH DIAMETER CMP CUP TO MATCH LID ELEVATION TO FINISH GRADE AND NOTCHED AT BOTTOM FOR SERVICE LINES AND THE CAN LID SHALL BE A D&L FOUNDRY B5020 FOR NON-TRAFFIC AREAS OR A D&L FOUNDRY B6018 FOR TRAFFIC AREAS. SERVICE PIPELINES SHALL BE A MINIMUM 1-INCH, UNLESS OTHERWISE NOTED, WITH MINIMUM 1.5-INCH METER SETTERS.
- WATER VALVES SHALL BE RESILIENT-SEAT GATE VALVES CONFORMING TO AWWA C-509 OR AWWA C-515. ALL WATER VALVES SHALL BE INSTALLED WITH A STANDARD 5/4-INCH DIAMETER, TWO PICEE ADJUSTABLE CAST IRON VALVE BOX, TYLER/JUNION SERIES 5855, OR EQUAL. THE CAST IRON COVER SHALL BE MARKED WITH THE WORD "WATER" AS AN INTEGRAL PART OF THE COVER.
- FIRE HYDRANTS SHALL CONFORM TO AWWA C-502 AND ISPPWC DRAWING SD-404. THE PUMPER NOZZLE OUTLET SHALL BE EQUIPPED WITH A "STORZ" ADAPTER.
- ALL WATER MAINS AND SERVICES SHALL BE BEDDED PER THE REQUIREMENTS OF TYPE I BEDDING, EXCEPT THAT BEDDING MATERIAL SHALL BE SELECT ¾-INCH MAXIMUM CRUSHED GRAVEL CHIPS FOR WATER MAINS AND 3/8-INCH MAXIMUM CRUSHED GRAVEL CHIPS FOR SERVICE LINES. ALL BEDDING SHALL BE THOROUGHLY SHOVEL-SUICED UNDER THE PIPE.
- ALL INSTALLED WATER LINES SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH SECTION 401.3.6 OF THE ISPPWC FOLLOWING INSTALLATION OF ALL UTILITIES AND PRIOR TO PAVING. EACH METER SETTER SHALL BE OPENED TO BE SURE THAT THE SERVICE CORROSION STOP IS OPEN AND THE SERVICE IS FUNCTIONAL PRIOR TO PAVING. A REPRESENTATIVE OF THE CITY MUST BE PRESENT MUST OBSERVE THE TESTING. ALL INSTALLED WATER LINES SHALL BE FLUSHED, DISINFECTED AND TESTED FOR BACTERIA IN ACCORDANCE WITH SECTION 401.3.9 OF THE ISPPWC. THE WATER SYSTEM SHALL NOT BE OPENED TO THE CITY SYSTEM UNTIL THE CITY ISSUES AN INITIAL ACCEPTANCE OF THE SYSTEM.
- THE CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF AT LEAST A ONE-YEAR FOLLOWING THE CITY'S INITIAL ACCEPTANCE.
- ANY IRRIGATION WATER BACKUP CONNECTED TO THE CITY POTABLE WATER SYSTEM MUST HAVE A REDUCED PRESSURE BACKFLOW ASSEMBLY. ALL INSTALLATIONS OF BACKFLOW ASSEMBLIES SHALL CONFORM WITH THE STANDARDS OF THE MOST RECENT EDITION OF THE PWSW-AWWA GROSS CONNECTION MANUAL. BACKFLOW ASSEMBLIES SHALL ALSO MEET THE REQUIREMENTS OF THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY FINAL INSPECTION OF BACKFLOW DEVICES WILL BE CONDUCTED AFTER DEVICES HAVE BEEN TESTED BY A STATE CERTIFIED BACKFLOW TESTER, LICENSED TO DO BUSINESS IN GARDEN CITY.
- PLACEMENT OF THRUST BLOCKS AND ANCHOR DETAILS SHALL BE IN ACCORDANCE WITH THE 2015 I.S.P.W.C. SD-403.

### DRAINAGE

- CONTACT THE DESIGN ENGINEER DURING EXCAVATION OF THE ON-SITE STORMWATER FACILITIES. DESIGN ENGINEER OR HIS REPRESENTATIVE MUST INSPECT EXCAVATION AND THE MATERIALS BEING USED FOR CONFORMANCE WITH THE APPROVED PLANS. THE CITY MAY STILL OBSERVE THE INSTALLATION, BUT THE DESIGN ENGINEER IS PRIMARILY RESPONSIBLE FOR PLAN CONFORMANCE OF THE ON-SITE DRAINAGE FACILITIES.
- ALL INSPECTIONS SHALL REQUIRE A 24-HOUR NOTICE PRIOR TO THE REQUESTED INSPECTION TIME. CALL THE INSPECTION HOT LINE AT 472-2920.
- PRIOR TO ANY EARTHWORK A 24-HOUR NOTICE TO BEGIN CONSTRUCTION IS REQUIRED. CALL INSPECTION HOT LINE AT 472-2920.
- DRAINAGE INSPECTIONS SHALL BE CONDUCTED AT ANY GIVEN TIME OR UPON REQUEST, DURING CONSTRUCTION, VERIFYING COMPLIANCE WITH THE CITY REQUIREMENTS AND CONSTRUCTION ACTIVITIES ARE FOLLOWED AS PER THE APPROVED PLANS.
- THE DRAINAGE SYSTEM AND ANY FILTER FABRIC SHALL NOT BE COVERED PRIOR TO INSPECTION. CALL THE INSPECTION HOT LINE AT 472-2920.
- THE SIZE AND LOCATION OF THE DRAINAGE SYSTEM SHALL CORRESPOND WITH THE APPROVED DRAINAGE SYSTEM PLAN AND SHALL BE INSPECTED.
- FINAL INSPECTION OF THE STORM DRAINAGE SYSTEM SHALL BE CONDUCTED FOLLOWING THE PAVING AND FINAL LANDSCAPING.
- ALL DRAINAGE CONVEYANCE ACCESS POINTS SHALL BE STENCILED OR MARKED WITH IDENTIFYING STATEMENT FOR THE PUBLIC "DO NOT DUMP - SYSTEM DRAINS TO GROUNDWATER" OR "RIVER", WHICHEVER IS RELEVANT TO THE SYSTEM DISPOSAL DESIGN.
- TRAFFIC RATED MANHOLE LIDS SHALL BE USED.
- ALL PARKING LOT GRADES SHALL BE AT LEAST 1.5% FOR ASPHALTIC-CONCRETE AND 0.4% FOR CONCRETE.
- CONSTRUCTION OBSERVATIONS SHALL BE PERFORMED BY THE DESIGN ENGINEER OR HIS REPRESENTATIVE. OBSERVATION REPORTS BY THE DESIGN ENGINEERS SHALL BE SUBMITTED TO THE GARDEN CITY ENVIRONMENTAL DIVISION PRIOR TO THE FINAL INSPECTION FOR A CERTIFICATE OF OCCUPANCY.

### RECORD DRAWING KEY:

- X BLD BUILDING CORNER
- X PD CORNER OF PAVEMENT
- X MH SEWER MANHOLE
- X CO SEWER CLEANOUT
- X WM WATER METER
- X FH FIRE HYDRANT
- X DO BLOW-OFF ASSEMBLY

### UTILITY REPRESENTATIVES

UTILITY	REPRESENTATIVES	PHONE
GAS	INTERMOUNTAIN GAS	(208) 377-6839
ELECTRICITY	IDAHO POWER	(208) 388-6320
TELEPHONE	CENTURY LINK	(208) 385-2144
SEWER	GARDEN CITY	(208) 472-2900
WATER	GARDEN CITY	(208) 472-2900
ROADS	ADA COUNTY HIGHWAY DISTRICT	(208) 454-8135
IRRIGATION	N/A	
FIRE	BOISE FIRE	(208) 570-6555

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DATE: 12-28-17

BY: Jim E. Coslett



**811** CALL BEFORE YOU DIG!  
CALL DIGLINE INC. PRIOR TO COMMENCING UNDERGROUND WORK  
208-342-1585

### SHEET INDEX

- R1 ~~C1~~ COVER SHEET, INDEX & NOTES
  - R2 ~~C2~~ HORIZONTAL CONTROL PLAN
  - R3 ~~C3~~ ACHD FRONTAGE PLAN / PROFILE
  - R4 ~~C3.1~~ ADAMS FRONTAGE PLAN
  - R5 ~~C4~~ ONSITE GRADING & DRAINAGE PLAN
  - R6 ~~C5~~ DRAINAGE DETAILS
  - R7 ~~C6~~ UTILITY PLAN
  - R8 ~~C7~~ UTILITY PROFILES
- ~~ESC1 (SWPPP)~~



### VICINITY MAP

1" = 1000'

### LEGEND

	EXISTING IRRIGATION VALVE
	EXISTING IRRIGATION BOX
	EXISTING UNDERGROUND POWER LINE
	EXISTING OVERHEAD POWER LINE
	EXISTING ELECTRICAL BOX
	EXISTING STREET LIGHT
	EXISTING LIGHT POLE
	EXISTING POLE ANCHOR
	EXISTING UTILITY VAULT
	EXISTING POWER MANHOLE
	EXISTING POWER TRANSFORMER
	NEW LIGHT POLE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING TELEPHONE RISER
	EXISTING UNDERGROUND FIBER OPTIC LINE
	EXISTING FIBER OPTIC RISER
	EXISTING UNDERGROUND CABLE TELEVISION LINE
	EXISTING CABLE TELEVISION RISER
	EXISTING UNDERGROUND GAS LINE
	EXISTING GAS VALVE
	EXISTING GAS METER
	EXISTING CHAIN LINK FENCE
	EXISTING WOOD FENCE
	EXISTING VINYL FENCE
	EXISTING METAL FENCE
	EXISTING FENCE GATE
	NEW WROUGHT IRON FENCE
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	SURFACE ELEVATION OF DESIGNATED FEATURE
	FEATURE DESIGNATION AS INDICATED BELOW
	EXISTING GROUND
	TOP OF SIDEWALK
	SAWCUT LINE
	LIP OF GUTTER
	TOP BACK OF VERTICAL CURB
	TOP BACK OF ROLLED CURB
	TOP OF ASPHALT
	TOP OF CONCRETE
	DESIGN SLOPE
	DRAINAGE DIRECTION
	GRADE BREAK
	BUILDING FINISHED FLOOR ELEVATION
	INVERT ELEVATION
	STATION AND OFFSET ALONG MARKED ALIGNMENT
	POINT OF CURVATURE
	POINT OF REVERSE CURVE
	POINT OF TANGENCY
	FACE OF CURB
	BACK OF CURB
	EXISTING DECIDUOUS TREE
	EXISTING CONIFEROUS TREE
	EXISTING SHRUB
	EXISTING RETAINING WALL
	EXISTING BUILDING
	EXISTING AIR CONDITIONING UNIT
	EXISTING BOLLARD
	EXISTING STORM DRAIN CATCH BASIN
	EXISTING MAILBOX
	EXISTING MAIL KIOSK
	EXISTING SIGN
	NEW ELECTRICAL TRANSFORMER
	NEW ELECTRICAL JUNCTION BOX

**OWNER**  
BILL TRUAX  
PARKWAY STATION, LLC  
P.O. BOX 50111  
BOISE, ID 83705  
(208) 447-9114

**ARCHITECT**  
BOB SMITH  
HUTCHISON SMITH ARCHITECTS  
270 N. 27th ST.  
BOISE, ID 83702  
(208) 338-1212

**SURVEYOR**  
CARL PORTER, P.L.S.  
SAWTOOTH LAND SURVEYING, LLC.  
2030 S. WASHINGTON AVE.  
EMMETT, ID 83617  
(208) 398-8104

**CIVIL ENGINEER**  
JIM E. COSLETT, P.E.  
ROCK SOLID CIVIL, LLC.  
270 N. 27TH STREET  
BOISE, ID 83702  
(208) 342-3277

**HUTCHISON SMITH ARCHITECTS**  
270 North 27th St. Boise, Idaho 83702  
(208) 338-1212 fax (208) 338-0011

**PROJECT: RSC 16-14**  
**FILE: Parkway CVRdwg**  
**DATE: DEC. 18, 2017**  
**DRAWN: JDF**  
**REVISIONS:**  
CITY COMMENTS 8/29/16

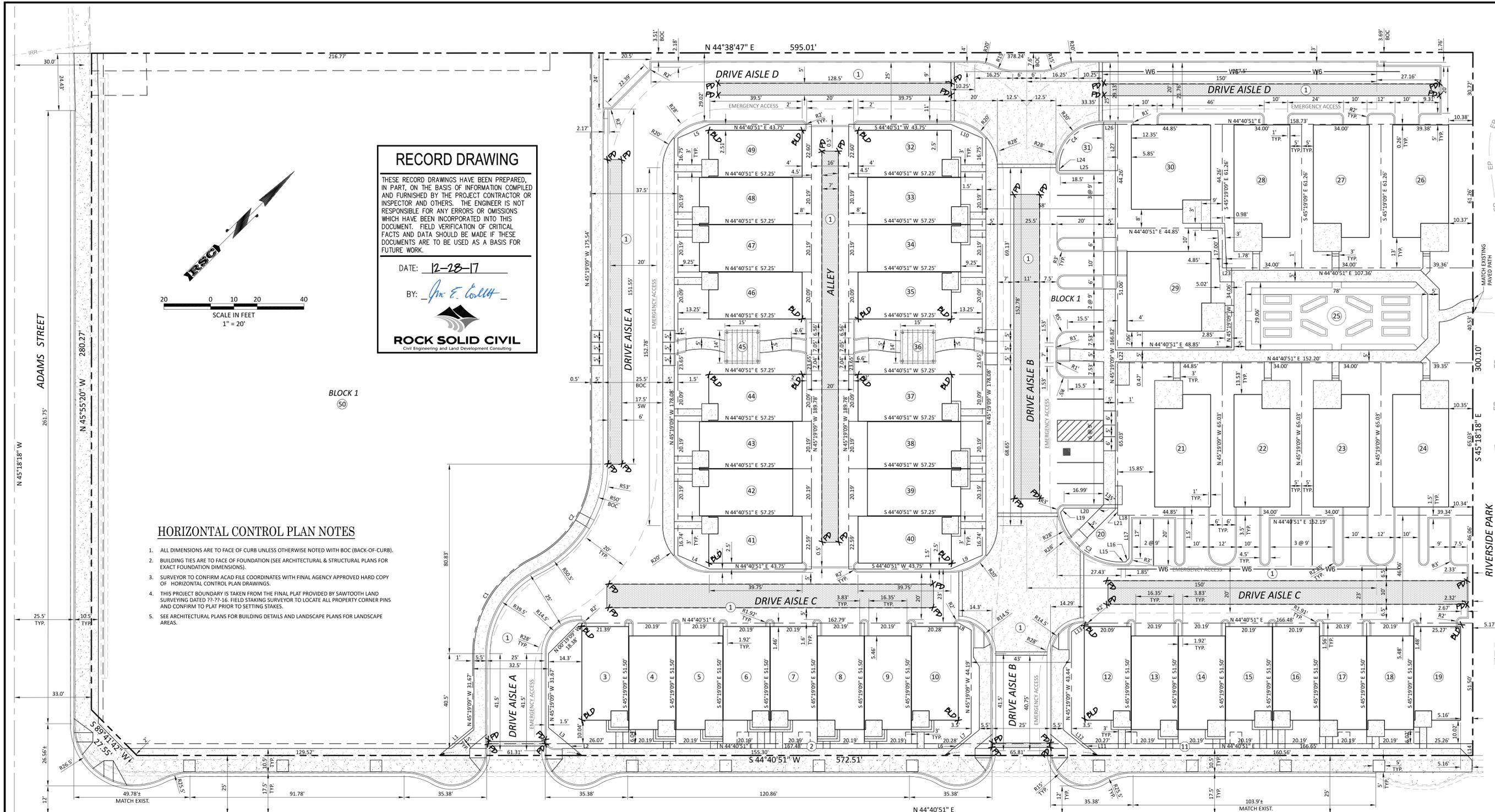
**ROCK SOLID CIVIL**  
Civil Engineering and Land Development Consulting  
270 North 27th Street, Boise, ID 83702  
Office Phone: 208-342-3277  
www.rocksolidcivil.com

Stamp  
**RECORD DRAWING**  
SEE DISCLAIMER

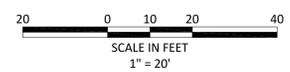
**MIXED USE RESIDENTIAL TWO TOWN PARKWAY SUBDIVISION**  
GARDEN CITY, ID.  
E 42nd ST  
**COVER, NOTES & VICINITY MAP**

**SHEET NO.**  
**01**

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 DATE: 12-28-17  
 BY: Jm E. Collier  
**ROCK SOLID CIVIL**  
 Civil Engineering and Land Development Consulting



**HORIZONTAL CONTROL PLAN NOTES**

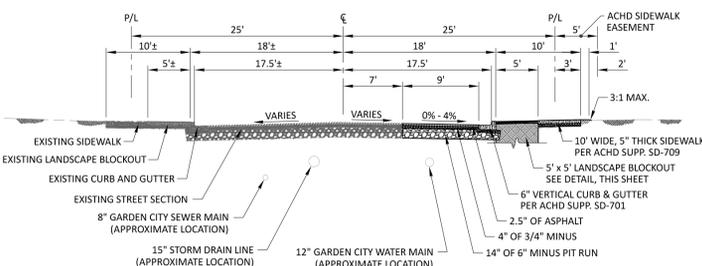
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED WITH BOC (BACK-OF-CURB).
2. BUILDING TIES ARE TO FACE OF FOUNDATION (SEE ARCHITECTURAL & STRUCTURAL PLANS FOR EXACT FOUNDATION DIMENSIONS).
3. SURVEYOR TO CONFIRM ACAD FILE COORDINATES WITH FINAL AGENCY APPROVED HARD COPY OF HORIZONTAL CONTROL PLAN DRAWINGS.
4. THIS PROJECT BOUNDARY IS TAKEN FROM THE FINAL PLAT PROVIDED BY SAWTOOTH LAND SURVEYING DATED 7-7-16. FIELD STAKING SURVEYOR TO LOCATE ALL PROPERTY CORNER PINS AND CONFIRM TO PLAT PRIOR TO SETTING STAKES.
5. SEE ARCHITECTURAL PLANS FOR BUILDING DETAILS AND LANDSCAPE PLANS FOR LANDSCAPE AREAS.

**CURVE TABLE**

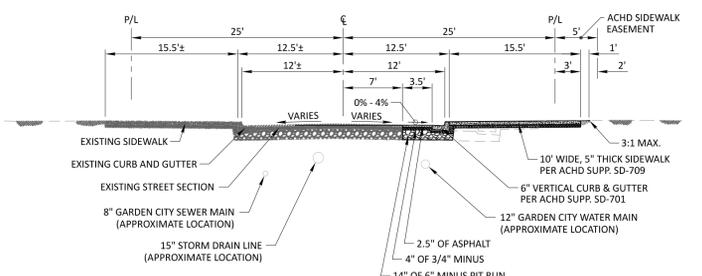
CURVE	ARC LENGTH	DELTA ANGLE	RADIUS	CHORD BEARING	CHORD LENGTH
C1	30.75'	63°54'36"	45.50'	N 13°21'51" W	48.16'
C2	49.64'	63°54'36"	44.50'	N 13°21'51" W	47.10'
C3	36.29'	78°27'27"	26.50'	N 83°54'35" E	33.52'
C4	29.06'	90°00'00"	18.50'	N 00°19'09" W	26.16'

**LINE TABLE**

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N 05°16'31" E	18.64'	L14	N 45°18'18" W	5.00'
L2	S 84°05'10" W	7.88'	L15	N 44°40'51" E	1.85'
L3	S 84°05'10" W	10.77'	L16	N 00°19'09" W	2.12'
L4	N 68°06'46" E	14.71'	L17	N 45°19'09" W	18.50'
L5	N 11°14'56" E	14.71'	L18	N 44°40'51" E	4.85'
L6	N 05°16'31" E	7.88'	L19	N 06°05'25" W	2.32'
L7	N 05°16'31" E	6.89'	L20	N 44°40'51" E	22.99'
L8	S 23°13'53" W	6.08'	L21	N 45°19'09" W	3.00'
L9	S 21°14'56" W	14.71'	L22	N 45°19'09" W	6.47'
L10	S 68°06'46" W	14.71'	L23	N 44°40'51" E	4.00'
L11	S 84°05'11" W	7.88'	L24	N 45°19'09" W	1.26'
L12	S 84°05'11" W	6.89'	L25	N 44°40'51" E	25.00'
L13	N 10°50'00" E	6.62'	L26	N 44°40'51" E	6.50'
			L27	N 45°19'09" W	19.76'



**SECTION A-A  
EAST 42nd STREET  
-NTS-**



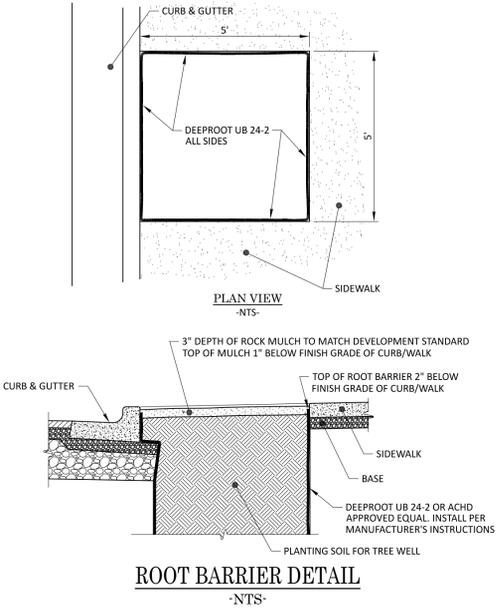
**SECTION B-B  
EAST 42nd STREET  
-NTS-**

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DATE: 12-18-17

BY: [Signature]



**ROOT BARRIER DETAIL  
-NTS-**

**ACHD PAVEMENT REPAIR NOTES**

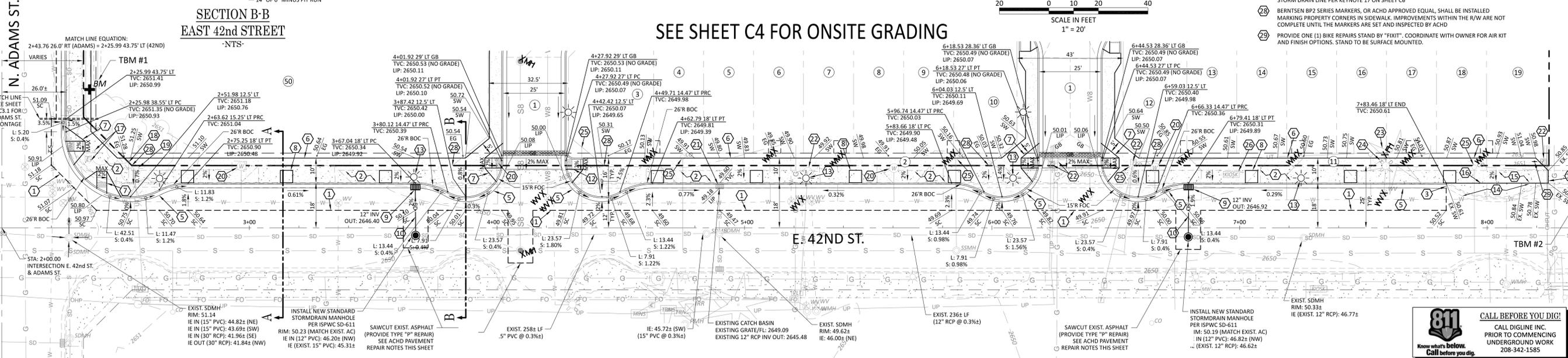
1. ALL ASPHALT MATCH LINES FOR PAVEMENT REPAIR SHALL BE PARALLEL TO THE CENTERLINE OF THE STREET AND INCLUDE ANY AREA DAMAGED BY EQUIPMENT DURING TRENCHING OPERATIONS.
2. IF THE CUMULATIVE DAMAGED PAVEMENT AREA EXCEEDS 50% OF THE TOTAL ROAD SURFACE, CONTRACTOR SHALL REPLACE THE ENTIRE ROADWAY SURFACE.
3. CONTRACTOR SHALL REPLACE THE PAVEMENT SURFACE TO ENSURE MATCH LINE DOES NOT FALL WITHIN THE WHEEL PATH OF A LANE. MATCH LINE SHALL ONLY FALL IN THE CENTER OR EDGE OF A TRAVEL LANE.
4. FLOWABLE FILL OR IMPORTED MATERIAL MAY BE REQUIRED IF THE NATIVE TRENCH MATERIAL IS DEEMED UNSUITABLE BY ACHD INSPECTOR. DOES NOT MEET COMPACTION STANDARDS OR TIME IS A CRITICAL FACTOR.
5. ANY EXCEPTIONS TO THESE RULES SHALL BE PRE-APPROVED IN WRITING BY THE DISTRICT STAFF BEFORE CONSTRUCTION BEGINS.
6. MATCH EXIST. STREET/DRIVEWAY SECTION OR USE THE FOLLOWING: 2.5" OF ASPHALT OVER 4" OF 3/4" MINUS CRUSHED AGGREGATE OVER 14" OF 6" MINUS PIT RUN. WHICHEVER SECTION IS GREATER MUST BE USED.

**BENCH MARKS DATUM NAVD 88**

TBM #1	ELEV. 2651.25	SCRIBED "X" IN PAVEMENT BEHIND THE SIDEWALK IN THE NORTHWEST QUADRANT OF THE INTERSECTION OF E. 42nd STREET AND ADAMS STREET
TBM #2	ELEV. 2650.67	SCRIBED "X" IN SIDEWALK APPROXIMATELY 16 FEET NORTHEASTERLY FROM THE NORTHEASTERLY PROPERTY CORNER

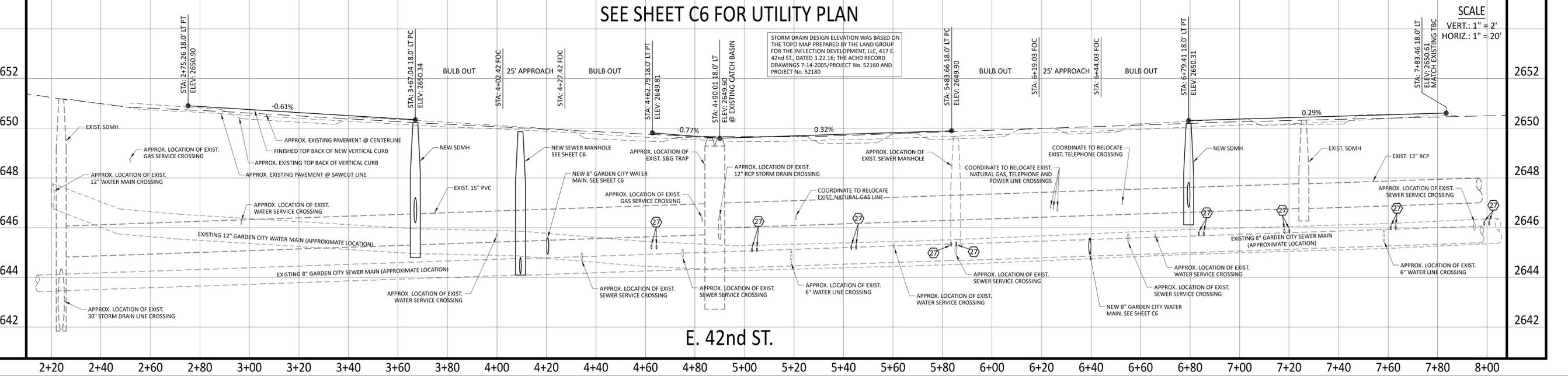
**KEYNOTES**

1. SAW CUT MIN. 3" INTO EXISTING PAVEMENT (REPAIR PER ACHD SUPP. SD-303 & SD-806) (SEE PAVEMENT REPAIR NOTES, THIS SHEET)
2. COORDINATE TO REMOVE EXISTING CURB, GUTTER AND SIDEWALK (TYP.)
3. MATCH EXISTING CURB, GUTTER & SIDEWALK
4. CONSTRUCT CONCRETE TRANSITION FROM 10' WIDE SIDEWALK TO EXISTING SIDEWALK
5. CONSTRUCT 6" VERTICAL CURB & GUTTER (PER ACHD SUPP. SD-701)
6. CONSTRUCT 10' WIDE CONCRETE SIDEWALK. (PER ACHD SUPP. SD-709). SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% (NO TOLERANCES ALLOWED)
7. CONSTRUCT PEDESTRIAN RAMP (PER I.S.P.W.C. SD-712A) w/TRUNCATED DOMES RIGID INSERTS WET-SET INTO CONCRETE COLORED TRAFFIC YELLOW (PER SD-712). (CONCRETE STAMP & ADHESIVE MATS NOT ALLOWED). CONTRACTOR TO VERIFY CROSS SLOPE, NOT TO EXCEED 1.75% ± 0.25% (NO TOLERANCES ALLOWED)
8. 5' x 5' LANDSCAPE BLOCKOUT IN SIDEWALK (TYP.)
9. INSTALL TYPE I INLET CATCH BASIN (PER ACHD SUPP. SD-601)
10. INSTALL 20 LF OF 12" C-909 PVC STORM DRAIN PIPE @ 0.5% MIN
11. NO DATA
12. CONSTRUCT PEDESTRIAN RAMP (PER I.S.P.W.C. SD-712C) w/TRUNCATED DOMES RIGID INSERTS WET-SET INTO CONCRETE COLORED TRAFFIC YELLOW (PER SD-712). (CONCRETE STAMP & ADHESIVE MATS NOT ALLOWED). CONTRACTOR TO VERIFY CROSS SLOPE, NOT TO EXCEED 1.75% ± 0.25% (NO TOLERANCES ALLOWED)
13. APPROXIMATE LOCATION OF NEW LIGHT POLE (SEE ELECTRICAL PLANS)
14. RETAIN AND PROTECT EXISTING CURB, GUTTER AND SIDEWALK
15. REMOVE EXISTING SIDEWALK
16. MATCH EXISTING SIDEWALK
17. COORDINATE TO RELOCATE AND/OR ADJUST CROSSWALK SIGN AND VAULT TO GRADE
18. COORDINATE TO RELOCATE TRAFFIC SIGN
19. COORDINATE TO RELOCATE UTILITY POLE
20. COORDINATE TO REMOVE OR PROTECT WATER METER
21. RETAIN AND PROTECT EXISTING CATCH BASIN. ADJUST FRAME & GRATE TO FINISHED GRADE
22. COORDINATE TO REMOVE EXISTING UTILITY
23. COORDINATE TO REMOVE TREE
24. COORDINATE TO RELOCATE FIRE HYDRANT TO BACK OF SIDEWALK
25. COORDINATE TO CAP SEWER STUB
26. COORDINATE TO REMOVE MAIL KIOSK
27. NEW 1" WATER SERVICE CROSSING (SEE SHEET C6). SLEEVE CROSSINGS UNDER NEW STORM DRAIN LINE PER KEYNOTE 17 ON SHEET C6
28. BERTINSEN BP2 SERIES MARKERS, OR ACHD APPROVED EQUAL, SHALL BE INSTALLED MARKING PROPERTY CORNERS IN SIDEWALK. IMPROVEMENTS WITHIN THE R/W ARE NOT COMPLETE UNTIL THE MARKERS ARE SET AND INSPECTED BY ACHD
29. PROVIDE ONE (1) BIKE REPAIR STAND BY "FIXIT". COORDINATE WITH OWNER FOR AIR KIT AND FINISH OPTIONS. STAND TO BE SURFACE MOUNTED.



SEE SHEET C4 FOR ONSITE GRADING

SEE SHEET C6 FOR UTILITY PLAN



**HUTCHISON SMITH ARCHITECTS**  
 270 North 27th St. Boise, Idaho 83702  
 (208) 338-1212  
 Fax: (208) 338-0011

PROJECT: RSC 16-14  
 FILE: Parkway ACHD.dwg  
 DATE: DEC. 18, 2017  
 DRAWN: JDF

**ROCK SOLID CIVIL**  
 Civil Engineering and Land Development Consulting  
 270 North 27th Street, Boise, ID 83702  
 Office Phone: 208-342-3277  
 www.rocksolidcivil.com

Stamp  
**RECORD DRAWING**  
 SEE DISCLAIMER

MIXED USE RESIDENTIAL  
 TOWNTOWN PARKWAY SUBDIVISION  
 GARDEN CITY, ID.  
 E. 42nd ST.  
 ACHD FRONTAGE PLAN/PROFILE

SHEET NO.  
**C3**  
 R3



**KEYNOTES**

- 1 CONSTRUCT 6" VERTICAL CURB & GUTTER (PER ACHD SUPP. SD-701) w/REVERSE GUTTER PLATE (SEE GRADING NOTE 4 THIS SHEET)
- 2 CONSTRUCT PEDESTRIAN RAMP (PER I.S.P.W.C. SD-712C) w/TRUNCATED DOMES RIGID INSERTS WET-SET INTO CONCRETE COLORED TRAFFIC YELLOW (PER SD-712). (CONCRETE STAMP & ADHESIVE MATS NOT ALLOWED). CONTRACTOR TO VERIFY CROSS SLOPE, NOT TO EXCEED 1.75% ±0.25% (NO TOLERANCES ALLOWED)
- 3 CONSTRUCT PEDESTRIAN RAMP (PER I.S.P.W.C. SD-712C) w/TRUNCATED DOMES RIGID INSERTS WET-SET INTO CONCRETE COLORED TRAFFIC YELLOW (PER SD-712). (CONCRETE STAMP & ADHESIVE MATS NOT ALLOWED). CONTRACTOR TO VERIFY CROSS SLOPE, NOT TO EXCEED 1.75% ±0.25% (NO TOLERANCES ALLOWED)
- 4 CONSTRUCT CONCRETE SIDEWALK (TYP.). (PER ACHD SUPP. SD-709)
- 5 4" TRANSITION FROM 6" VERTICAL CURB TO 3" ROLLED CURB
- 6 CONSTRUCT 3" ROLLED CURB & GUTTER (PER ACHD SUPP. SD-702) w/REVERSE GUTTER PLATE (SEE GRADING NOTE 5 THIS SHEET)
- 7 INSTALL "PAVEDRAIN" BLOCKS PER PAVEDRAIN SECTION ON SHEET C5
- 8 CONSTRUCT 6" VERTICAL CURB, NO GUTTER (TYP.). (PER I.S.P.W.C. SD-701A)
- 9 CONSTRUCT ONSITE SIDEWALK PER DETAIL ON SHEET C5
- 10 CONSTRUCT THICKENED EDGE SIDEWALK PER DETAIL ON SHEET C5, OR CONTRACTOR MAY POUR SIDEWALK AGAINST I.S.P.W.C. SD-701A VERTICAL CURB AT OWNER'S DISCRETION
- 11 CONSTRUCT PEDESTRIAN RAMP PER DETAIL ON SHEET C5
- 12 CONSTRUCT 6" VERTICAL CURB & GUTTER (PER ACHD SUPP. SD-701)
- 13 NOT USED
- 14 TRUCK ACCESS PAVEMENT SECTION (SEE STRUCTURAL SECTION - DRIVEWAY DETAIL ON SHEET C5)
- 15 PARKING PAVEMENT SECTION (SEE STRUCTURAL SECTION - PARKING DETAIL ON SHEET C5)
- 16 TRANSITION FROM STRUCTURAL SECTION - DRIVEWAY TO STRUCTURAL SECTION - PARKING
- 17 CONTRACTOR TO COORDINATE WITH OWNERS TO INSTALL NEW WROUGHT IRON FENCE
- 18 STAINED/STAMPED CONCRETE. COLOR AND PATTERN TO BE DETERMINED (SEE STRUCTURAL SECTION - CONCRETE DETAIL ON SHEET C5)
- 19 IMPERVIOUS LINER DUE TO BUILDING SEPARATION OR WATER MAIN SEPARATION TO DRAINAGE FACILITY (SEE DETAIL ON SHEET C5 FOR SPECIFICATION)

**GRADING NOTES**

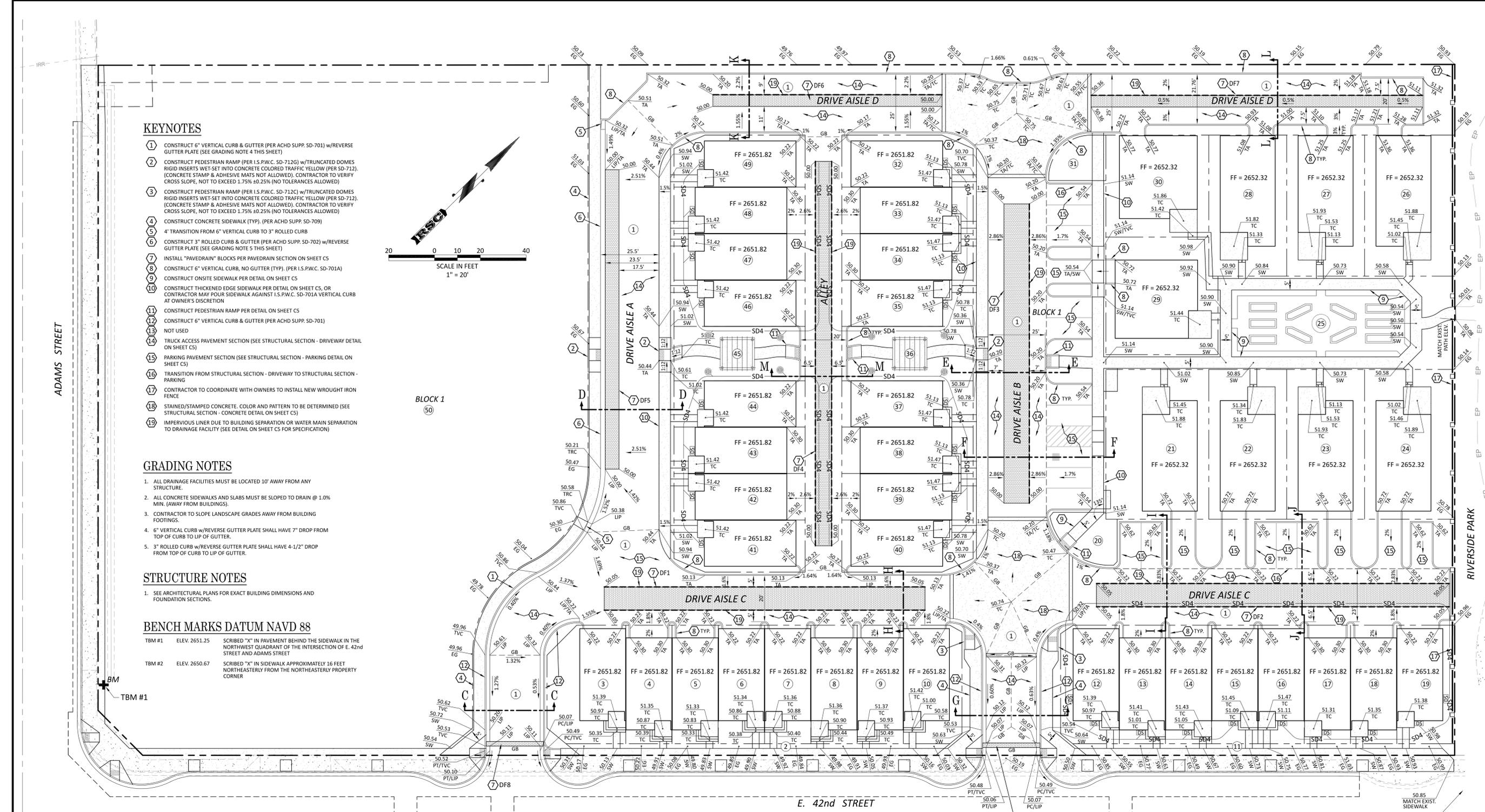
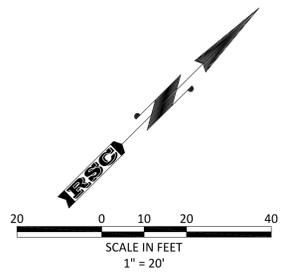
1. ALL DRAINAGE FACILITIES MUST BE LOCATED 10' AWAY FROM ANY STRUCTURE.
2. ALL CONCRETE SIDEWALKS AND SLABS MUST BE SLOPED TO DRAIN @ 1.0% MIN. (AWAY FROM BUILDINGS).
3. CONTRACTOR TO SLOPE LANDSCAPE GRADES AWAY FROM BUILDING FOOTINGS.
4. 6" VERTICAL CURB w/REVERSE GUTTER PLATE SHALL HAVE 7" DROP FROM TOP OF CURB TO LIP OF GUTTER.
5. 3" ROLLED CURB w/REVERSE GUTTER PLATE SHALL HAVE 4-1/2" DROP FROM TOP OF CURB TO LIP OF GUTTER.

**STRUCTURE NOTES**

1. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND FOUNDATION SECTIONS.

**BENCH MARKS DATUM NAVD 88**

- TBM #1 ELEV. 2651.25 SCRIBED "X" IN PAVEMENT BEHIND THE SIDEWALK IN THE NORTHWEST QUADRANT OF THE INTERSECTION OF E. 42nd STREET AND ADAMS STREET
- TBM #2 ELEV. 2650.67 SCRIBED "X" IN SIDEWALK APPROXIMATELY 16 FEET NORTHEASTERLY FROM THE NORTHEASTERLY PROPERTY CORNER



SEE SHEET C3 FOR GRADING ON E. 42nd STREET

**RECORD DRAWING**

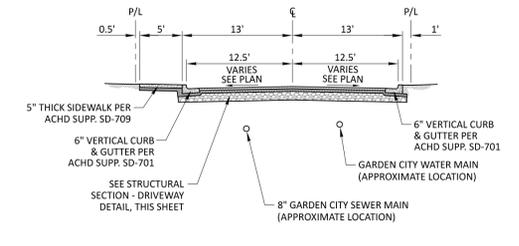
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DATE: 12-18-17

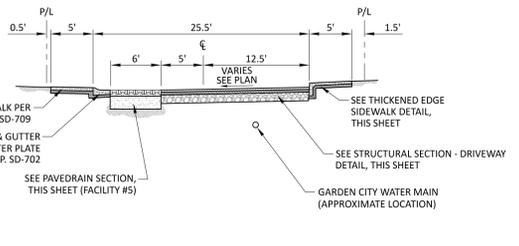
BY: *Jim E. Collett*

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 Civil Engineering and Land Development Consulting

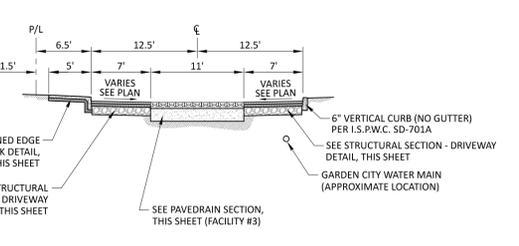
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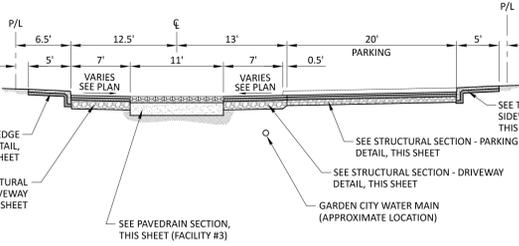
**SECTION C - C**  
**DRIVE AISLE A**  
 1" = 10"



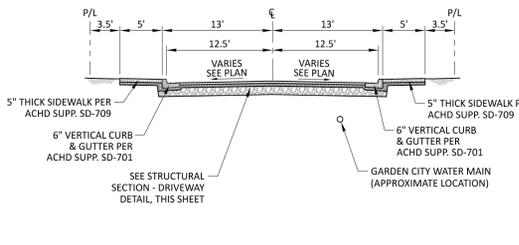
**SECTION D - D**  
**DRIVE AISLE A**  
 1" = 10"



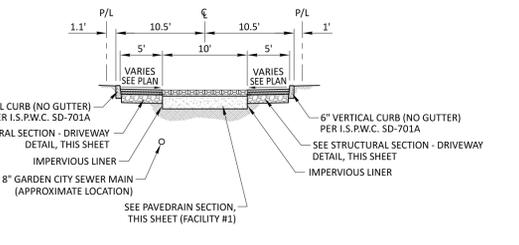
**SECTION E - E**  
**DRIVE AISLE B**  
 1" = 10"



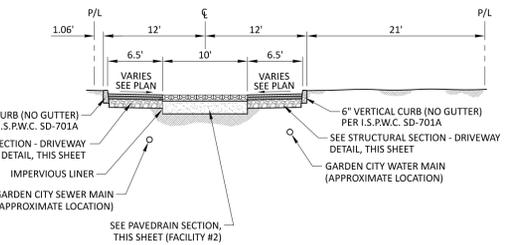
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**DRIVE AISLE B**  
 1" = 10"



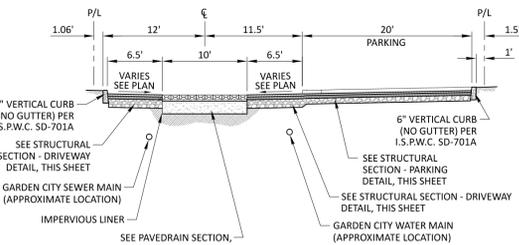
**SECTION G - G**  
**DRIVE AISLE B**  
 1" = 10"



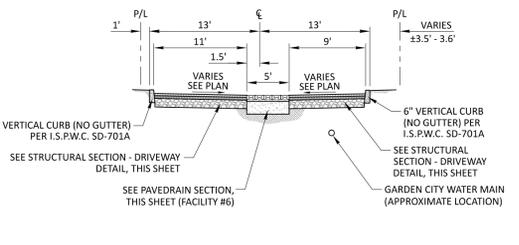
**SECTION H - H**  
**DRIVE AISLE C**  
 1" = 10"



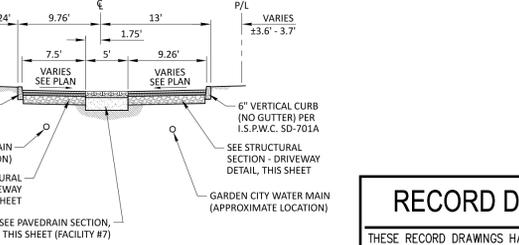
**SECTION I - I**  
**DRIVE AISLE C**  
 1" = 10"



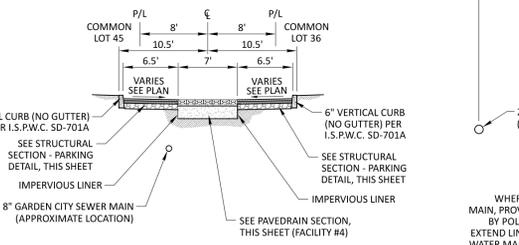
**SECTION J - J**  
**DRIVE AISLE C**  
 1" = 10"



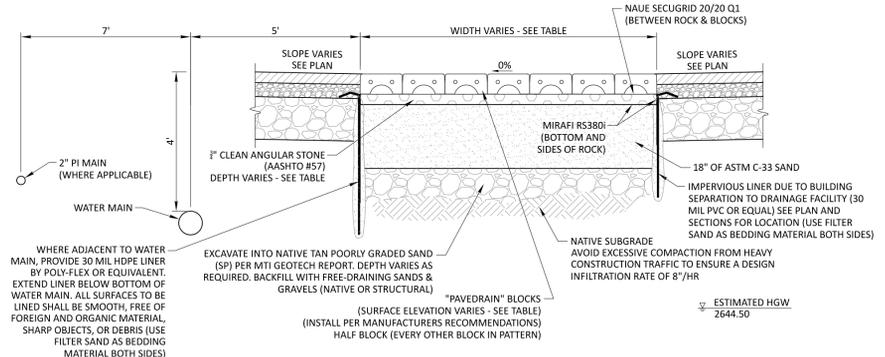
**SECTION K - K**  
**DRIVE AISLE D**  
 1" = 10"



**SECTION L - L**  
**DRIVE AISLE D**  
 1" = 10"



**SECTION M - M**  
**ALLEY**  
 1" = 10"



**DRAINAGE FACILITY TABLE**

DRAINAGE FACILITY #	LENGTH (FT.)	WIDTH (FT.)	ROCK DEPTH (IN.)	TOP PAVEDRAIN ELEVATION	BOTTOM ROCK ELEVATION	ESTIMATED HIGH GROUNDWATER
1	140	10	6 MIN	2649.05	2649.05	2644.50
2	154	10	6 MIN	2650.05	2649.05	2644.50
3	130	11	6 MIN	2650.00	2649.00	2644.50
4	167	7	6 MIN	2650.00	2649.00	2644.50
5	130	6	6 MIN	2650.00	2649.00	2644.50
6	100	5	6 MIN	2650.00	2649.00	2644.50
7	145	5	6 MIN	VARIES @ 0.5%	2649.36	2644.50
8	22	2	6 MIN	2650.11	2649.11	2644.50
9	22	2	6 MIN	2650.07	2649.07	2644.50

**RECORD DRAWING**

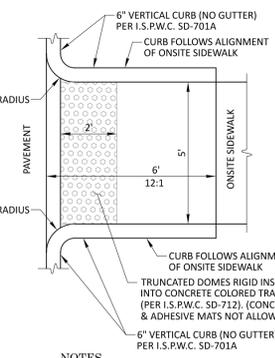
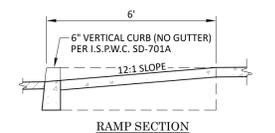
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DATE: 12-28-17

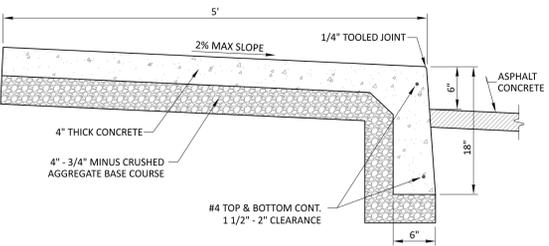
BY: [Signature]

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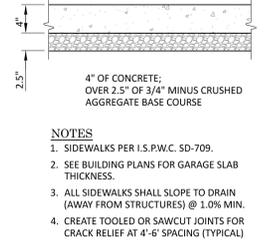
**BID ALTERNATE:**  
 USE STRUCTURAL SECTION - CONCRETE THROUGHOUT, IN PLACE OF ASPHALT SECTIONS



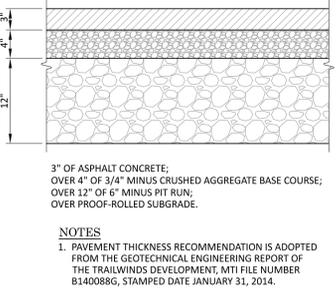
**PEDESTRIAN RAMP DETAIL**  
 -NTS-



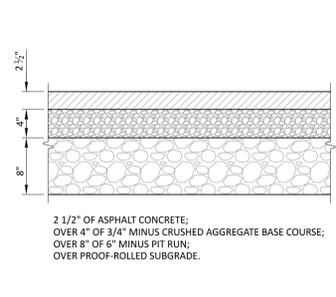
**THICKENED EDGE SIDEWALK DETAIL**  
 -NTS-



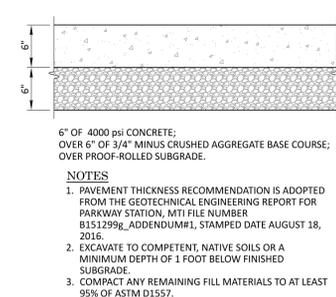
**ONSITE SIDEWALK / PATIO SECTION**  
 (UNLESS OTHERWISE SPECIFIED)  
 -NTS-



**STRUCTURAL SECTION - DRIVEWAY**  
 (TRUCK ACCESS)  
 -NTS-



**STRUCTURAL SECTION - PARKING**  
 (NO TRUCK ACCESS)  
 -NTS-

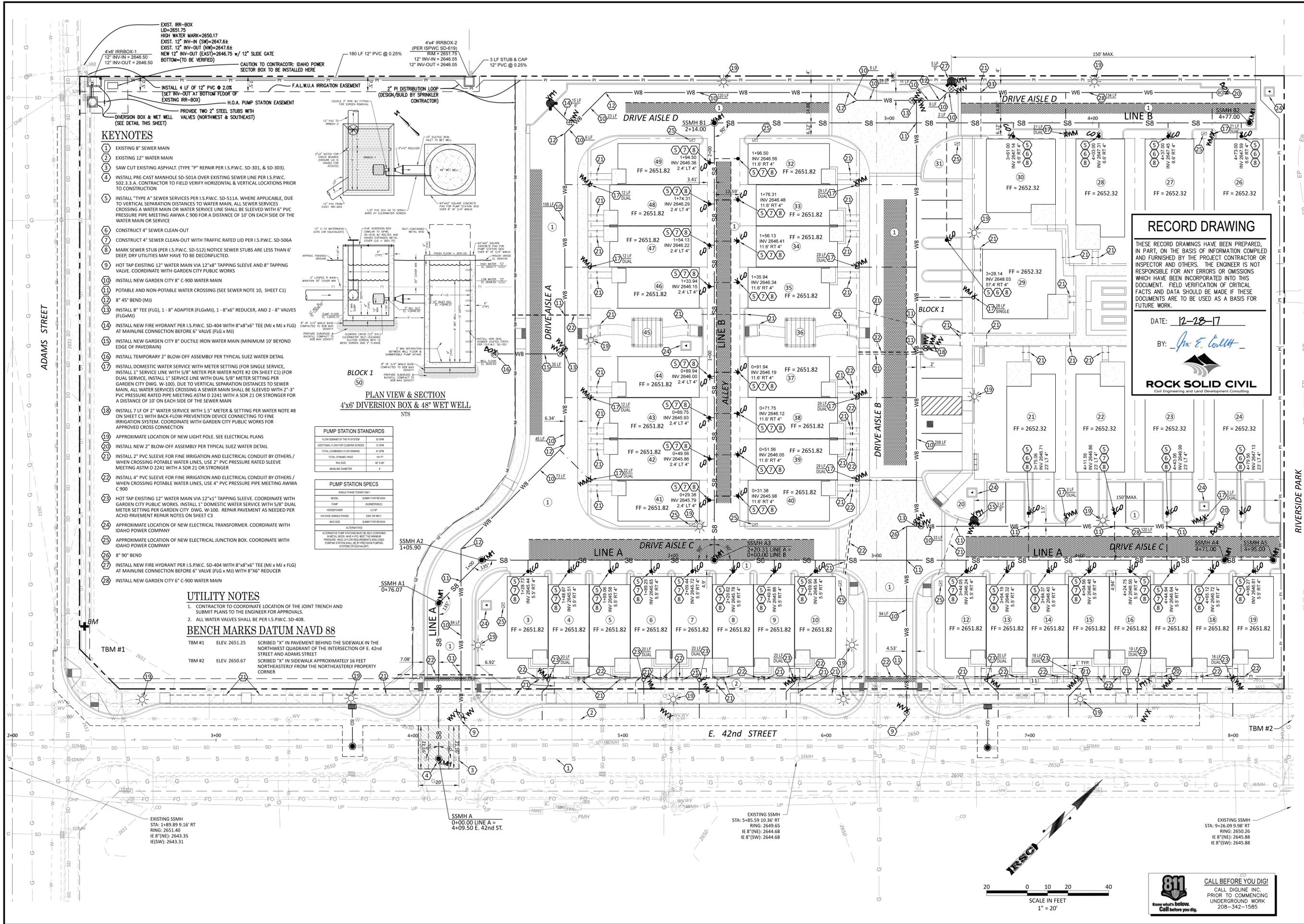


**STRUCTURAL SECTION - CONCRETE**  
 (TRUCK ACCESS)  
 -NTS-

- NOTES**
1. SIDEWALKS PER I.S.P.W.C. SD-709.
  2. SEE BUILDING PLANS FOR GARAGE SLAB THICKNESS.
  3. ALL SIDEWALKS SHALL SLOPE TO DRAIN (AWAY FROM STRUCTURES) @ 1.0% MIN.
  4. CREATE TOOLED OR SAWCUT JOINTS FOR CRACK RELIEF AT 4'-6" SPACING (TYPICAL).

- NOTES**
1. PAVEMENT THICKNESS RECOMMENDATION IS ADOPTED FROM THE GEOTECHNICAL ENGINEERING REPORT OF THE TRAILWINDS DEVELOPMENT, MTI FILE NUMBER B140088G, STAMPED DATE JANUARY 31, 2014.

- NOTES**
1. PAVEMENT THICKNESS RECOMMENDATION IS ADOPTED FROM THE GEOTECHNICAL ENGINEERING REPORT FOR PARKWAY STATION, MTI FILE NUMBER B1512998\_ADDENDUM1, STAMPED DATE AUGUST 18, 2016.
  2. EXCAVATE TO COMPETENT, NATIVE SOILS OR A MINIMUM DEPTH OF 1 FOOT BELOW FINISHED SUBGRADE.
  3. COMPACT ANY REMAINING FILL MATERIALS TO AT LEAST 95% OF ASTM D1557.



**KEYNOTES**

- 1 EXISTING 8" SEWER MAIN
- 2 EXISTING 12" WATER MAIN
- 3 SAW CUT EXISTING ASPHALT. (TYPE "P" REPAIR PER I.S.P.W.C. SD-301, & SD-303).
- 4 INSTALL PRE-CAST MANHOLE SD-501A OVER EXISTING SEWER LINE PER I.S.P.W.C. 502.3.A. CONTRACTOR TO FIELD VERIFY HORIZONTAL & VERTICAL LOCATIONS PRIOR TO CONSTRUCTION
- 5 INSTALL "TYPE A" SEWER SERVICES PER I.S.P.W.C. SD-511A. WHERE APPLICABLE, DUE TO VERTICAL SEPARATION DISTANCES TO WATER MAIN, ALL SEWER SERVICES CROSSING A WATER MAIN OR WATER SERVICE LINE SHALL BE SLEEVED WITH 6" PVC PRESSURE PIPE MEETING AWWA C900 FOR A DISTANCE OF 10' ON EACH SIDE OF THE WATER MAIN OR SERVICE
- 6 CONSTRUCT 4" SEWER CLEAN-OUT
- 7 CONSTRUCT 4" SEWER CLEAN-OUT WITH TRAFFIC RATED LID PER I.S.P.W.C. SD-506A
- 8 MARK SEWER STUB (PER I.S.P.W.C. SD-512) NOTICE SEWER STUBS ARE LESS THAN 6' DEEP. DRIP UTILITIES MAY HAVE TO BE CORRECTED.
- 9 HOT TAP EXISTING 12" WATER MAIN VIA 12"x8" TAPPING SLEEVE AND 8" TAPPING VALVE. COORDINATE WITH GARDEN CITY PUBLIC WORKS
- 10 INSTALL NEW GARDEN CITY 8" C-900 WATER MAIN
- 11 POTABLE AND NON-POTABLE WATER CROSSING (SEE SEWER NOTE 10, SHEET C1)
- 12 8" 45° BEND (M)
- 13 INSTALL 8" TEE (FLG), 1" 8" ADAPTER (FLG/M), 1" 8"x6" REDUCER, AND 2" 8" VALVES (FLG/M)
- 14 INSTALL NEW FIRE HYDRANT PER I.S.P.W.C. SD-404 WITH 8"x8"x6" TEE (M) X MJ X FLG AT MAINLINE CONNECTION BEFORE 6" VALVE (FLG X MJ)
- 15 INSTALL NEW GARDEN CITY 8" DUCTILE IRON WATER MAIN (MINIMUM 10' BEYOND EDGE OF PAVEDRAIN)
- 16 INSTALL TEMPORARY 2" BLOW-OFF ASSEMBLY PER TYPICAL SUEZ WATER DETAIL
- 17 INSTALL DOMESTIC WATER SERVICE WITH METER SETTING (FOR SINGLE SERVICE, INSTALL 1" SERVICE LINE WITH DUAL 5/8" METER SETTING PER GARDEN CITY DWG. W-100). DUE TO VERTICAL SEPARATION DISTANCES TO SEWER MAIN, ALL WATER SERVICES CROSSING A SEWER MAIN SHALL BE SLEEVED WITH 2"-3" PVC PRESSURE RATED PIPE MEETING ASTM D 2241 WITH A SDR 21 OR STRONGER FOR A DISTANCE OF 10' ON EACH SIDE OF THE SEWER MAIN
- 18 INSTALL 7/8" OF 2" WATER SERVICE WITH 1.5" METER & SETTING PER WATER NOTE #8 ON SHEET C1 WITH BACK-FLOW PREVENTION DEVICE CONNECTING TO FINE IRRIGATION SYSTEM. COORDINATE WITH GARDEN CITY PUBLIC WORKS FOR APPROVED CROSS CONNECTION
- 19 APPROXIMATE LOCATION OF NEW LIGHT POLE. SEE ELECTRICAL PLANS
- 20 INSTALL NEW 2" BLOW-OFF ASSEMBLY PER TYPICAL SUEZ WATER DETAIL
- 21 INSTALL 2" PVC SLEEVE FOR FINE IRRIGATION AND ELECTRICAL CONDUIT BY OTHERS / WHEN CROSSING POTABLE WATER LINES, USE 2" PVC PRESSURE RATED SLEEVE MEETING ASTM D 2241 WITH A SDR 21 OR STRONGER
- 22 INSTALL 4" PVC SLEEVE FOR FINE IRRIGATION AND ELECTRICAL CONDUIT BY OTHERS / WHEN CROSSING POTABLE WATER LINES, USE 4" PVC PRESSURE PIPE MEETING AWWA C 900
- 23 HOT TAP EXISTING 12" WATER MAIN VIA 12"x8" TAPPING SLEEVE. COORDINATE WITH GARDEN CITY PUBLIC WORKS. INSTALL 1" DOMESTIC WATER SERVICE WITH 5/8" DUAL METER SETTING PER GARDEN CITY DWG. W-100. REPAIR PAVEMENT AS NEEDED PER ACHD PAVEMENT REPAIR NOTES ON SHEET C3
- 24 APPROXIMATE LOCATION OF NEW ELECTRICAL TRANSFORMER. COORDINATE WITH IDAHO POWER COMPANY
- 25 APPROXIMATE LOCATION OF NEW ELECTRICAL JUNCTION BOX. COORDINATE WITH IDAHO POWER COMPANY
- 26 8" 90° BEND
- 27 INSTALL NEW FIRE HYDRANT PER I.S.P.W.C. SD-404 WITH 8"x8"x6" TEE (M) X MJ X FLG AT MAINLINE CONNECTION BEFORE 6" VALVE (FLG X MJ) WITH 8"x6" REDUCER
- 28 INSTALL NEW GARDEN CITY 6" C-900 WATER MAIN

**UTILITY NOTES**

1. CONTRACTOR TO COORDINATE LOCATION OF THE JOINT TRENCH AND SUBMIT PLANS TO THE ENGINEER FOR APPROVALS.
2. ALL WATER VALVES SHALL BE PER I.S.P.W.C. SD-408.

**BENCH MARKS DATUM NAVD 88**

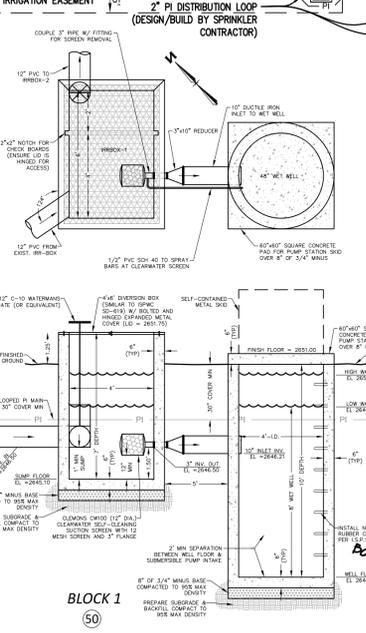
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TBM #2	ELEV. 2650.67	SCRIBED "X" IN SIDEWALK APPROXIMATELY 16 FEET NORTHEASTERLY FROM THE NORTHEASTERLY PROPERTY CORNER

PUMP STATION STANDARDS	
FLOOR FINISH OF THE SYSTEM	20' SPM
ADDITIONAL FLOOR FOR SCREENS SCREEN	12' SPM
TOTAL COMBINED FLOOR FINISH	41' SPM
TOTAL FINISH HEAD	89' FT
PROPOSED	89' FT
MAXIMUM HEAD	2'

PUMP STATION SPECS	
SINGLE PHASE PUMP ONLY	
MODEL	SUBMIT FOR REVIEW
PUMP	(SUBMITTER'S)
HORIZONTAL	12" HP
VOLTAGE SINGLE PHASE	200V-3PH-4WY
SKID SIZE	SUBMIT FOR REVIEW
ALTERNATIVES	
ALTERNATE PUMP STATION MUST BE SUBMITTED WITHIN 14 DAYS AFTER THE WINNING PROPOSER HAS AWARD. MEET THE WINNING PROPOSER'S REQUIREMENTS FOR PRELIMINARY PUMPING STATION SHALL BE BY PRECISION PLUMBING SYSTEMS OF EQUIPMENT.	

**PLAN VIEW & SECTION**  
4'x6' DIVERSION BOX & 48" WET WELL



**RECORD DRAWING**

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DATE: 12-28-17

BY: *Jan E. Conley*



**HUTCHINSON SMITH ARCHITECTS**  
270 North 27th St. Boise, Idaho 83702 (208) 338-1212 (208) 338-0011

**PROJECT: RSC 16-14**  
**FILE: Parkway UTIL.dwg**  
**DATE: DEC. 18, 2017**  
**DRAWN: JDF**

**REVISIONS:**  
CITY COMMENTS 8/29/16  
CITY COMMENTS 9/22/16  
PUMP STA. ADDED 10/4/16  
WATER REVISIONS 11/14/16  
WATER CHANGES 11/29/16  
WATER CHANGES 12/12/16  
METERS & GIRR 2/16/17

**ROCK SOLID CIVIL**  
Civil Engineering and Land Development Consulting  
270 North 27th Street, Boise, ID 83702  
Office Phone: 208.342.2377  
www.rocksolidcivil.com

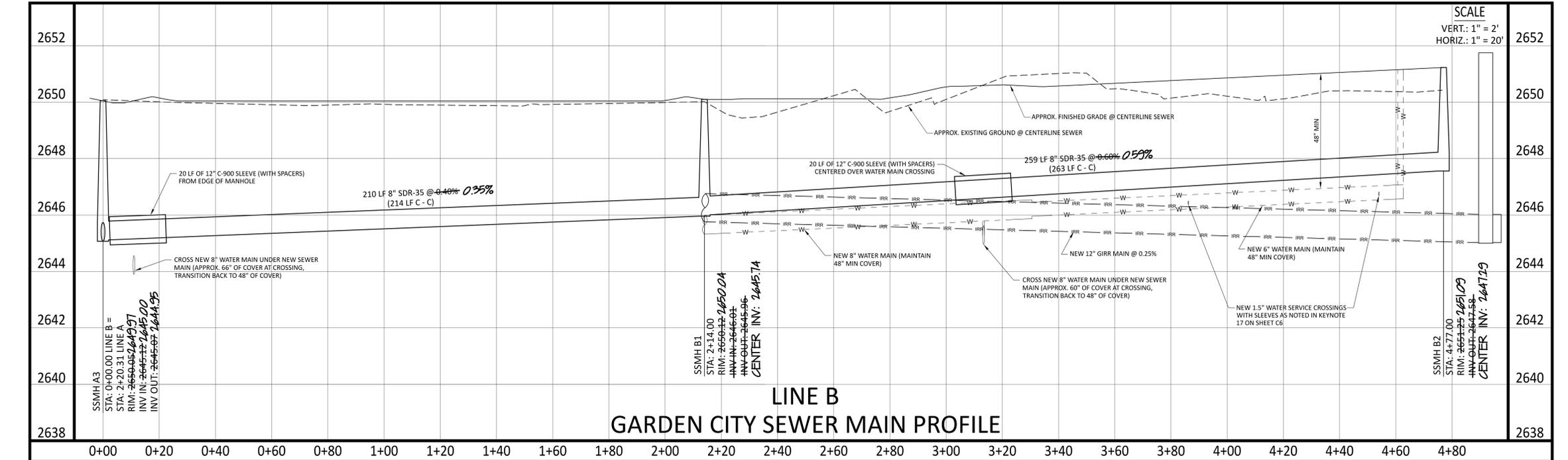
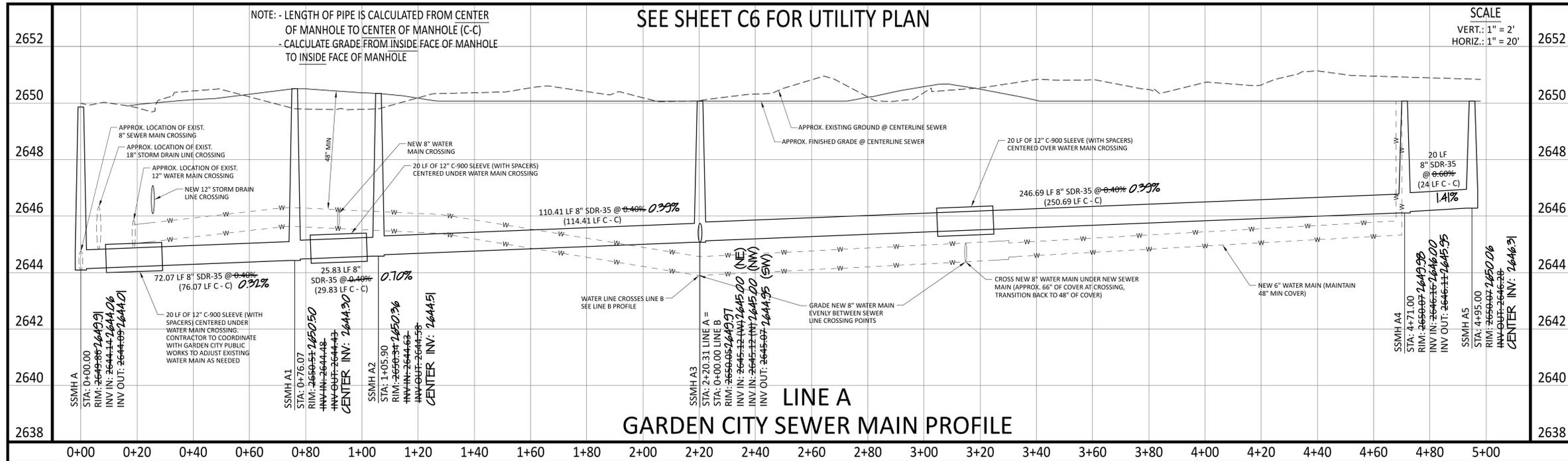
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**RECORD DRAWING**  
SEE DISCLAIMER

**MIXED USE RESIDENTIAL TOWNTOWN PARKWAY SUBDIVISION**  
GARDEN CITY, ID.  
E. 42nd. ST  
**UTILITY PLAN**

SHEET NO.  
**06**  
R7

**811** CALL BEFORE YOU DIG!  
CALL DIGLINE INC. PRIOR TO COMMENCING UNDERGROUND WORK  
208-342-1585

SCALE IN FEET  
1" = 20'



**RECORD DRAWING**

THESE RECORD DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE PROJECT CONTRACTOR OR INSPECTOR AND OTHERS. THE ENGINEER IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THIS DOCUMENT. FIELD VERIFICATION OF CRITICAL FACTS AND DATA SHOULD BE MADE IF THESE DOCUMENTS ARE TO BE USED AS A BASIS FOR FUTURE WORK.

DATE: 12-23-17

BY: *Jim E. Collet*

**ROCK SOLID CIVIL**  
Civil Engineering and Land Development Consulting

**811**  
Know what's below.  
Call before you dig!

CALL BEFORE YOU DIG!  
CALL DIGLINE INC.  
PRIOR TO COMMENCING  
UNDERGROUND WORK  
208-342-1585

**HUTCHISON SMITH ARCHITECTS**  
270 North 27th St. Boise, Idaho, 83702  
(208) 338-1212  
fax (208) 338-0011

PROJECT: RSC 16-14  
FILE: Parkway UTIL.dwg  
DATE: DEC. 18, 2017  
DRAWN: JDF

REVISIONS:  
CITY COMMENTS 8/29/16  
CITY COMMENTS 9/22/16  
SEWER CHANGES 11/16/16  
WATER CHANGES 11/29/16  
WATER CHANGES 12/12/16  
GIRR ADDITION 2/2/17

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Civil Engineering and Land Development Consulting  
270 North 27th Street, Boise, ID 83702  
Office Phone: 208-342-3277  
www.rocksolidcivil.com

Stamp  
**RECORD DRAWING**  
SEE DISCLAIMER

**MIXED USE RESIDENTIAL TOWNTOWN PARKWAY SUBDIVISION**  
E. 42nd. ST  
UTILITY PROFILES

SHEET NO.  
**07**  
R8



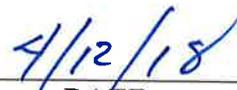
### AFFIDAVIT OF CORRECTION

This document is being recorded for the purpose of showing a correction to the northwesterly subdivision boundary line and the northwesterly boundary line of Lot 50, Block 1, as shown on the plat of Twotown Parkway Subdivision, as shown on file in Book 113 of Plats at Page 16631 through 16635, Inst. No. 2018-031082, Ada County Records, and Authorizing the Ada County recorder to make the notations on said subdivision to correct these errors, the changes are as follows:

The northwesterly boundary of the subdivision as shown on Pages 16631, 16632, 16633 and 16634 in the Certificate of Owners, with a bearing and distance of North 44°38'47" East, 592.58 feet is hereby corrected to North 44°38'47" East, 592.00 feet.

The northwesterly boundary of Lot 50, Block 1, as shown on Page 16632 with a distance of 214.34 feet is hereby corrected to 213.76 feet

  
CARL PORTER, PLS 14221

  
DATE

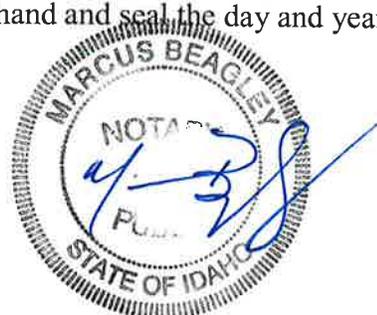
### ACKNOWLEDGMENT

STATE OF IDAHO  
COUNTY OF ADA SS

On this 13th day of April, 2018, A.D. before me the undersigned, a notary public in and for said state, personally appeared CARL PORTER, known or identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

In witness whereof, I have hereunto set my hand and seal the day and year in this certificate first above written.

NOTARY PUBLIC FOR IDAHO  
RESIDING AT EMMETT  
MY COMMISSION EXPIRES 





00482015201800310820010014

## PLAT RECORDING SHEET

### Digital Plat Image Available in Separate System

BOOK

PAGE

Thru

SURVEYOR

SUBDIVISION NAME

OWNERS

AT THE REQUEST OF

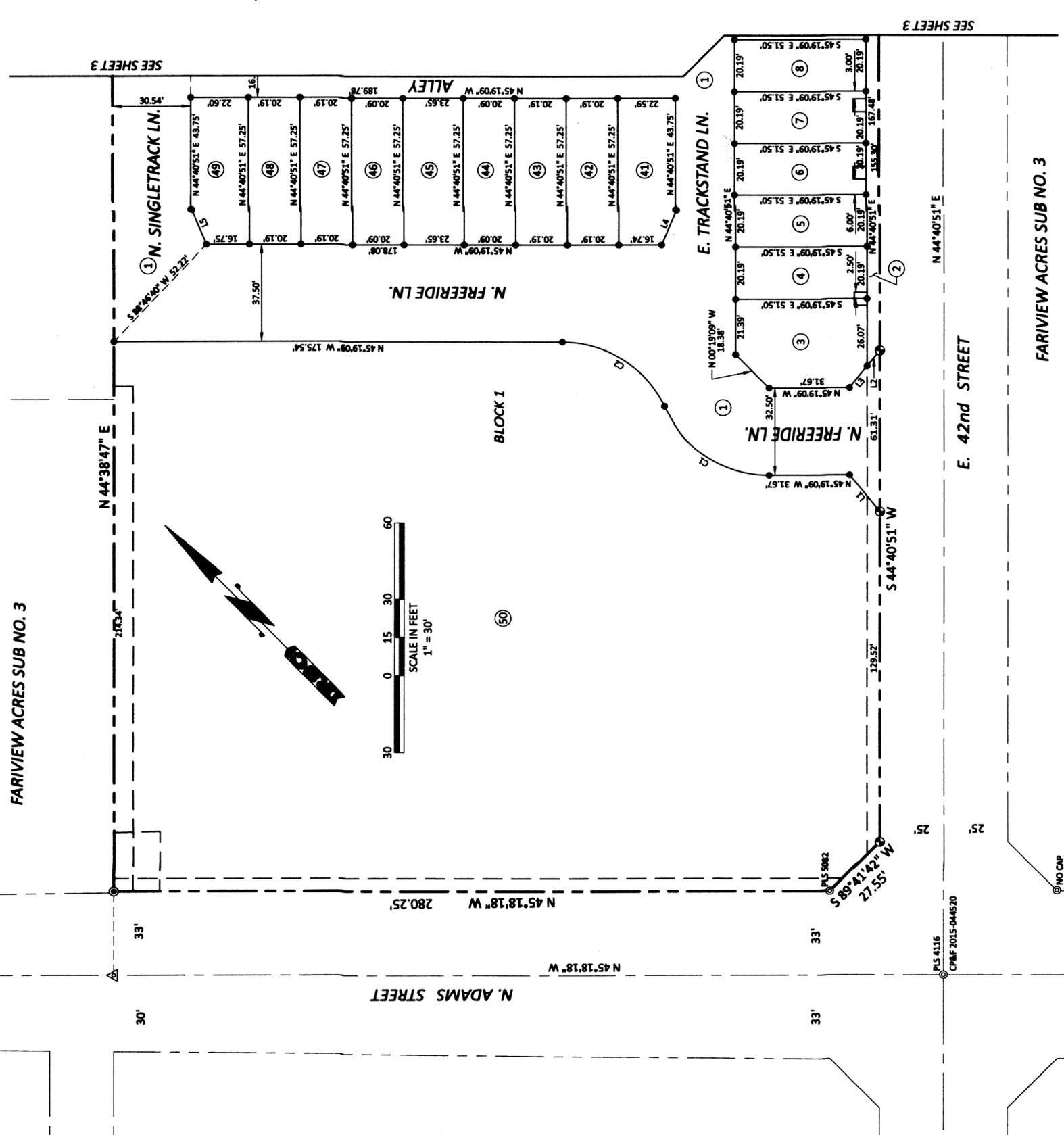
COMMENTS



LEGEND

- SECTION LINE
- CENTERLINE
- RIGHT OF WAY LINE
- EXISTING DEED OR LOT LINE
- SUBDIVISION BOUNDARY
- FOUND ALUMINUM CAP MONUMENT
- FOUND 3/8" REBAR AS NOTED
- FOUND 1/2" REBAR AS NOTED
- CALCULATION POINT, NOTHING FOUND, NOTHING SET
- LOT LINE
- NEW EASEMENT LINE
- SET 5/8" REBAR, PLS 14221
- SET 1/2" REBAR, PLS 14221
- SET BERTINSEN BIP SERIES MARKER IN CONCRETE, PLS 14221
- WITNESS CORNER
- LOT NUMBER
- BLOCK NUMBER

FINAL PLAN FOR  
TWO TOWN PARKWAY SUBDIVISION



NOTES

1. BUILDING SETBACKS MAY BE IN ACCORDANCE WITH THE SPECIFICALLY APPROVED SETBACKS AS SHOWN ON THIS PLAN; OTHERWISE, MINIMUM BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE APPLICABLE CURRENT GARDEN CITY REGULATIONS.
2. MINIMUM BUILDING SETBACK LINES SHALL BE IN ACCORDANCE WITH THE FOLLOWING:  
FRONT: 10- FEET MINIMUM\*  
SIDE: 0- FEET (FACING ALLEY ON LOTS 32-35, 37-40, 41-44, 46-49 AND FACING PRIVATE STREETS ON LOTS 3-10, 12-19, 21-24, 26-30) 21-24, 26-30)  
STREET SIDE: 0- FEET FACING PRIVATE STREET OR COMMON AREA  
\* FOR LOTS 21-24, 26-30 FACING THE COMMON GARDEN (LOT 25), A 13- FOOT FRONT SETBACK IS PERMITTED.
3. ANY RESUBDIVISION OF THIS PLAN SHALL COMPLY WITH THE APPLICABLE PUBLIC UTILITIES, DRAINAGE AND PRESSURE IRRIGATION EASEMENT OVER THE TEN (10) FEET CONTIGUOUS TO AND PARALLEL WITH LOT 1. HOWEVER, THIS SHALL NOT PRECLUDE THE CONSTRUCTION OF PROPER HARD SURFACE DRIVEWAYS FOR ACCESS TO LOT 50, OR LANDSCAPING WITHIN SUCH AREA. THIS EASEMENT SHALL ENCOMPASS THE GARDEN CITY WATER AND SEWER IMPROVEMENTS REFERENCED IN PLAT NOTE 5.
4. LOT 1, 2, 11, 20 AND 31 OF BLOCK 1 ARE HEREBY DESIGNATED TO PROVIDE A BLANKET PERMANENT PUBLIC UTILITIES, DRAINAGE, PRIVATE STREET (WITH RESPECT TO LOT 1 ONLY), CROSS ACCESS AND EMERGENCY ACCESS EASEMENT. LOTS 2, 11, 20, 31 AND THE PORTION OF LOT 50 AS DESCRIBED IN PLAT NOTE 4 ARE ALSO HEREBY DESIGNATED TO PROVIDE AN EASEMENT IN FAVOR OF THE CITY OF GARDEN CITY FOR WATER AND SEWER IMPROVEMENTS, AS WELL AS INSPECTION OF STORMWATER MANAGEMENT FACILITIES. THESE EASEMENTS SHALL ENCOMPASS ALL WATER AND SANITARY SEWER MAINLINES, FIRE HYDRANTS, WATER METERS AND SERVICES TO THE WATER METERS AND SANITARY SEWER CLEANOUTS. THE PARKWAY STATION COMMUNITY ASSOCIATION, INC. OR ITS SUCCESSORS, SHALL BE RESPONSIBLE FOR ANY REPAIR OF THE STORM WATER DISPOSAL SYSTEM CAUSED BY UTILITY MAINTENANCE OR REPLACEMENT OF THE GARDEN CITY WATER AND SEWER FACILITIES.
5. LOTS 3-10, 12-19, 21-24, 26-30, 32-35, 37-40 AND 46-49 OF BLOCK 1 ARE SINGLE FAMILY RESIDENTIAL LOTS. LOT 50 OF BLOCK 1 WILL BE DEVELOPED IN THE FUTURE IN ACCORDANCE WITH APPLICABLE ZONING AND OTHER LAND USE APPROVALS. EXCEPTIONS AND VARIANCES: LOTS 1, 2, 11, 20, 25, 31, 36 AND 45 OF BLOCK 1 ARE COMMON LOTS THAT SHALL BE OWNED AND MAINTAINED BY THE PARKWAY STATION COMMUNITY ASSOCIATION, INC., AND CANNOT BE DEVELOPED IN THE FUTURE.
6. FREERIDE LN. & N. HARTAIL LN. OFF OF E. 42ND STREET ARE DESIGNATED VEHICLE STREET ACCESSES.
7. PARKING SHALL BE RESTRICTED ON BOTH SIDES OF ALL PRIVATE STREETS. NO PARKING SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS OF THE INTERMOUNTAIN BLOCK CENTER.
8. COVENANTS, CONDITIONS AND RESTRICTIONS (CC&RS) FOR THIS SUBDIVISION ARE RECORDED AS INST. NO. \_\_\_\_\_ WITH THE RECORDS OF THE INTERMOUNTAIN BLOCK CENTER.
9. HIGHWAY DISTRICT ONLY VEHICLE ACCESSES DESIGNATED ON THIS PLAN ARE PERMITTED.
10. A FIVE (5) FOOT WIDE PRESSURE IRRIGATION EASEMENT IS HEREBY DESIGNATED ALONG ALL LOT LINES COMMON TO A PUBLIC RIGHT-OF-WAY AND THE SUBDIVISION BOUNDARY LINES. THE EASEMENT IS GRANTED TO THE PARKWAY STATION COMMUNITY ASSOCIATION, INC.
11. A FIVE (5) FOOT WIDE WATER AND SEWER EASEMENT IS HEREBY DESIGNATED ALONG THE SIDES OF THE PRIVATE STREETS TO ALLOW ACCESS TO CITY OF GARDEN CITY INFRASTRUCTURE.
12. LOT 50, BLOCK 1 IS HEREBY DESIGNATED HAS HAVING A PRESSURE IRRIGATION PUMPING STATION EASEMENT (AS SHOWN ON SHEET \_\_\_\_\_) IN FAVOR OF THE PARKWAY STATION COMMUNITY ASSOCIATION, INC.

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 05°16'31" E	16.74
L2	S 84°05'10" W	7.88
L3	N 44°40'51" E	20.19
L4	S 84°05'10" W	14.71
L5	N 11°14'55" E	14.71
L6	N 05°16'31" E	7.88
L7	N 05°16'31" E	6.89
L8	S 73°33'33" W	6.09
L9	S 71°14'55" W	14.71
L10	S 68°08'45" W	14.71
L11	S 84°05'10" W	7.88
L12	S 84°05'10" W	6.89
L13	N 44°40'51" E	6.09
L14	N 44°40'51" E	1.85
L15	N 44°40'51" E	1.85
L16	N 00°19'09" W	2.12
L17	N 45°19'09" W	18.50
L18	N 44°40'51" E	4.85
L19	N 00°19'09" W	2.32
L20	N 44°40'51" E	22.99
L21	N 45°19'09" W	3.00
L22	N 45°19'09" W	6.47
L23	N 44°40'51" E	4.00
L24	N 44°40'51" E	4.00
L25	N 44°40'51" E	25.00
L26	N 44°40'51" E	6.50
L27	N 45°19'09" W	19.75

CURVE TABLE

CURVE	ARC LENGTH	DELTA ANGLE	DELTA	CHORD	CHORD LENGTH
C1	50.75	84.00	84.00	113.43	28.16
C2	50.75	84.00	84.00	113.43	28.16
C3	50.75	84.00	84.00	113.43	28.16
C4	50.75	84.00	84.00	113.43	28.16



2030 S. WASHINGTON AVE.  
EMMETT, ID 83617  
(208) 398-8104  
FAX (208) 398-8105

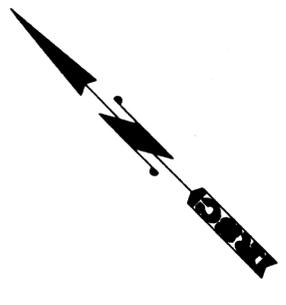
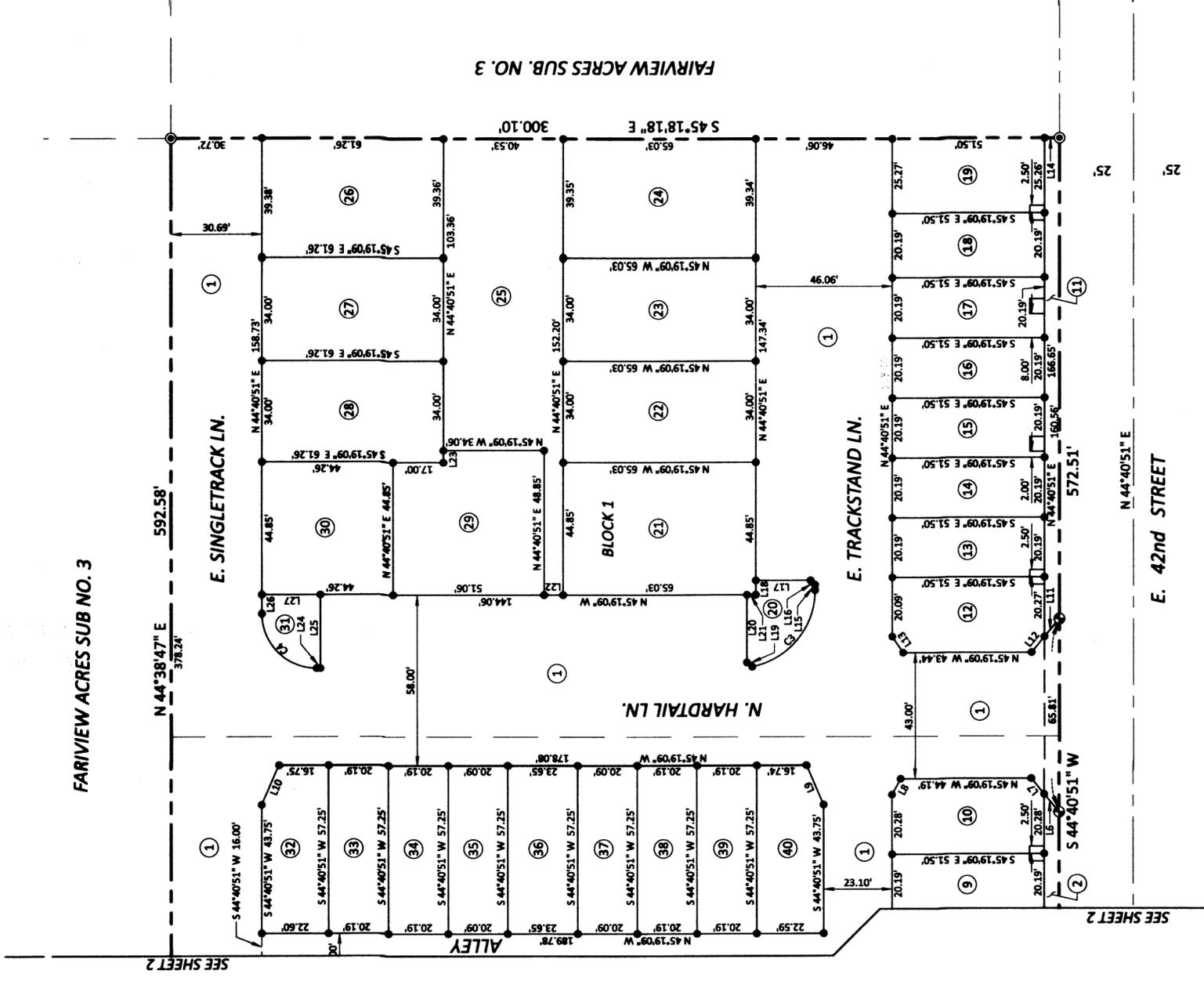
**SANTOOLI**  
Land Surveying, LLC  
EMMETT, IDAHO

WWW.SAWTOOTHLS.COM

DATE: 01/23/2018  
DRAWN BY: JDF  
CHECKED BY: CP  
JOB#: 16054-PP  
SHEET: 2 OF 5

**ROCK SOLID CIVIL**  
Civil Engineering and Land Development Consulting  
270 North 27th Street, Boise, ID 83702  
Office Phone: 208.342.3277  
www.rocksolidcivil.com

FINAL PLAT FOR  
**TWOTOWN PARKWAY SUBDIVISION**



SEE SHEET 2 FOR LEGEND  
AND LINE & CURVE TABLES

**ROCK SOLID CIVIL**  
Civil Engineering and Land Development Consulting  
270 North 27th Street, Boise, ID 83702  
Office Phone: 208.342.5277  
www.rocksolidcivil.com

**SAWTOOTH**  
Land Surveying, LLC  
EMMETT, IDAHO  
WWW.SAWTOOTHLS.COM

2030 S. WASHINGTON AVE.  
EMMETT, ID 83617  
(208) 398-8104  
FAX (208) 398-8105

SHEET:	3 OF 5	DATE:	5/12/21/2017	DRAWN BY:	JDF	CHECKED BY:	CP	JOB#:	16054	DWG#:	16054-FP
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# FINAL PLAT FOR TWO TOWN PARKWAY SUBDIVISION

### CERTIFICATE OF OWNER

KNOW ALL MEN BY THESE PRESENTS:

THAT WE THE UNDERSIGNED DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE REAL PROPERTY AS DESCRIBED BELOW AND IT IS OUR INTENTION TO INCLUDE SAID PROPERTY IN THIS SUBDIVISION PLAT.

THE OWNERS FURTHER CERTIFY THAT ALL LOTS IN THIS SUBDIVISION WILL RECEIVE DOMESTIC WATER FROM CITY OF GARDEN CITY, INCORPORATED AND THAT CITY OF GARDEN CITY, HAS AGREED IN WRITING TO SERVE ALL OF THE LOTS IN THIS SUBDIVISION. (I.C. 50-1334)

IRRIGATION WATER HAS BEEN PROVIDED FROM THE FAIRVIEW ACRES LATERAL WATER USERS ASSOCIATION, INC. IN COMPLIANCE WITH IDAHO CODE 31-3805(1)(B). LOTS WITHIN THE SUBDIVISION WILL BE ENTITLED TO IRRIGATION WATER RIGHTS, AND WILL BE OBLIGATED FOR ASSESSMENTS FROM THE FAIRVIEW ACRES LATERAL WATER USERS ASSOCIATION, INC.

THE EASEMENTS AS SHOWN ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC, HOWEVER THE RIGHT TO USE SAID EASEMENTS IS HEREBY PERPETUALLY RESERVED FOR PUBLIC UTILITIES AND FOR ANY OTHER USES AS DESIGNATED HEREON, AND NO PERMANENT STRUCTURES ARE TO BE ERECTED WITHIN THE LINES OF SAID EASEMENTS. PRIVATE ROADS AS SHOWN ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC. HOWEVER THE RIGHT TO USE SAID EASEMENTS ARE HEREBY PERPETUALLY RESERVED FOR PUBLIC UTILITIES AND FOR ANY OTHER USES AS DESIGNATED HEREON

### LEGAL DESCRIPTION

A parcel of land being a re-subdivision of Lots 1 through 6, Block 17 of Fairview Acres Subdivision No. 3, as shown on file in Book 11 of Plats, at Page 617, Ada County Records, and located in the SE 1/4 of the SW 1/4 of Section 32, T. 4 N., R. 2 E., B.M., City of Garden City, Ada County, Idaho, more particularly described as follows:

COMMENCING at the southwest corner of Section 32;

Thence South 88°35'31" East, coincident with the southerly line of the SW 1/4 of said Section 32, a distance of 1966.78 feet to a point on the centerline of N. Adams Street;

Thence North 45°18'18" West, coincident with said centerline of N. Adams Street, 665.70 feet;

Thence North 44°39'52" East, 33.00 feet to a 5/8" rebar PLS 14221 on the easterly right of way of said N. Adams Street and the POINT OF BEGINNING;

Thence North 44°38'47" East, 592.58 feet to a 5/8" rebar PLS 14221;

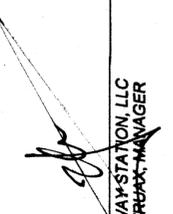
Thence South 45°18'18" East, parallel with said centerline of N. Adams Street, 300.10 feet to a 5/8" rebar PLS 14221 on the northerly right of way of E. 42nd Street;

Thence South 44°40'51" West, coincident with said northerly right of way of E. 42nd Street, 572.51 feet to a brass cap PLS 14221;

Thence South 89°41'42" West, coincident with said northerly right of way of E. 42nd Street, 27.55 feet to a 5/8" rebar PLS 5082 on said easterly right of way of N. Adams Street;

Thence North 45°18'18" West, coincident with said easterly right of way of N. Adams Street, 280.25 feet to the POINT OF BEGINNING.

The above described parcel contains 4.07 acres more or less.

  
PARKWAY STATION, LLC  
JG W TRUAX, MANAGER

CARL PORTER



PLS. 14221

### CERTIFICATE OF SURVEYOR

I, CARL PORTER, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF IDAHO, AND THAT THIS PLAT, AS DESCRIBED IN THE "CERTIFICATE OF OWNERS" AND THE ATTACHED PLAT, WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE POINTS PLATTED THEREON IN CONFORMITY WITH THE STATE OF IDAHO CODES RELATING TO PLATS, SURVEYS AND THE CORNER PERPETUATION AND FILING ACT, IDAHO CODE 55-1601 THROUGH 55-1612.

### ACKNOWLEDGEMENT

STATE OF IDAHO }  
COUNTY OF ADA } SS

ON THIS 25<sup>TH</sup> DAY OF April, 2017, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED JG W TRUAX, KNOWN OR IDENTIFIED TO ME TO BE THE MANAGER OF PARKWAY STATION, LIMITED LIABILITY COMPANY, THAT EXECUTED THE INSTRUMENT ON BEHALF OF SAID LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED TO ME THAT SUCH LIMITED LIABILITY COMPANY EXECUTED THE SAME.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.



  
NOTARY PUBLIC FOR IDAHO  
RESIDING AT Ada County  
MY COMMISSION EXPIRES 12/31/2017

2030 S. WASHINGTON AVE.  
EMMETT, ID 83617  
(208) 398-8104  
FAX (208) 398-8105  
WWW.SAWTOOTHLS.COM



PROFESSIONAL LAND SURVEYOR  
LICENSE NO. 14221  
STATE OF IDAHO  
COMMISSION EXPIRES 12/31/2017  
CARL PORTER

SHEET:	DATE:	DRAWN BY:	CHECKED BY:	JOB#:	DWG#:
4 OF 5	04/19/2017	JDF	CP	16054	16054-FP



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Civil Engineering and Land Development Consulting  
270 North 27th Street, Boise, ID 83702  
Office Phone: 208.342.3277  
www.rocksolidcivil.com

FINAL PLAT FOR  
**TWOTOWN PARKWAY SUBDIVISION**

APPROVAL OF ADA COUNTY HIGHWAY DISTRICT

THE FOREGOING PLAT WAS ACCEPTED AND APPROVED BY THE BOARD OF ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ON THE 14 DAY OF March, 2017.



Paul R. Wood 3/17/17  
PRESIDENT, ADA COUNTY HIGHWAY DISTRICT DATE

APPROVAL OF GARDEN CITY CITY ENGINEER

ACCEPTED AND APPROVED THIS 23 DAY OF March, 2018, BY THE CITY ENGINEER OF THE CITY OF GARDEN CITY, ADA COUNTY, IDAHO.

Joseph D. Conroy PE #4116  
CITY ENGINEER DATE

APPROVAL OF GARDEN CITY CITY

I, Lisa M. Leiby, CITY CLERK IN AND FOR THE CITY OF GARDEN CITY, ADA COUNTY, IDAHO, DO HEREBY CERTIFY THAT AT A REGULAR MEETING OF THE CITY COUNCIL HELD ON THE 11 DAY OF JULY, 2016, THIS PLAT WAS DULY ACCEPTED AND APPROVED.



Quinn Leiby 3/21/2018  
CITY CLERK DATE

APPROVAL OF COUNTY SURVEYOR

I, THE UNDERSIGNED COUNTY SURVEYOR IN AND FOR ADA COUNTY, IDAHO, DO HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT, AND FIND THAT IT COMPLIES WITH IDAHO CODE RELATING TO PLATS AND SURVEYS.



Joseph L. Hastings 4-6-2018  
COUNTY SURVEYOR DATE  
JERRY L. HASTINGS, PLS 5359

CERTIFICATE OF COUNTY TREASURER

I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF ADA, STATE OF IDAHO, PER THE REQUIREMENTS I.C. 50.1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND/OR DELINQUENT PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS PROPOSED SUBDIVISION PLAT HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.



Vicky McIntyre 4-06-18  
COUNTY TREASURER DATE  
by Deputy Treasurer Alex Perez

CERTIFICATE OF COUNTY RECORDER

STATE OF IDAHO }  
COUNTY OF ADA } ss 2018-0310 02  
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED AT THE REQUEST OF SAWTOOTH LAND SURVEYING, LLC, AT 50 MINUTES PAST 10 O'CLOCK A M. ON THIS 9 DAY OF APRIL, 2018, IN BOOK 112 OF PLATS, AT PAGES 1662 THROUGH 1662. INSTRUMENT NO. 2018-051002.

Christophe D. Rich  
DEPUTY EX-OFFICIO RECORDER  
Fee 260



2030 S. WASHINGTON AVE.  
EMMETT, ID 83617  
(208) 398-8104  
FAX (208) 398-8105  
WWW.SAWTOOTHLS.COM

EMMETT, IDAHO

SUBJECT:	DATE:	DRAWN BY:	CHECKED BY:	JOB#:	DWG#:
5 OF 5	02/14/2017	JDF	CP	16054	16054-FP

**ROCK SOLID CIVIL**  
Civil Engineering and Land Development Consulting  
270 North 27th Street, Boise, ID 83702  
Office Phone: 208.342.3277  
www.rocksolidcivil.com

## Parkway LOT 50 (Lot 50 - E. Freeride Ln.)

### Statement of Intent for Dedications and Easements

#### **PUBLIC RIGHT-OF-WAY**

Additional public road right-of-way is not required along E. 42<sup>nd</sup> Street. The current road right-of-way is 50' (25' half-width) along E. 42<sup>nd</sup> Street.

A public right-of-way sidewalk easement is reflected on the plat along N. Adams St. and along E. 42<sup>nd</sup> St. to a point 2' behind the back of sidewalk.

#### **SEWER/WATER**

An easement will be dedicated to Garden City Public Works on where required the purpose of accessing and maintaining the public sewer and water infrastructure, as necessary.

#### **IRRIGATION**

An easement is dedicated to Fairview Acres Lateral Water Users Association (FALWAU) for use of pressurized irrigation, and for the purpose of accessing and maintaining the pump and well infrastructure, as necessary. There is currently an irrigation box on the southeast corner of the property that will be accessed for this use and is reflected in the Record Drawings and the filed Twotown Parkway Subdivision Plat.

#### **INGRESS/EGRESS/EMERGENCY ACCESS**

A shared access easement is recorded for the purpose of ingress and egress for Lot Owners and for public services such as Police, Fire Department, and Emergency Services. Utility stubs are currently located in this easement. Fire hydrants are installed and operational as shown on the Record Drawings.

Plans are in process to extend N. Freeride Ln. as a connection between E. 42<sup>nd</sup> St. and E. 43<sup>rd</sup> St. This connection will be made as a separate application to the City under another Design Review application on an independent but adjacent property to the West. This cross access is contemplated in the Twotown Parkway Subdivision Plat.

ACCOMMODATE  
RECORDING

Recording Requested By and  
When Recorded Return to:

Givens Pursley LLP  
Attn: Jamie Caplan Smith  
601 W. Bannock Street  
Boise, ID 83702

SPACE ABOVE THIS LINE FOR RECORDER'S USE

### DECLARATION OF EASEMENT

THIS DECLARATION OF EASEMENT ("Declaration") is made as of the 11<sup>th</sup> day of April, 2018, by PARKWAY STATION COMMUNITY ASSOCIATION, INC., an Idaho nonprofit corporation ("Declarant").

WHEREAS, Declarant is the owner in fee simple of certain real property located in Ada County, Idaho, as more particularly described on Exhibit A attached hereto and made a part hereof (the "Parkway Station Property");

WHEREAS, the Parkway Station Property is a common area contained within a residential development commonly known as the "Parkway Station Development";

WHEREAS, the Parkway Station Property is immediately adjacent to certain other real property bounded by East 42<sup>nd</sup> Street, East 43<sup>rd</sup> Street, and North Adams Street, and generally to the west, north and south of the Parkway Station Property (each such property, an "Adjacent Parcel" and collectively, the "Adjacent Parcels");

WHEREAS, the location of the Parkway Station Property and the Adjacent Parcels are generally illustrated on Exhibit B attached hereto and made a part hereof;

WHEREAS, Declarant anticipates that some or all of the Adjacent Parcels will be developed into multifamily residential and/or multi-use developments at some time in the future;

WHEREAS, subject to the terms and conditions of this Declaration, in order to facilitate cross-access between the Parkway Station Property and the Adjacent Parcels once the Adjacent Parcels are developed as described above, Declarant desires to grant an ingress and egress easement for the benefit of the Adjacent Parcels, and for the use of tenants, licensees, invitees, employees, and agents of the owner of each Adjacent Parcel (collectively, "Permittees," and singly, "Permittee").

NOW THEREFORE, DECLARANT does hereby declare as follows:

1. Ingress and Egress Easement. Subject to the terms and conditions of Section 2, Declarant hereby declares, grants, establishes, imposes, and reserves for the benefit of the Adjacent Parcels a non-exclusive,

permanent ingress and egress easement on and across the portion of the Parkway Station Property designated as “N. Freeride Lane” “E. Singletrack Lane” and “N. Hardtail Lane” and depicted on Exhibit C attached hereto and made a part hereof (“Ingress/Egress Easement”), for the limited purpose of Permittee vehicular and pedestrian ingress and egress to and from the Adjacent Parcels and that certain public right of way commonly known as East 42<sup>nd</sup> Street (“Public Right of Way”).

2. Conditions to Grant of Easement. The Ingress/Egress Easement described in Section 1 above shall only be granted for the benefit of an Adjacent Parcel upon fulfillment of the following conditions by the owner of such Adjacent Parcel desiring cross-access with the Parkway Station Property, and, for the avoidance of any doubt, the Ingress/Egress Easement is not effective as to an Adjacent Parcel and does not benefit or burden an Adjacent Parcel until such conditions are fulfilled:

- a. The owner of such Adjacent Parcel shall execute an addendum to this Declaration expressly accepting the obligations (including, without limitation, the maintenance obligations) contained herein (the “Addendum”), which shall be executed and delivered to Declarant prior to the commencement of construction of any Connection Details (as defined below);
- b. The owner of such Adjacent Parcel shall, at its sole cost and expense, install or cause the installation of any connection details that may be necessary or desirable for achieving cross-access with the Parkway Station Property (the “Connection Details”);
- c. The owner of such Adjacent Parcel, at its sole cost and expense, shall repair or cause the repair of any and all improvements (including, without limitation, fencing) upon the Parkway Station Property (or surrounding property in the Parkway Station Development) that may be damaged as a result of any installation undertaken pursuant to subsection (b); and
- d. The owner of such Adjacent Parcel shall provide a reciprocal agreement granting an ingress and egress easement on and across such Adjacent Parcel for the benefit of the Parkway Station Property, the Parkway Station Development, and its Permittees, as required by governmental authorities.

3. Ingress/Egress Improvements.

(a) Construction. Declarant shall be solely responsible for constructing the vehicular entrance, drive way, and exit improvements located on the Ingress/Egress Easement upon the Parkway Station Property (“Ingress/Egress Improvements”).

(b) Maintenance. Declarant shall be solely responsible for maintaining the Ingress/Egress Improvements on the Parkway Station Property in good repair and condition and in compliance with applicable law. The owners of the Adjacent Parcels shall be solely responsible for maintaining the Ingress/Egress Improvements on their respective properties in good repair and condition and in compliance with applicable law.

4. General Maintenance. Subject to Section 3, the owner of each Adjacent Parcel shall be responsible for maintaining the vehicular entrances, drive ways, exits, parking areas and any other improvements

located on such Adjacent Parcel in good repair and condition and in compliance with applicable law, and for the costs and expenses incurred in connection therewith. The owner of each Adjacent Parcel, and its officers, employees and agents, shall not cause any damage or loss to the Ingress/Egress Improvements, or other improvements on the Parkway Station Property (or surrounding property in the Parkway Station Development), and in the event that an Adjacent Parcel owner does or its officers, employees or agents do cause any such damage or loss, such owner shall promptly repair such damage or loss and restore such improvements to their condition prior to such damage or loss at such owner's sole cost and expense.

5. Owner Control. Subject to Section 1, Declarant has and shall retain the exclusive right to designate and configure, and from time to time modify, the vehicular entrances, drive ways, exits, parking areas and other improvements located on the Parkway Station Property; provided, that any such modification does not unreasonably impair Permittee use of the easements granted herein. A temporary impairment of vehicular traffic flow caused by maintenance or modification to the designation or configuration of any improvements on the Parkway Station Property shall be deemed not to unreasonably impair such use and enjoyment.

6. Indemnity and Liability. The owner of each Adjacent Parcel ("Indemnitor") shall defend, protect, indemnify and hold harmless Declarant and its successors, assigns and mortgagees ("Indemnitees") from and against all claims, including any action or proceeding brought thereon, and all costs, expenses, liabilities and losses (including reasonable attorneys' fees) arising from or as a result of injury or death of any person, or damage to the property of any person relating to the use by the Indemnitor or its Permittees of the Ingress/Egress Easement, which is caused by the gross negligence or malfeasance of the Indemnitor or its Permittees, or the breach or violation of this Declaration by the Indemnitor, but only to the extent such costs, losses, expenses and liabilities are not covered by any insurance policy maintained by the Indemnitees.

7. Interpretation. Nothing herein is intended or shall be construed (i) as a grant or dedication of any portion of the Parkway Station Property to the general public or for any public purpose whatsoever, it being the intention of Declarant that this Declaration and the easement granted hereunder shall be strictly limited to the private use by the owners of the Adjacent Parcels and their Permittees; or (ii) to create a joint venture or partnership among the Declarant, the owners of the Adjacent Parcels, or any other party. This Declaration is made for the benefit the owners of the Adjacent Parcels, their Permittees, and their respective successors, assigns, and mortgagees, and not for any other party. The recitals first set forth above constitute a part of and are hereby incorporated into this Declaration

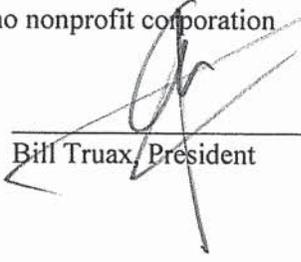
8. Notices. All notices required or permitted to be delivered under this Declaration shall be delivered either by (i) certified mail, return receipt requested, or (ii) Federal Express or similar overnight delivery service, for next business day delivery. Such notice shall be deemed delivered upon the earlier of actual receipt or five (5) days after deposit with the United States Postal Service if sent via certified mail and the next business day following deposit with FedEx or other comparable delivery service. All notices required or permitted to be delivered to the owners of the Adjacent Parcels under this Declaration shall be sent to the most recent address of public record in the State of Idaho. Declarant or an owner of an Adjacent Parcel may advise each other of a change of such party's notice address, provided such notice is delivered pursuant to the provisions of this Section.

9. Successors and Assigns. The easements granted herein shall be appurtenant to each Adjacent Parcel, and the covenants herein shall run with each Adjacent Parcel and shall apply to and be binding on each owner of an Adjacent Parcel and its respective successors, assigns and mortgagees; provided, that such covenants shall apply to and be binding on a person only with respect to any period during which such person has an interest in an Adjacent Parcel.
10. Enforceability. Should any provision of this Declaration be determined to be invalid or unenforceable, the remaining provisions of this Declaration shall be unaffected thereby and shall remain in full force and effect.
11. Amendment and Termination. This Declaration may only be amended or terminated by a written instrument executed by Declarant and any owners of Adjacent Parcels who have signed an Addendum.
12. Governing Law. This Declaration shall be governed by and construed in accordance with the laws of the State of Idaho.
13. Subordination. Any mortgage or lien affecting any portion of the Adjacent Parcels shall at all times be subject and subordinate to the terms of this Declaration and any person or entity foreclosing any such mortgage or lien or acquiring title by reason of a deed in lieu of foreclosure shall acquire title to the premises affected thereby subject to all of the terms of this Declaration.
14. Attorneys' Fees. Should Declarant or any Adjacent Parcel owner incur costs or attorneys' fees in connection with efforts to enforce the provisions of this Declaration, whether by institution of suit or not, the party rightfully enforcing or rightfully resisting enforcement of the provisions of this Declaration, or the prevailing party in case suit is instituted, shall be entitled to reimbursement for its costs and reasonable attorney fees from the other party.

*[SIGNATURE PAGE FOLLOWS]*

IN WITNESS WHEREOF Declarant has signed this Declaration as of the first date above.

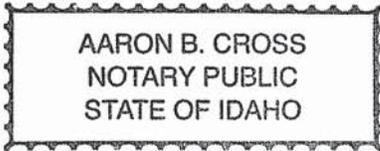
PARKWAY STATION COMMUNITY ASSOCIATION, INC.,  
an Idaho nonprofit corporation

By:   
Bill Truax, President

STATE OF IDAHO                    )  
  : ss.  
County of Ada                    )

On this 5<sup>TH</sup> day of March, 2018, before me, a Notary Public in and for the State of Idaho, personally appeared Bill Truax, known or identified to me to be the President of Parkway Station Community Association, Inc., an Idaho nonprofit corporation, who subscribed said corporation's name to the foregoing instrument, and acknowledged to me that he executed the same in said corporation's name.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.



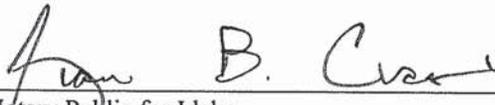
  
Notary Public for Idaho  
Residing at: Meridian, ID  
My commission expires: 3/16/21

EXHIBIT A

Parkway Station Property Legal Description

Lot 1 in Block 1 of the Twotown Parkway Subdivision, as shown on the plat thereof filed in Book 113 of Plats at Page(s) 16631 through 16635, official records of Ada County, Idaho.

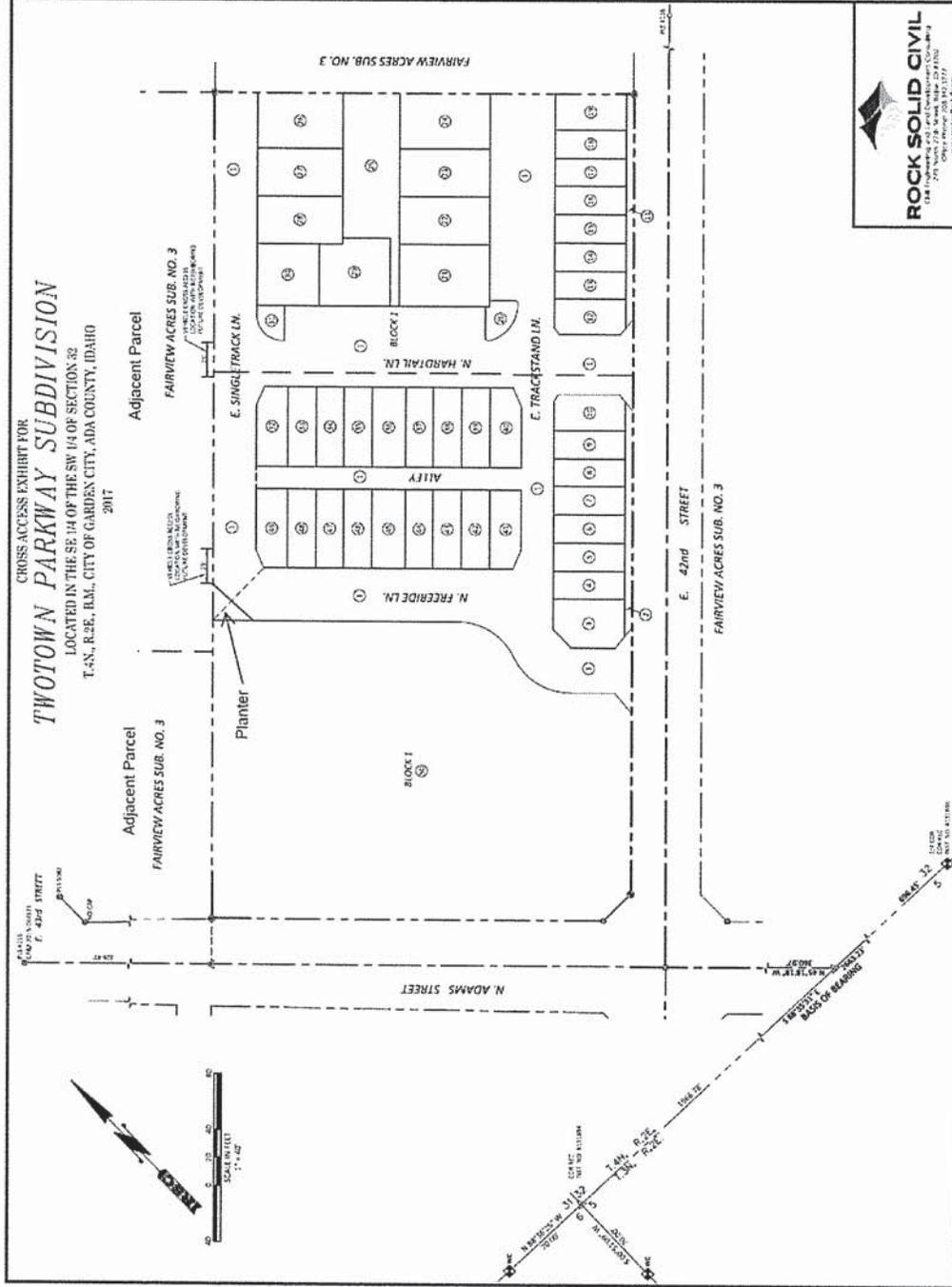
EXHIBIT B

Approximate Depiction of Parkway Station Property and Adjacent Parcels



EXHIBIT C

Depiction of Ingress/Egress Easement



After recording, return to:

Givens Pursley LLP  
Attn: L. Edward Miller  
601 W. Bannock Street  
Boise, Idaho 83702

ADA COUNTY RECORDER Christopher D. Rich  
BOISE IDAHO Pgs=18 DAN RYALLS  
GIVENS PURSLEY

**2017-029050**  
04/05/2017 03:25 PM  
AMOUNT:\$61.00



00346992201700290500180185

SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY

### LICENSE AND EASEMENT AGREEMENT

This LICENSE AND EASEMENT AGREEMENT (this "Agreement"), is made and entered into this 5<sup>th</sup> day of April, 2017, by and between FAIRVIEW ACRES LATERAL WATER USERS ASSOCIATION, INC., an Idaho corporation and lateral users association organized and existing under and by virtue of the laws of the State of Idaho, hereinafter referred to as the "Association", and PARKWAY STATION, LLC, an Idaho limited liability company, having an address at P.O. Box 50111, Boise, Idaho 83705, its successors and assigns, hereinafter referred to as the "Licensee."

#### WITNESSETH:

WHEREAS, the Association owns an existing irrigation box (the "Irrigation Box"), together with an easement therefor over, on, under and across the property of an unrelated third party to convey irrigation water, to operate, clean, maintain, and repair the Irrigation Box, and to access the Irrigation Box for those purposes (the "Irrigation Box Easement");

WHEREAS, the location of the Irrigation Box is generally depicted on **Exhibit A** attached hereto and incorporated herein by reference;

WHEREAS, the Association operates, cleans, maintains, repairs and protects the Irrigation Box for the benefit of Association landowners;

WHEREAS, the Licensee is the owner of the real property more particularly described in the "Legal Description" attached hereto as **Exhibit B-1** and by this reference made a part hereof ("Licensee's Property"), which is commonly known as the "Parkway Station Development." The construction plans for the Parkway Station Development (the "Construction Plans") are attached hereto as **Exhibit B-2** and by this reference made a part hereof.

WHEREAS, Licensee desires to connect a diversion box and wet well on Licensee's Property (as shown on the Construction Plans) to the Irrigation Box in order to deliver irrigation water to the Parkway Station Development;

WHEREAS, the Association desires that the Licensee construct and install a 12-inch buried irrigation pipe together with an irrigation box near the Western boundary of Licensee's Property for the conveyance of irrigation water, as shown on **Exhibit C** attached hereto and by this reference made a part hereof (the aforementioned buried pipe and irrigation box, together, the "Buried Pipe and Box"); and

WHEREAS, (i) the Association desires to grant to Licensee a license to cross, encroach upon or modify the Irrigation Box and the Irrigation Box Easement; and (ii) Licensee desires to grant to the Association an easement in, over, across and under a portion of Licensee's Property to convey irrigation water and for the other purposes hereinafter stated.

NOW, THEREFORE, for and in consideration of the premises and of the covenants, agreements and conditions hereinafter set forth, the parties agree as follows:

**A. The Association's Easement.**

1. Licensee hereby grants and conveys to the Association a non-exclusive easement in, over, across and under that portion of Licensee's Property as shown on **Exhibit C** (the "Buried Pipe and Box Easement"), solely for the purpose of conveying irrigation water and such other purposes as are described in paragraphs 3 and 4 of Section C of this Agreement (the "Buried Pipe and Box Easement Purpose"). In the event Licensee desires to place any encroachment(s), including public or private roads, utilities, fences, gates, pipelines, structures or other construction or placement of objects within the Buried Pipe and Box Easement area, Licensee shall seek the written consent of the Association prior to placing or constructing any such object(s). The Association shall not unreasonably withhold, condition or delay such consent provided that the proposed object(s) would not unreasonably or materially interfere with the use and enjoyment of the Buried Pipe and Box Easement Purpose, and any such consent given by the Association to construct or place object(s) within the Buried Pipe and Box Easement area shall include the right of Licensee to perform maintenance, repair and/or removal of such object(s) as Licensee deems necessary or desirable. Notwithstanding the foregoing, the Association hereby consents to (i) the placement, construction, maintenance, repair and removal of any such object(s) shown on the Construction Plans within the Buried Pipe and Box Easement area, (ii) the placement, construction, maintenance, repair and removal of underground power lines within the Buried Pipe and Box Easement area, and (iii) the placement, maintenance, repair and removal of landscaping within the Buried Pipe and Box Easement area.

2. Licensee and the Association acknowledge that the Buried Pipe and Box Easement includes a sufficient area of land for the Association to carry out the Buried Pipe and Box Easement Purpose, and to access the Buried Pipe and Box for the Buried Pipe and Box Easement Purpose.

**B. Scope of Licenses**

1. The Association hereby grants Licensee the right to (i) cross, encroach upon and modify the Irrigation Box within the Irrigation Box Easement area (the "Irrigation Box License") in the manner and for the purpose described in the "Purpose of Irrigation Box License" attached hereto as **Exhibit D** and by this reference made a part hereof.

2. The Licensee recognizes and acknowledges that the license granted by this Agreement pertains only to the rights of the Association as owner of the Irrigation Box Easement. The Association has no right or power to create rights in the Licensee affecting the holder of title to the property subject to the Irrigation Box Easement. Any such rights affecting fee title must be acquired by the Licensee from the holder of title to the property. Should Licensee fail to obtain such rights from the holder of title to the property or should the rights obtained prove legally ineffectual, Licensee shall hold harmless, indemnify and defend the Association from any claim by any party arising out of or related to such failure of rights and at the option of the Association this Agreement shall be of no force and effect.

### C. Construction, Operation, Maintenance and Repair

1. Licensee's connection to the Irrigation Box shall be constructed substantially in accordance with **Exhibit D** unless prior written consent of the Association has been obtained (not to be unreasonably withheld or delayed). Licensee's construction of the Buried Pipe and Box shall be performed substantially in accordance with the Construction Plans unless prior written consent of the Association has been obtained (not to be unreasonably withheld or delayed). Licensee shall notify the Association promptly after completion of the connection to the Irrigation Box and construction of the Buried Pipe and Box so that the Association or the Association's engineer may inspect and approve the construction prior to Licensee's use thereof for the conveyance of irrigation water. The Association's contact for said purposes shall be Jerry Blickfeldt at 208-602-2499. Such approval by the Association and/or the Association's engineer shall not be unreasonably withheld or delayed. Licensee shall not be obligated to make any changes and/or incur any costs in connection with such approval provided that the connection to the Irrigation Box and the construction of the Buried Pipe and Box were constructed substantially in accordance with **Exhibit D** or the Construction Plans, respectively.

2. The Licensee's connection to the Irrigation Box, the Buried Pipe and Box, and all objects related to the delivery of irrigation water installed by Licensee (each, a "Facility") within the Association's Irrigation Box Easement area and Buried Pipe and Box Easement area shall be constructed, installed, operated, maintained, and repaired at all times by the Licensee at the cost and expense of the Licensee. With respect to the Buried Pipe and Box, "maintenance" shall include, but not be limited to, the removal and disposal of silt, gravel, plant material, and all trash and debris which may accumulate in the Buried Pipe and Box; and "repairs" shall include, but not be limited to, all repairs necessary to preserve the structural integrity and unobstructed flow of water through the Buried Pipe and Box and prevent the loss of water from the Buried Pipe and Box.

3. If the Licensee shall fail in any respect to properly maintain and repair the Buried Pipe and Box or the connection to the Irrigation Box, then the Association shall give written notice to Licensee and allow Licensee a reasonable opportunity (not less than fourteen (14) days) to perform the necessary maintenance and repairs or other work. If, after written notice and opportunity to cure in accordance with the foregoing sentence have been properly given, Licensee has not commenced a cure, the Association may, at its option, and without impairing or in any way affecting its other rights and remedies hereunder, perform the necessary maintenance and repairs and Licensee agrees to pay to the Association, on demand, the cost or expense which shall be reasonably expended or incurred by the Association for such purposes. Any maintenance or repairs undertaken by the Association in accordance with this paragraph 3, except for routine cleaning and maintenance, shall be performed by a licensed contractor, in a good and workmanlike manner, consistently with standards of high quality contractors in Ada County, Idaho. All maintenance and repairs undertaken by the Association in accordance with this paragraph 3, including routine cleaning and maintenance not performed by a licensed contractor, shall be performed in a good and workmanlike manner.

4. The Association may perform necessary maintenance and repairs, without first providing notice and opportunity to cure in accordance with paragraph 3 above, solely in the event of an emergency situation involving or threatening actual or imminent personal injury or material property damage with respect to the Buried Pipe and Box or connection to the Irrigation Box, or in which the failure to deliver irrigation water threatens material property damage.

5. The Association shall use its best efforts to minimize damage or destruction to any structures, objects, landscaping or other items that have been placed in the Buried Pipe and Box Easement area in the course of undertaking any maintenance or repairs in accordance with paragraph 3 or 4 above.

6. Nothing in paragraphs 3 and 4 above shall create or support any claim of any kind by Licensee or any third party against the Association for failure to exercise the options stated in paragraphs 3 and 4 above, and Licensee shall indemnify, hold harmless and defend the Association from any claims made against the Association arising out of or relating to the terms of this paragraph except for claims arising solely out of the negligence or fault of the Association.

7. Licensee agrees to construct, install, operate, maintain and repair each Facility and conduct its activities within or affecting the Irrigation Box Easement and Buried Pipe and Box Easement so as not to constitute or cause:

- a. a hazard to any person or property;
- b. an interruption or interference with the flow of irrigation water in the Irrigation Box or the Buried Pipe and Box or the Association's delivery of irrigation water;
- c. an increase in seepage or any other increase in the loss of water from the Irrigation Box or Buried Pipe and Box;
- d. the subsidence of soil within or adjacent to the Irrigation Box Easement or the Buried Pipe and Box Easement;
- e. an unreasonable or material interference with the Association's use of (i) the Irrigation Box Easement to access, operate, clean, maintain, and repair the Irrigation Box or (ii) the Buried Pipe and Box Easement for the Buried Pipe and Box Easement Purpose; and
- f. any other damage to the Irrigation Box Easement, Buried Pipe and Box Easement, and other irrigation works.

8. The Licensee agrees to indemnify, hold harmless, and defend the Association from all claims for damages arising out of any of the Licensee's construction or activity which constitutes or causes any of the circumstances enumerated in the preceding paragraph, 7.a. through 7.f., or any other damage to the Irrigation Box, Buried Pipe and Box, Irrigation Box Easement or Buried Pipe and Box Easement which may be caused by the construction, installation, operation, maintenance, repair, and any use or condition of any Facility.

9. The Licensee shall, upon demand of the Association, remove any Facility or repair any alteration of the Irrigation Box or Buried Pipe and Box which (i) unreasonably or materially interferes with the Association's conveyance of water through the Irrigation Box or Buried Pipe and Box, or (ii) causes or contributes to any of the circumstances enumerated in the preceding paragraph, 7.a. through 7.f., or any other damage to the Irrigation Box, Buried Pipe and Box, Irrigation Box Easement or Buried Pipe and Box Easement.

#### **D. Association's Rights Are Paramount**

1. The Licensee understands and agrees that the Irrigation Box and the Buried Pipe and Box were (or will be) constructed and are (or will be) used by the Association for the exclusive purpose of conveying irrigation water to lands within the Association.

2. The parties hereto understand and agree that the Association has no right in any respect to impair the uses and purposes of the irrigation works and system of the Association by this Agreement, nor to grant any rights in its irrigation works and system incompatible with the uses to which such irrigation works and system are devoted and dedicated and that this contract shall be at all times construed

according to such principles.

3. Nothing herein contained shall be construed to impair the Irrigation Box, the Buried Pipe and Box, the Irrigation Box Easement and the Buried Pipe and Box Easement, and all construction and use of the Irrigation Box Easement and the Buried Pipe and Box Easement by the Licensee and the Irrigation Box License herein provided shall remain inferior and subservient to the rights of the Association to the use of the Irrigation Box and the Buried Pipe and Box for the transmission and delivery of irrigation water.

4. Licensee further agrees to suspend its use of (i) the Irrigation Box Easement area when the use of the same is required by the Association to perform repair or maintenance as permitted by this Agreement, and (ii) the Buried Pipe and Box Easement area, when the use of the same is required by the Association to carry out the Buried Pipe and Box Easement Purpose.

5. In the event of the failure, refusal or neglect of the Licensee to comply with all of the terms and conditions of this Agreement as they pertain to the Irrigation Box License, the Irrigation Box License may be terminated by the Association (after any applicable notice and opportunity to cure has been given).

**E. Applicable Law and Jurisdiction Unaffected.**

1. Neither the terms of this Agreement, the permission granted by the Association to the Licensee, the Licensee's activity which is the subject of this Agreement, nor the parties exercise of any rights or performance of any obligations of this Agreement, shall be construed or asserted to extend the application of any statute, rule, regulation, directive or other requirement, or the jurisdiction of any federal, state, or other agency or official to the Association's ownership, operation, and maintenance of the Irrigation Box or Buried Pipe and Box, or other works and facilities which did not apply to the Association's operations and activities prior to and without execution of this Agreement.

2. In the event the Association is required to comply with any such requirements or is subject to the jurisdiction of any such agency solely as a direct result of execution of this Agreement or the Licensee's activity authorized hereunder, Licensee shall indemnify, hold harmless and defend the Association from all costs and liabilities associated with the application of such laws or the assertion of such jurisdiction or, at the option of the Association, this Agreement shall be of no force and effect and the Licensee shall cease all activity and remove any Facility authorized by this Agreement, provided that (i) Licensee shall not have any liability attributable solely to the negligent acts or omission of the Association, and (ii) except as provided in paragraph 9 of Section C, Licensee shall in no event be required to remove any Facility located on Licensee's Property.

**F. Latecomers Provision**

1. In the event that a third party (a "Latecomer") desires to receive water from the Association through any of the Association's water delivery system, and the delivery of water to the Latecomer's property would necessitate or make desirable the use of the Buried Pipe and Box, the Association agrees to charge such Latecomer (in addition to any standard connection fees) a fee equal to such Latecomer's Pro Rata Acreage Percentage (as hereinafter defined) of the Buried Pipe and Box Costs (as hereinafter defined) (a "Latecomer Fee"). The Association agrees to remit any and all Latecomer Fees to Licensee within three (3) business days of collection. If for any reason the Association does not collect a Latecomer Fee from any given Latecomer within thirty (30) days of such Latecomer's connection to the Association's water delivery system, the Association shall be liable for the amount of the Latecomer Fee

to Licensee on behalf of the Latecomer.

2. For purposes of this Section F, a Latecomer's "Pro Rata Acreage Percentage" shall mean the percentage indicated for such property owner on Exhibit E attached hereto and incorporated herein by reference. By attachment of Exhibit E, neither Licensee nor the Association intends to create a lien or encumbrance upon any of the properties or property owners identified therein.

3. For purposes of this Section F, "Buried Pipe and Box Costs" shall mean all hard and soft costs incurred by Licensee in connection with this Agreement and the construction of the Buried Pipe and Box, including, without limitation, engineering fees, licensing fees, permitting fees, and attorneys' fees. The Buried Pipe and Box Costs are estimated to total approximately Twenty Nine Thousand Four Hundred Sixty Eight and 50/100 Dollars (\$29,468.50). The actual amount of the Buried Pipe and Box Costs shall be verified and agreed upon by the Association and Licensee after the completion of construction.

#### **G. Indemnification**

1. In addition to all other indemnification provisions herein, Licensee further agrees to indemnify, hold harmless and defend the Association from any injury, damages, claim, lien, cost and/or expense (including reasonable attorney's fees) incurred by, or asserted against, the Association by reason of the negligent acts or omissions of Licensee or its agents, contractors or subcontractors in performing the construction and activities authorized by this Agreement.

2. The Association agrees to indemnify, hold harmless and defend Licensee from any injury, damages, claim, lien, cost and/or expense (including reasonable attorney's fees) incurred by, or asserted against, Licensee by reason of the negligent acts or omissions of the Association or its agents, contractors or subcontractors in performing the activities authorized by this Agreement.

#### **H. Fees and Costs**

1. The Licensee agrees to pay reasonable attorney fees and engineering fees charged by the attorney for the Association or by the engineers for the Association in connection with the negotiation and preparation of this Agreement, which shall not exceed \$1,000.00 without the written consent of Licensee.

2. Should either party incur costs or attorney fees in connection with efforts to enforce the provisions of this Agreement, whether by institution of suit or not, the party rightfully enforcing or rightfully resisting enforcement of the provisions of this Agreement, or the prevailing party in case suit is instituted, shall be entitled to reimbursement for its costs and reasonable attorney fees from the other party.

#### **I. Miscellaneous**

1. No Claims Created. Nothing in this Agreement shall create or support a claim of estoppel, waiver, prescription or adverse possession by the Licensee or any third party against the Association.

2. Assignment. Except as provided for in paragraph 5 below of this Section H, neither this Agreement nor any agreement entered pursuant to this Agreement may be assigned or transferred without the prior written approval of the Parties, which approval shall not be unreasonably withheld.

3. Amendment and Modification. Any amendment or modification of this Agreement must be in writing and signed by all parties to be enforceable.

4. Interpreted. This Agreement shall be interpreted and enforced in accordance with the laws of the State of Idaho. This Agreement is not intended for the benefit of any third party and is not enforceable by any third party. If any provision of this Agreement is determined by a court of competent jurisdiction to be invalid or otherwise unenforceable, all remaining provisions of this Agreement shall remain in full force and effect. The parties represent and warrant to each other that they each have authority to enter this Agreement. The catchlines or section headings herein set forth are provided only for the convenience of the parties in locating various provisions of this Agreement, and are not intended to be aids in interpretation of any provision of this Agreement with respect to which the parties might disagree at some future time, and shall not be considered in any way in interpreting or construing any provision of the Agreement.

5. Binding Effect. The covenants, conditions and agreements herein contained shall constitute covenants to run with, and running with, Licensee's Property, and shall be binding on each of the parties hereto and on all parties and all persons claiming under them or either of them, and the advantages hereof shall inure to the benefit of each of the parties hereto and their respective successors and assigns. At such time as the Licensee conveys fee title to any portion of Licensee's Property, Licensee's successor in interest to such portion shall obtain the benefit of this Agreement and shall be responsible for any responsibilities, covenants and conditions pertaining to such portion under this Agreement and the Licensee shall be released therefrom from and after the date of conveyance.

6. Notices. Any and all notices, demands, consents and approvals required pursuant to this Agreement shall be delivered to the parties as follows:

Association: Fairview Acres Lateral Water Users Assoc., Inc.  
c/o Peggy V. Clements  
P.O. Box 6377  
Boise, ID 83714

Licensee: See page 1

Notices shall be deemed to have been delivered upon hand deposit in the United States mail as provided above.

7. Counterparts. This Agreement may be executed and delivered in counterparts, each of which shall be deemed to be an original and all of which shall constitute one and the same instrument.

8. Water Rights. Licensee recognizes and agrees that the diversion of water from the Irrigation Box remains contingent upon Licensee (or a successor owner of the Parkway Station Development property) being a member of the Association and paying for any assessments associated with its membership as and when due. Should Licensee (or a successor owner of the Parkway Station Development property) no longer be a member of the Association or should it be delinquent in paying assessments associated with its membership in the Association, then the right to divert water from the Irrigation Box shall cease. So long as Licensee (or a successor owner of Licensee's Property) is a member of the Association and pays for assessments associated with its membership as and when due, the Association shall supply water to the Parkway Station Development property in the amount(s) corresponding to Licensee's (or its successor in interest's) membership in the Association. Further,

Licensee shall have no right to divert more water from the Irrigation Box than is allowed by Licensee's membership in the Association. Licensee shall, if requested by the Association, and at Licensee's cost, install a flow meter or other device approved by the Association to regulate the amount of water Licensee diverts from said Irrigation Box.

9. Homeowners' Association. The Association may require Licensee to transfer its membership in the Association appurtenant to the Parkway Station Development property to a homeowners' association consisting of lot owners within the subdivision. In the event the Association so requires, (i) the Association shall send water assessments and other notices for the lots within the subdivision to the homeowners' association, (ii) the homeowners' association shall at all times keep the Association notified of its current officers and mailing addresses and/or other information necessary to enable the Association to mail assessments and notices, and (iii) the homeowners' association as a member of the Association shall be responsible for collecting assessments from the lot owners for payment of the Association's assessments.

[end of text; signature page follows]

IN WITNESS WHEREOF, the Association has hereunto caused its name to be subscribed by its officers first hereunto duly authorized by resolution of its Board of Directors and the Licensee has caused its name to be subscribed, all as of the day and year herein first above written.

FAIRVIEW ACRES LATERAL WATER USERS ASSOCIATION, INC.

By:   
Jim Neill, its President

ATTEST:

  
Peggy Clements, Its Secretary

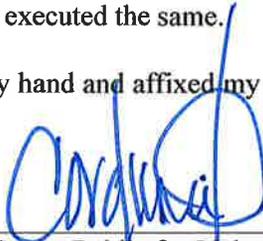
[continued on next page]

STATE OF IDAHO )  
 ) ss:  
County of Ada )

On this 29 day of MARCH, 2017, before me, the undersigned, a Notary Public in and for said State, personally appeared Jim Neill, known to me to be the President of FAIRVIEW ACRES LATERAL WATER USERS ASSOCIATION, INC., the Association that executed the foregoing instrument and acknowledged to me that such Association executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year in this certificate first above written.



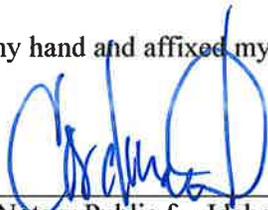
  
\_\_\_\_\_  
Notary Public for Idaho  
Residing at BOISE, Idaho  
My Commission Expires: 04.13.18

STATE OF IDAHO )  
 ) ss:  
County of Ada )

On this 29 day of MARCH, 2017, before me, the undersigned, a Notary Public in and for said State, personally appeared Peggy Clements, known to me to be the Secretary of FAIRVIEW ACRES LATERAL WATER USERS ASSOCIATION, INC., the Association that executed the foregoing instrument and acknowledged to me that such Association executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year in this certificate first above written.



  
\_\_\_\_\_  
Notary Public for Idaho  
Residing at BOISE, Idaho  
My Commission Expires: 04.13.18

PARKWAY STATION, LLC, an Idaho limited liability company

By: Bill Truax, its Manager

STATE OF IDAHO )  
 )ss.  
County of Ada )

On this 24<sup>th</sup> day of March, 2017, before me, the undersigned, a notary public in and for said state, personally appeared Bill Truax, known to me to be the Manager of PARKWAY STATION, LLC, the entity that executed the foregoing instrument, and acknowledged to me that said entity executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year in this certificate first above written.



Notary Public for Idaho  
Residing at BOISE, Idaho  
My Commission Expires: 5/16/22

**EXHIBIT A**  
**IRRIGATION BOX LOCATION**

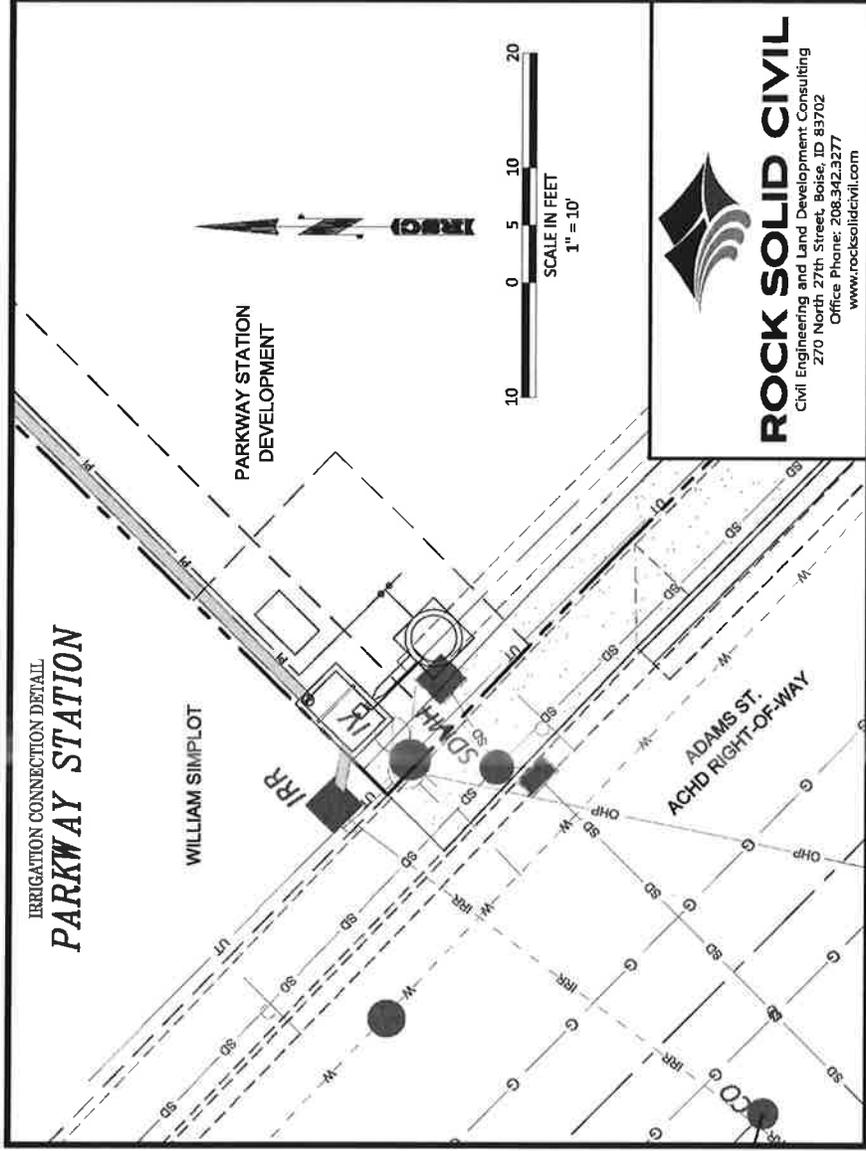


EXHIBIT B-1  
LICENSEE'S PROPERTY: LEGAL DESCRIPTION

PARCEL I:

A TRACT OF LAND BEING A PORTION OF LOTS 1, 2 & 3, BLOCK 17 OF FAIRVIEW ACRES SUBDIVISION NO. 3, ACCORDING TO THE PLAT THEREOF, FILED IN BOOK 11 OF PLATS AT PAGE 617, RECORDS OF ADA COUNTY, IDAHO, SITUATED IN THE SOUTHWEST ONE QUARTER OF SECTION 32, TOWNSHIP 4 NORTH, RANGE 2 EAST, BOISE MERIDIAN, GARDEN CITY, ADA COUNTY, IDAHO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF LOT 4, OF SAID BLOCK 17 OF FAIRVIEW ACRES SUBDIVISION NO. 3, THENCE FOLLOWING THE WESTERLY RIGHT-OF-WAY LINE OF EAST 42<sup>ND</sup> STREET, SOUTH 44°40'51" WEST A DISTANCE OF 99.86 FEET TO THE NORTHEAST CORNER OF SAID LOT 3, BLOCK 17, SAID POINT BEING THE **POINT OF BEGINNING**.

THENCE FOLLOWING SAID WESTERLY RIGHT-OF-WAY LINE, SOUTH 44°40'51" WEST A DISTANCE OF 272.65 FEET;  
THENCE FOLLOWING SAID WESTERLY RIGHT-OF-WAY LINE, SOUTH 89°41'42" WEST A DISTANCE OF 27.55 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF NORTH ADAMS STREET;  
THENCE LEAVING SAID WESTERLY RIGHT-OF-WAY LINE AND FOLLOWING THE SAID NORTHERLY RIGHT-OF-WAY LINE, NORTH 45°18'18" WEST A DISTANCE OF 250.16 FEET;  
THENCE FOLLOWING SAID NORTHERLY RIGHT-OF-WAY LINE, NORTH 46°25'32" WEST A DISTANCE OF 30.11 FEET;  
THENCE LEAVING SAID NORTHERLY RIGHT-OF-WAY LINE AND FOLLOWING THE WESTERLY LINE OF SAID LOTS 1, 2, & 3, BLOCK 17, NORTH 44°38'47" EAST A DISTANCE OF 292.72 FEET TO THE NORTHWEST CORNER OF SAID LOT 3;  
THENCE LEAVING SAID WESTERLY LINE AND FOLLOWING THE NORTHERLY LINE OF SAID LOT 3, SOUTH 45° 18'18" EAST A DISTANCE OF 299.92 FEET TO THE **POINT OF BEGINNING**.

PARCEL II:

A TRACT OF LAND BEING A PORTION OF LOT 4, BLOCK 17 OF FAIRVIEW ACRES SUBDIVISION NO. 3, ACCORDING TO THE PLAT THEREOF, FILED IN BOOK 11 OF PLATS AT PAGE 617, RECORDS OF ADA COUNTY, IDAHO, SITUATED IN THE SOUTHWEST ONE QUARTER OF SECTION 32, TOWNSHIP 4 NORTH, RANGE 2 EAST, BOISE MERIDIAN, GARDEN CITY, ADA COUNTY, IDAHO, DESCRIBED AS FOLLOWS:

**BEGINNING** AT THE NORTHEAST CORNER OF SAID LOT 4, BLOCK 17 OF FAIRVIEW ACRES SUBDIVISION NO. 3, THENCE FOLLOWING THE WESTERLY RIGHT-OF-WAY LINE OF EAST 42<sup>ND</sup> STREET, SOUTH 44°40'51" WEST A DISTANCE OF 99.86 FEET TO THE SOUTHEAST CORNER OF SAID LOT 4;  
THENCE LEAVING SAID WESTERLY RIGHT-OF-WAY LINE, AND FOLLOWING THE SOUTHERLY LINE OF SAID LOT 4, NORTH 45°18'18" WEST A DISTANCE OF 299.92 FEET TO THE SOUTHWEST CORNER OF SAID LOT 4;  
THENCE LEAVING SAID SOUTHERLY LINE AND FOLLOWING THE WESTERLY LINE OF SAID LOT 4, NORTH 44°38'47" EAST A DISTANCE OF 99.86 FEET TO THE NORTHWEST CORNER OF SAID LOT 4;  
THENCE LEAVING SAID WESTERLY LINE AND FOLLOWING THE NORTHERLY LINE OF SAID LOT 4, SOUTH 45°18'18" EAST A DISTANCE OF 299.98 FEET TO THE **POINT OF BEGINNING**.

PARCEL IV:

LOT 5 AND 6 IN BLOCK 17 OF FAIRVIEW ACRES SUBDIVISION NO. 3, ACCORDING TO THE PLAT THEREOF, FILED IN BOOK 11 OF PLATS AT PAGE 617, RECORDS OF ADA COUNTY, IDAHO.

EXHIBIT B-2  
CONSTRUCTION PLANS

(See attached)



**EXHIBIT C**  
**BURIED PIPE SYSTEM AND EASEMENT LOCATION**

((Close-up shot of upper left hand corner of Construction Plans attached as Exhibit B-2)

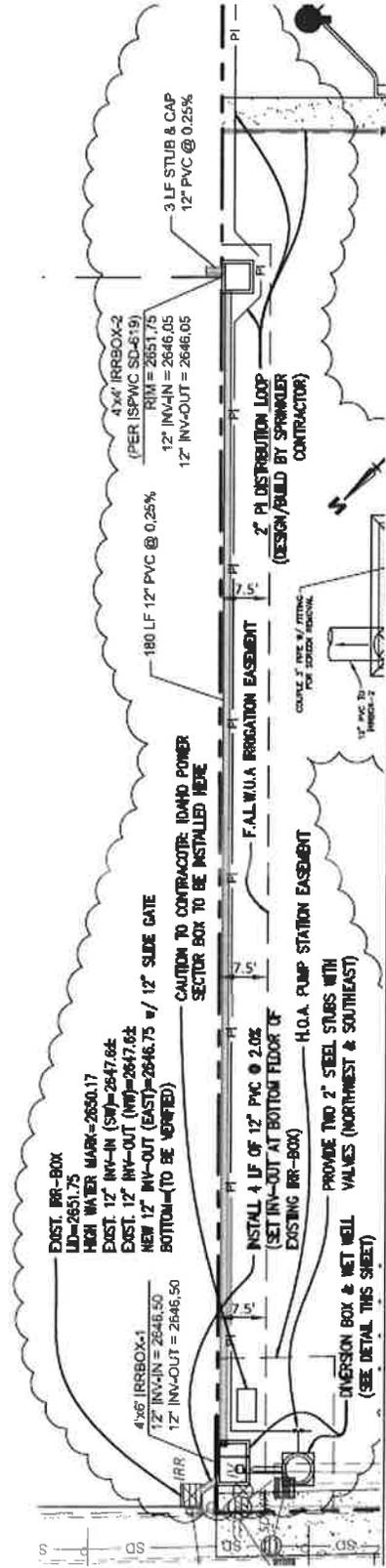


EXHIBIT D  
PURPOSE OF IRRIGATION BOX LICENSE

The purpose of the Irrigation Box License is to permit Licensee to:

1. To deliver gravity irrigation water to the Parkway Station Development, and as depicted on Exhibit C, Licensee will connect onto the Irrigation Box by modifying the Irrigation Box to provide a 12-inch PVC pipe stubbing into Licensee's Property from the southeast side of the Irrigation Box at 45-degree angle to Licensee's Property line. The 7 LF 12-inch PVC pipe will be controlled by a new 12-inch slide gate and extend into Licensee's Property approximately 3.5 feet before connecting onto a new onsite concrete diversion box.
2. Perform maintenance and repairs as needed to the facilities and materials described in paragraph 1 above to ensure the operation of the Irrigation Box connection.

No other construction or activity is permitted within or affecting the Irrigation Box or Irrigation Box Easement without the prior written consent of the Association.

**EXHIBIT E  
PRO RATA ACREAGE PERCENTAGES**

<b>Lot</b>	<b>Parcel #</b>	<b>Area (Acres)</b>	<b>Ratio</b>	<b>Owner</b>
Parkway, Lot 50	not platted	1	10.33%	Parkway Station LLC
405 E. 43rd	R2734521551			City of Garden City
411 E. 43rd	R2734521516	2.04	21.07%	Randy L. Hoffer
501 E. 43rd	R2734521512	0.34	3.51%	Forty Third LLC
505 E. 43rd	R2734521502	0.34	3.51%	T 6 Enterprise LLC
507 E. 43rd	R2734521491	0.33	3.41%	Jay Davis et al
511 E. 43rd	R2734521512	2.43	25.10%	Tempest Boise LLC
615 E. 43rd	R2734521441	0.68	7.02%	Lockner Investments LLC
615 E. 43rd	R2734521301	2.52	26.03%	Lockner Investments LLC
<b>Total</b>		<b>9.68</b>	<b>100.00%</b>	

Pump House | 0.22 acres |

**Transaction Identification Data for reference only:**

ISSUING OFFICE:	FOR SETTLEMENT INQUIRIES, CONTACT (NOT TITLE ONLY):
Title Officer: Shelly Pereira Fidelity National Title Company 485 East Riverside Dr., Suite 200 Eagle, ID 83616 Phone: 208-947-0506 Fax: 866-671-3899 Main Phone: (208)377-3190 Email: Shelly.Pereira@fnf.com	Escrow Officer: Brooke Brennan Fidelity National Title Company 485 East Riverside Dr., Suite 200 Eagle, ID 83616 Phone: 208-800-6123 Fax: 208-322-5829 Main Phone: (208)377-3190 Email: Brooke.Brennan@fnf.com

**Order Number: 34601807800**

**Property Address: TBD N Freeride Ln, Garden City, ID 83714**

**SCHEDULE A**

1. Commitment Date: April 30, 2018 at 07:30 AM

2. Policy to be issued:

(a) ALTA Owner's Policy 2006 Standard

Proposed Insured: Parkway Station LLC  
 Proposed Policy Amount: \$10,000.00  
 Premium: \$ 200.00  
 Total: \$ 200.00

(b) ALTA Loan Policy 2006 Extended

Proposed Insured: , its successors and/or assigns as their respective interests may appear.  
 Proposed Policy Amount: \$10,000.00  
 Premium: \$ 135.00  
 ALTA 22-06 - Location \$ No Charge  
 ALTA 8.1-06 - Environmental Protection Lien (CLTA 110.9-06) \$ 15.00  
 ALTA 9-06 - Restrictions, Encroachments, Minerals \$ 35.00  
 Total: \$ 185.00

3. The estate or interest in the Land described or referred to in this Commitment is:

Fee Simple

4. Title to the estate or interest in the Land is at the Commitment Date vested in:

Parkway Station, LLC, an Idaho limited liability company

5. The Land is described as follows:

**For APN/Parcel ID(s): R8583760500**

**Lot 50 in Block 1 of Twotown Parkway Subdivision, according to the official plat thereof, filed in Book 113 of Plats at Page(s) 16631-16635, records of Ada County, Idaho.**

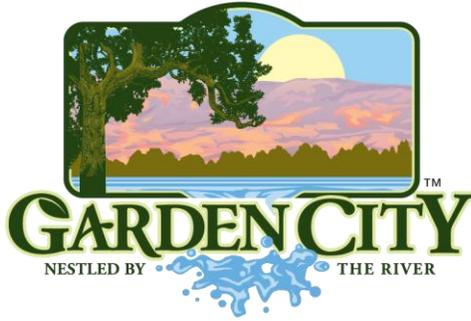
**END OF SCHEDULE A**

*This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Commonwealth Land Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.*

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## CITY OF GARDEN CITY

6015 Glenwood Street ■ Garden City, Idaho 83714  
Phone 208/472-2900 ■ Fax 208/472-2996

Chief Romeo Gervais  
Boise Fire Department  
333 Mark Stall Place  
Boise, Idaho 83704-0644

May 16, 2018

Subject: Ability to Provide Fire Flows

### **Fire Flow Information:**

Address fire flow requested for: Parkway Lot 50 Freeride Lane

Fire hydrant serving this address: E 42nd St. and Freeride Lane

Fire flow Garden City is able to provide is 2000 gpm at 20 psi residual for 2 hours.

### **Sprinkler System Design Information:**

Static pressure: 60

Residual pressure: 20 psi

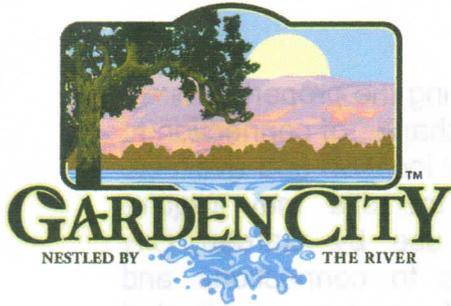
Minimum flow at residual pressure: 2000 gpm

For questions please contact the Garden City permitting desk at 472-2921.

Sincerely,

Garden City Public Works Water Division

cc:  
Applicant  
File



## CITY OF GARDEN CITY

6015 Glenwood Street • Garden City, Idaho 83714

Phone 208/472-2900 • Fax 208/472-2996

2 November 2017

Building Department  
City of Garden City  
6015 North Glenwood Street  
Garden City, Idaho 83714

Subject: **Proposed Mixed Use Building  
405 East 42<sup>nd</sup> Street  
Parcel Number R2734521002  
Water and Sanitary Sewer Ability to Serve  
ATS2018-1**

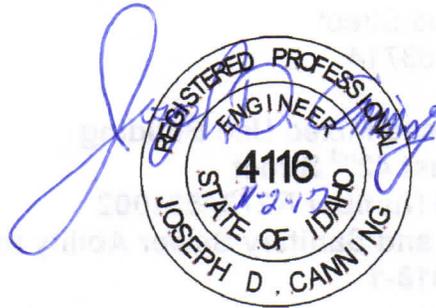
I am a consultant (employed by B & A Engineers, Inc.) appointed by the city council as the engineer for the city of Garden City. The referenced project is eligible to receive water and sewer service from the city of Garden City from existing infrastructure.

The city water system in the area provided a minimum fire flow of 2,000 gallons per minute with a residual pressure of 20 pounds per square inch for two hours based upon a letter dated 1 November 2017 (fire hydrant 3010) from the Garden City Public Works Water Division. Said system is capable of providing adequate fire protection capacity to serve a proposed facility if the North Ada County Fire and Rescue District determines that the project does not require more fire protection water than what is available from the city system. Should the District require more fire protection water than the current system is capable of providing, the owner of the project may be required to modify and propose construction to comply with the District's flow requirements and/or upgrade the city's water system. The District may also require additional fire hydrants.

If any new water mainline extensions or water service connections are proposed, they must be coordinated, reviewed and approved by the city prior to installation. Design and installation is the responsibility of the applicant.

The existing city sanitary sewer system is capable of serving the property if flows are reasonable in volume. If a new sewer connection or change of connection to the sewer system is necessary, the applicant must verify location and available grade to the city sewer system. Special uses on the site may require pretreatment of wastewater based upon review of use by Garden City Environmental. Any new sewer connections, changes to connections and discharges to Garden City sewer lines to serve the facility must be coordinated with Garden City Public Works. Design and installation is the responsibility of the applicant.

Sincerely,



J. D. Canning, PE/PLS  
B & A Engineers, Inc.  
Garden City Engineer

ec. Mr. Colin Schmidt  
Public Works Director  
City of Garden City

Mr. Troy Vaughn  
Garden City Collections/Construction Manager  
City of Garden City





# Form Request to Obtain Fire Flow Test

Permit info: \_\_\_\_\_  
 Application Date: \_\_\_\_\_ Rec'd by: \_\_\_\_\_  
 FOR OFFICE USE ONLY

6015 Glenwood Street ■ Garden City, Idaho 83714 ■ Phone 208/472-2900 ■ Fax 208/472-2996 ■  
 ■ Inspection Hotline Phone 208/472-2920 ■ WWW.Gardencityidaho.org ■

**Property Information:**  
 (Circle One): RESIDENTIAL / **COMMERCIAL**  
 Project Name Parkway Lot 50 Project Address: TBD N. Freeride Ln., Garden City  
 Parcel # R8583760500 Lot: 50 Block: 1 Subdivision: Twotown Parkway

### APPLICANT:

Name: Bill Truax, Galena Equity Partners  
 E-mail: bill@galenafund.com  
 Phone: 208-447-9114  
 Contact Cell: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 Address: PO Box 1158  
 City, State, Zip: Boise, ID 83701

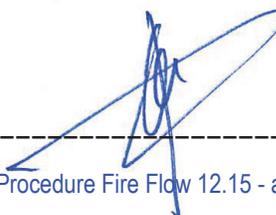
### Additional Information (CUP, DSR, SUB Tracking numbers, names etc.)

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

### Fees to Obtain Fire Flow:

Water Observation

(See Fee Schedule)

APPLICANT'S SIGNATURE:  DATE: 01.01.2020

Note: per Public Works Water Division Policy and Procedure Fire Flow 12.15 - all fire flow requests will be processed within 14 business days.



# ABILITY TO SERVE REQUEST

Permit info: \_\_\_\_\_  
 Application Date: \_\_\_\_\_ Rec'd by: \_\_\_\_\_  
 FOR OFFICE USE ONLY

6015 Glenwood Street ■ Garden City, Idaho 83714 ■ Phone 208/472-2921 ■ Fax 208/472-2996

**CONTACT INFORMATION:**  
 Company: Galena Equity Partners Name: Bill Truax E-mail: Bill@galenafund.com  
 Address: 999 W Main St, #1400 City Boise State ID Zip: 83702  
 Office Phone: 208-447-9114 Cell: 208-447-9114 Fax: \_\_\_\_\_

**SITE INFORMATION**  
 Project Description 140 unit multifamily/mixed-use retail  
 Project Street # TBD Street Name: N Freeride Ln, Garden City ID 83714  
 Subdivision: Twotown Parkway Lot: 50 Block: 1 Parcel # R8583760500

Number of Units 140  
 Water Service Connection:  5/8"  1"  1.5"  2"  3"  4"  6"  N/A   
 Sewer Connection  Y  X  N  
 Fire Suppression Service Connection to City Main:  4" Sprinkler  6" Sprinkler  8" Sprinkler  
 Hydrant

FOR NEW COMMERCIAL / TI COMMERCIAL PROJECTS ONLY						
Fixtures:	Number of Existing	Number of New	Fixtures:	Number of Existing	Number of New	Restaurants
Bathtub or Combination Bath/Shower		180	Sinks/Bar		180	<i>Please provide square footage area for all seating:</i>
3/4" Bathtub Fill Valve			Sinks/Clinic Faucet		10	
Bidet			Sinks/Clinic Flushometer Valve with or without faucet		5	Indoor
Clothes washer		140	Sinks/Special Purpose 1-1/2"			Outdoor
Dental Unit, cuspidor			Sinks/Special Purpose 2"		2	Bar
Dishwasher, domestic		143	Sinks/Special Purpose 3"		3	Banquet
Drinking Fountain or Watercooler		3	Sinks/Kitchen, domestic		140	Other
Food-Waste-Grinder, commercial			Sinks/Laundry			
Floor Drain		190	Sinks/Service or Mop Basin		5	
Hose Bibb		10	Sinks/Washup, each set of faucets			
Hose Bibb, each additional			Sinks/Service, flushing rim 3"			
Shower, single-head trap		180	Washfountain			
Multi-head, each additional			Urinal, 1.0 GPF or greater than 1.0 GPF		6	
Lavatory		180	Washfountain, circular spray			
Lavatory, in sets of two or three		6	Water Closet, 1.6 GPF Gravity Tank/Flushometer Tank/Flushometer Valve		200	
Lawn Sprinkler, each head		75	Water Closet, greater than 1.6 GPF Gravity Tank/Flushometer Valve			

The applicant is responsible to **submit 2 copies and a digital copy** of the following information for Ability To Serve Letter:

1. Fire system description & copy of approval from fire department.
2. Site plan
3. Sewer line connection or addition description-detail.
4. Fire Flow Letter

The submittal of the above information does not guarantee that an "Ability to Serve" letter will be issued. Public Works shall conduct a review of the submitted information. There may be a request for additional information as necessary. Please contact Garden City Public Works with further questions.

Applicants Signature: \_\_\_\_\_ DATE: 01.01.2020



# SUSTAINABILITY CHECKLIST

**6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921**  
 ▪ [www.gardencityidaho.org](http://www.gardencityidaho.org) ▪ [planning@gardencityidaho.org](mailto:planning@gardencityidaho.org)

Compliance with 8-4G is required for all new non-residential structures, new additions over 5,001 sq. ft. to existing non-residential structures, and all new residential developments over 4 units. This is accomplished through a point system. For more details, consult 8-4G of the Garden City Code.

The following projects are exempt from the requirements of 8-4G:

1. A project that can be certified by a nationally or regionally recognized program for green building construction and/or development.
2. A residential or non-residential development that will be:
  - L a. Built to the maximum density or a floor area ratio of 1.0;
  - L b. Located on a site that was previously developed with at least 50% site coverage;
  - L c. Located within ¼ mile of a residential zone with an average density of (10) unites per acres net; D5F ? K 5MGH5H=CB '@7ž D5F ? 5M( \$) '@7ž'
  - L d. Located within ¼ mile walking distance of at least two of the following basic services:
    - i. Restaurant
    - ii. Church or Place of Religious Worship
    - iii. Food Store
    - iv. Day Care
    - v. Dry Cleaning Establishment
    - vi. Personal or Professional Services BANK OF THE CASCADES
    - vii. Health Care and Social Services
    - viii. Post Office
    - ix. School FUTURE PUBLIC SCHOOL, ANSER CHARTER
    - x. Health Club BOYS & GIRLS CLUB
3. A mixed use project in compliance with the requirements as set forth in Article 8-3G of this title. X

Place a "x" next to the development that applies to your project.

<b>X</b>	<b>Type of Development</b>	<b>Points required</b>
	New residential development over 4 units	6 pts. per unit
	New Non-residential development: 5,000 sq. ft. or less	12 pts.
	New Non-residential development: 5,001 – 15,000 sq. ft.	18 pts.
	New Non-residential development: 15,001 – 30,000 sq. ft.	24 pts.
	New Non-residential development: Over 30,000 sq. ft.	32 pts.
	Non-residential additions: 5,001 – 15,000 sq. ft.	12
	Non-residential additions: 15,001 – 30,000 sq. ft.	18
	Non-residential additions: Over 30,000 sq. ft.	24 pts

Using the checklist below, place an "x" next to the sustainable criteria utilized in the project. Usage of each criteria will need to be shown on the site plan and/or landscaping plan or other appropriate plan. Failure to meet the requirements of 8-4G may result in the denial of the project.

X	Sustainable Criteria	Development Type	Points
	Project located within ¼ walking distance of one or more stops of a TOD or established public transit line usable by building occupants	ALL	4
	Shower and changing facilities for employees who may walk or bike to work are provided	Non-residential	2
	A board or computer is located in a public space that provides the following information for both employees and customers A. Information on carpooling programs B. Transit trip planning assistance C. Transit Maps D. Maps of preferred bike routes and the location(s) of secure bicycle parking, lockers and showers, if provided	Non-residential	1
	Employees are provided at no cost membership in a car-share or van-pool program in which (1) the contract is for at least 2 years, and (2) preferred parking is provided for shared parking, and (3) it is demonstrated that these cars are capable of servicing 5% of the employees	Non-residential	1
	Incentives are provided for employees who carpool or use alternative transportation to get to work. Potential incentives may include guaranteed ride home programs, preferred parking, or transit pass subsidies.	Non-residential	1
	Bike parking is provided that exceeds the standard set forth in Section XX of this code	Non-residential	2
	Pedestrian pathway or bike trails are dedicated for public use		4
	An easily accessible area is provided that serves the entire building and is dedicated to the collection and storage of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, and metals	ALL	1
	In re-construction of existing sites, at least fifty (50) percent of non-hazardous construction and demolition debris is recycled and/or salvaged	ALL	3
	At least fifty (50) percent (based on surface area) of the existing building structure is incorporated or reused in the new structure.	ALL	2
	A minimum of fifty (50) percent of the parking spaces is provided under cover, including under deck or under roof.	Non-residential	3
	Parking is provided underground or below, habitable space.	Non-residential; multi-family residential	1 per two spaces

Any combination of the following for fifty (50) percent of the side hardscape including roads, sidewalks, courtyards, and parking lots is provided: A. Shade (within 5 years of occupancy) B. Paving materials with a Solar Reflectance Index (SRI) of at least 29 C. Open grid pavement system	Non-residential; multi-family residential	3
A vegetated roof for at least fifty (50) percent of the roof area is provided	ALL	3
Use of alternate sources of energy		
Solar collectors are an allowed structure in the CC&R's	Residential	2
Only captured rain water, recycled wastewater, recycled gray water, or water treated is used for non-potable uses for irrigation	ALL	4
Landscaping is provided that does not require permanent irrigation systems. Temporary irrigation systems used for plan establishment are allowed only if removed within one year of installation	ALL	3
If irrigation is provided, a drip irrigation system is used.	ALL	2
Alternative surfaces (e.g., vegetated roofs, pervious pavement or grid pavers) and nonstructural techniques (e.g., rain gardens, vegetated swales, disconnection of imperviousness, rainwater recycling) are used to reduce imperviousness and promote infiltration thereby reducing pollutant loadings	ALL	3
Storm water volumes generated from the site are reused for non-potable uses such as landscape irrigation, toilet and urinal flushing and custodial uses.	ALL	3
A storm water infiltration and retention system is provided on the site.	ALL	1
Vegetated open space areas are provided adjacent to the building that is equal to the building footprint	Non-residential	2
The project design restores surface water systems, including streams and wetlands.	ALL	4
The project design retains all trees on the site that are four (4) inch caliper or greater in size.	ALL	3
The development footprint is located in the footprint of a previous building or impervious surface area.	ALL	2
Land is dedicated for conservation of habitat or wetlands	ALL	4
An area of ten (10) percent of the project site is dedicated for community gardens.	ALL	3
A minimum of one acres of land is dedicated for permanent agriculture use.	ALL	4

**Total Points Required for Project:**                      **EXEMPT**

**Total Points From Checklist**                      **EXEMPT**