



DESIGN REVIEW PRE-APPLICATION MEETING REQUEST

Permit info: DSRFY2019-8
Application Date: 4/11/19 MK
FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921
▪ www.gardencityidaho.org ▪ planning@gardencityidaho.org

The objectives of the design review process is to involve the City in the earliest possible time in the development and design of a project and to work with the applicant in an iterative process of review and design. The review process is intended to be flexible and tailored to the needs of the project and the applicant.

The checklist and required materials are due fifteen (15) business days prior to the Design Committee meeting. Late submissions will not be accepted under any circumstances.

APPLICANT INFORMATION

Name: Tyler Frazier Phone: 208-943-1730
Email: Tyler@TheFCIGroup.com Firm: The FCI Group
Proposed Site Address:
6965 U Glenwood Street
Date of Requested Meeting:
12th or when available

DESIGN INFORMATION

Proposed Use: urgent care / primary care
Surrounding Uses: Retail / Restaurant
Zoning: Comprehensive Plan Designation
existing Building
Is the property located in the 100 year flood plain?
YES NO

List the locations of any potential wildlife habitat areas on the property:

N/A

List the locations of bus stops and pedestrian pathways within ¼ mile of the property:

existing Building

List any easements and locations of water, sewer and irrigation:

APPLICATION INFORMATION REQUIRED

NOTE:

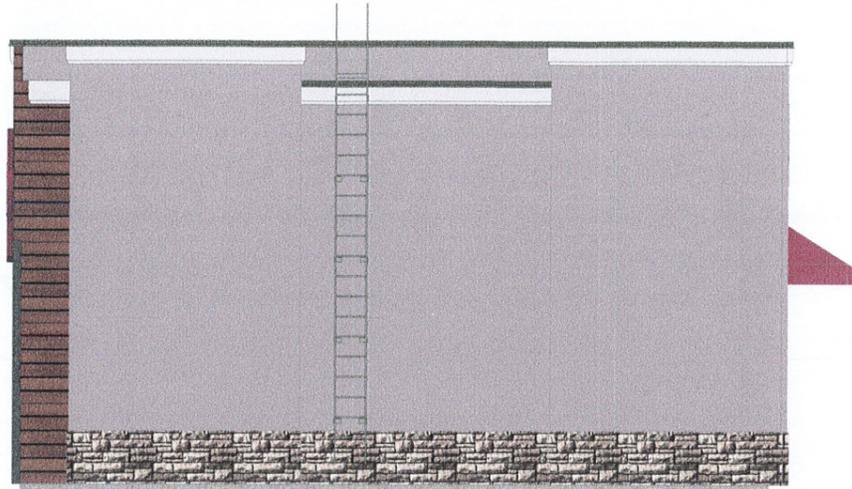
AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED

Site Plan Including Surrounding Development
Elevations

Landscaping Plan
Vicinity Map



REAR ELEVATION
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"



SIDE ELEVATION
1/4" = 1'-0"



ENTRY SIDE ELEVATION
1/4" = 1'-0"

GENE C. ULMER
ARCHITECT

1506 S. SECRETARIAT WAY
NATITA, ID 83686
(208) 893-0674 • gculmerarchitect.com

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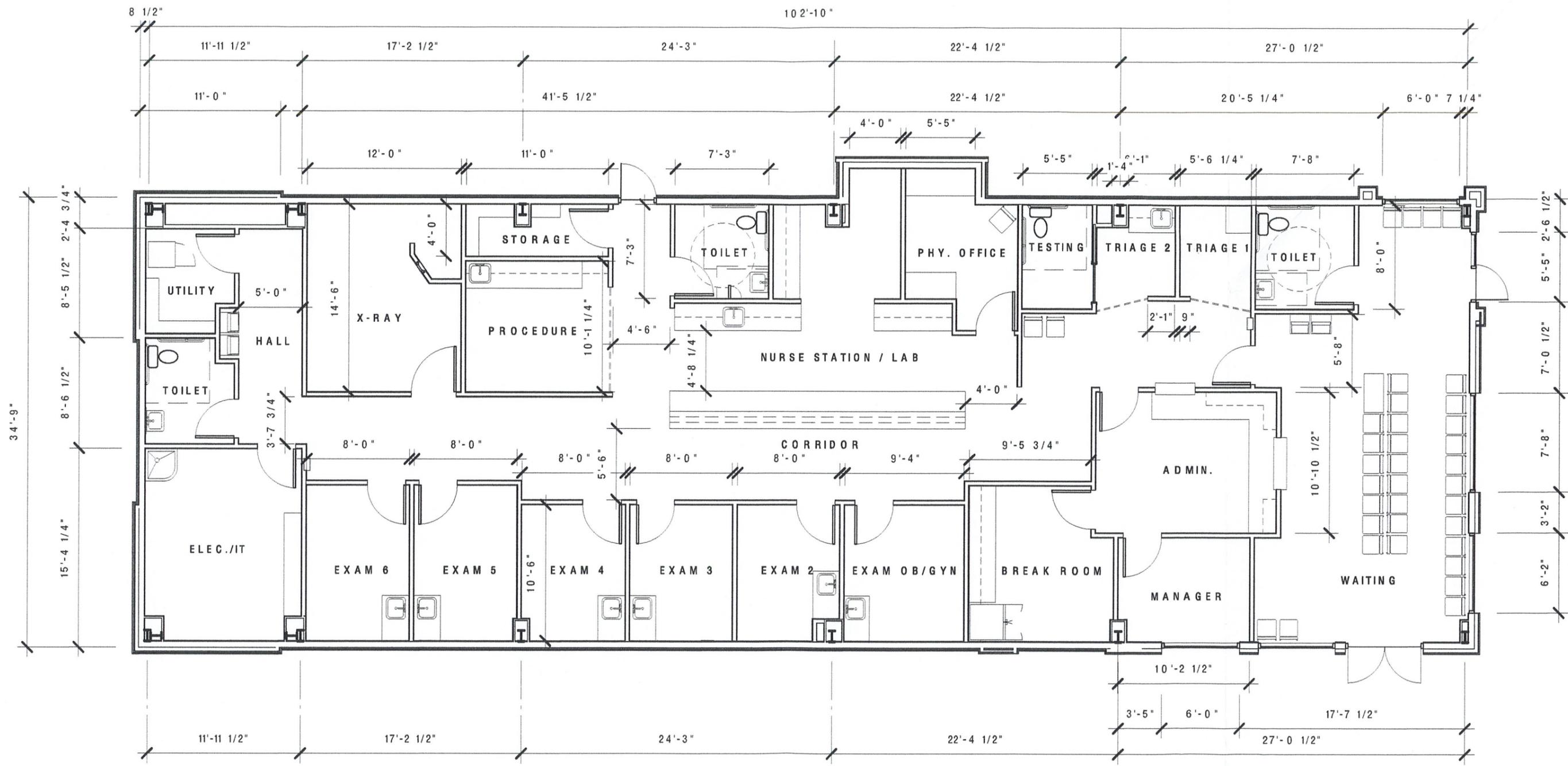
GARDEN CITY
DEVELOPMENT SERVICES

AMERICAN FAMILY CARE "11"
6965 NORTH GLENWOOD STREET
GARDEN CITY ID, 83714
EXTERIOR ELEVATIONS

NO.	REVISION	DATE
1		
2		
3		

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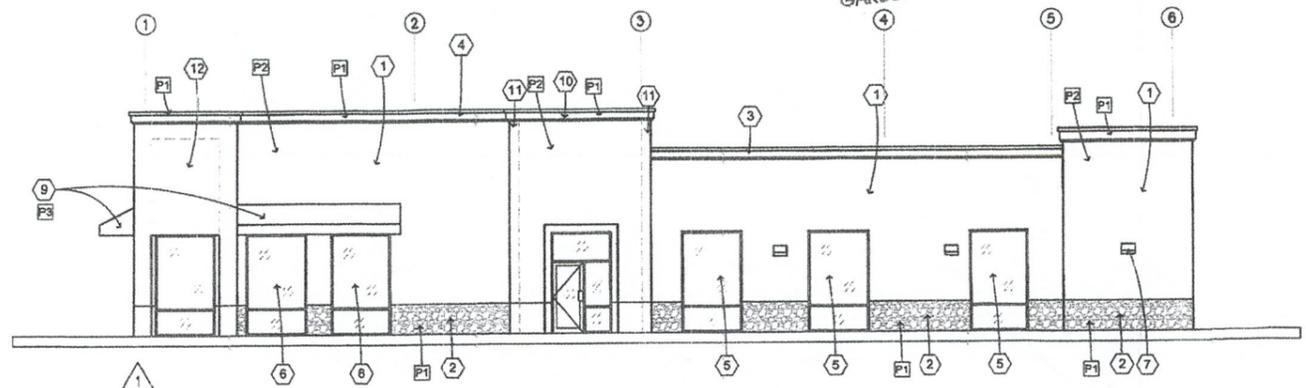
PROJECT NO:	2019	SHEET	A201
DATE:	APR 9, 2019		



PROPOSED AMERICAN FAMILY CARE - GARDEN CITY, ID (4/8/19)

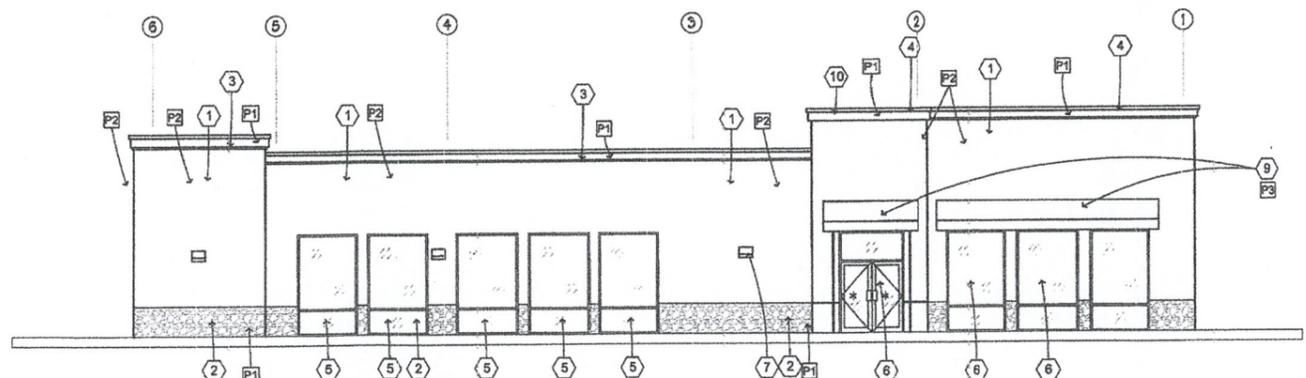
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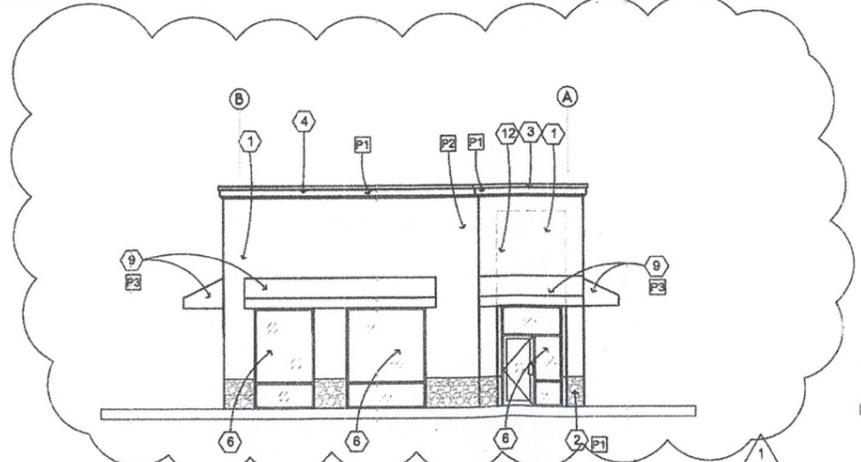
NORTH ELEVATION

SCALE 1/8" = 1'-0"



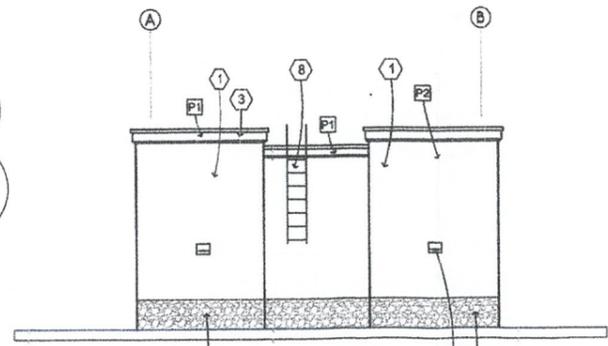
SOUTH ELEVATION

SCALE 1/8" = 1'-0"



EAST ELEVATION

SCALE 1/8" = 1'-0"



WEST ELEVATION

SCALE 1/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

- ① Existing EIF/Stucco system to be painted.
- ② Existing Stone Veneer to be painted.
- ③ Existing Parapet Cap and Band to be painted.
- ④ Proposed Parapet Height Extension See Sections.
- ⑤ Clear insulated fixed glass (low 'E') in clear anodized aluminum frames. New opening to 10' A.F.F. see Sch.
- ⑥ Clear insulated fixed glass (low 'E') in clear anodized aluminum frames. Extend exist. openings to 10' A.F.F. see schedule.
- ⑦ Existing light fixture Relocate as Required.
- ⑧ Existing Roof Ladder Paint.
- ⑨ New Fabric Awning.
- ⑩ Frame New Raised Straight Parapet to Replace Curved Parapet Element Typ. (2) Locations.
- ⑪ Frame as Required Bump Out to Make Entry Element Wide See Floor Plan for Dimensions.
- ⑫ Existing Recessed Area To Be Infilled with new Framing and Stucco System.

See Sheet A-2.1 / A-2.2 for Window and Door Tags and Schedules.

POST ADDRESS SIGNS MIN. 6' HIGH W/ CONTRASTING BACKGROUND COLOR FROM WALL SURFACE IN LOCATION(S) AS DIRECTED BY FIRE DEPARTMENT.

EXTERIOR PAINT COLORS

- (Glidden Professional UNO)
- P1 Jefferson House, A1810
 - P2 Hale Village, A1827
 - P3 SW 908, Cardinal, SE (Sherwin Williams)

6965 N GLENWOOD STREET
GARDEN CITY, ID 83714
CONTACT:

13-623
PROJECT NUMBER.

REVISIONS:
06/14/2013 PERMIT SET

07/19/2013 CITY DESIGN REVIEW

Existing Building Elevations

SHEET TITLE:
ELEVATIONS (PROPOSED)

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GARDEN CITY DEVELOPMENT SERVICES

A-3.1

Key Notes

1. INLET PROTECTION INSERT (SOCK) @ ALL STORM DRAINS AND IRRIGATION BOXES. ANY AFFECTED DOWNSTREAM INLETS NOT INDICATED ON PLAN SHALL ALSO BE PROTECTED. RE: 1/A-1.0
2. SOLID WASTE RECEPTACLE.
3. EROSION CONTROL SIGN.
4. PORTA-POTTY.
5. CONSTRUCTION MATERIALS STAGING AREA.
6. REMOVE EXISTING ASPHALT PAVING AS NOTED. REGRADE TO ACHIEVE POSITIVE DRAINAGE WITH NEW LAWN AREAS.
7. NEW 5' WIDE CONCRETE SIDEWALK AND STAIRS TO EXISTING SIDEWALK ON STREET. VERIFY GRADES IN FIELD.
8. NEW 5' WIDE CONCRETE STAIRS AND 1-1/2" HANDRAIL EA. SIDE, MTD. 36" A.F.F. EXTEND PAST 12" TOP AND BOTTOM OF STEPS. SEE DETAIL 2/A-1.0.

General Notes

- A. THIS SHEET IS INTENDED TO BE USED AS THE APPROVED EROSION & SEDIMENT CONTROL PLAN DOCUMENT FOR THE PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICABLE SAFETY LAWS OF ANY JURISDICTIONAL BODY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES & TRAFFIC CONTROL W/IN & AROUND THE CONSTRUCTION AREA.
- B. TEMPORARY EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
- C. THE EROSION CONTROL PLAN IS INTENDED TO GENERALLY REPRESENT THE EROSION CONTROL PRACTICES & DEVICES REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE SITE. THE "RESPONSIBLE PERSON" SHALL INSPECT THE SITE PERIODICALLY, ESPECIALLY AFTER RAIN EVENTS, TO VERIFY THAT NO SEDIMENT IS LEAVING THE SITE. ADDITIONAL INSTALLATION OF DEVICES AND/OR PRACTICES MAY BE REQUIRED, AS SITE CONDITIONS DICTATE.
- D. ALL NECESSARY ACTION SHALL BE TAKEN TO MINIMIZE DEPOSITING & TRACKING OF MUD, DIRT, SAND, GRAVEL, ROCK OR DEBRIS ONTO THE PUBLIC RIGHT-OF-WAY.
- E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN-UP OF THE PUBLIC RIGHTS-OF-WAY OR ADJACENT PRIVATE PROPERTY FROM ANY DEPOSITING OR TRACKING OF MUD, DIRT, SAND, GRAVEL, ROCK OR DEBRIS, OR SHALL REIMBURSE THE CITY FOR ANY EXPENSES INCURRED BY THE CITY TO EFFECTUATE THE CLEAN-UP.
- F. NO DEBRIS, DIRT, AGGREGATE OR EXCAVATED MATERIALS, OR CONSTRUCTION SUPPLIES SHALL BE PLACED ON THE PUBLIC RIGHT-OF-WAY UNLESS PERMITTED BY THE ADA COUNTY HIGHWAY DISTRICT OR OTHER CONTROLLING ENTITY. IN ADDITION, PUBLIC SIDEWALKS SHALL NOT BE REMOVED, BLOCKED OR OTHERWISE RENDERED UNUSABLE BY CONSTRUCTION ACTIVITY, EQUIPMENT OR MATERIALS, OR PORTABLE TOILETS, UNTIL A SIGNING & DETOUR PLAN IN ACCORDANCE W/ MUTCD TRAFFIC CONTROL FOR PEDESTRIAN SAFETY & ACCESS HAS BEEN APPROVED BY ACHD & IS IN PLACE.
- G. ALL TEMPORARY EROSION & SEDIMENT & CONTROL MEASURES SHALL BE APPROVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT & OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED W/IN 30 DAYS FROM THE REMOVAL OF THE TEMPORARY MEASURES.
- H. THE BEST MANAGEMENT PRACTICES SHALL MEET THE CRITERIA & SPECIFICATIONS OF THE STATE OF IDAHO CATALOG OF BEST MANAGEMENT PRACTICES FOR IDAHO CITIES & COUNTIES PREPARED BY THE DEPARTMENT OF ENVIRONMENTAL QUALITY.
- I. CONTRACTOR SHALL NOT SWEEP OR FLUSH ANY DEBRIS INTO ANY EXISTING STORM DRAIN FACILITIES.
- J. AT A MINIMUM, THE CONTRACTOR'S "RESPONSIBLE PERSON" SHALL INSPECT THE SITE BEFORE & AFTER STORM EVENTS & AT 24-HOUR INTERVALS DURING EXTENDED STORMS. THE EROSION & SEDIMENT CONTROL PLAN PERMIT MAY REQUIRE ADDITIONAL INSPECTIONS.
- K. THE CURRENT CONSTRUCTION SITE INSPECTION CHECKLIST SHALL BE AVAILABLE AT THE JOB SITE FOR REVIEW DURING REGULAR HOURS OF CONSTRUCTION.

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DSR-2013-00013
APPROVED
JUL 30 2013
GARDEN CITY

existing landscap
existing site

A NEW BUILDING FOR:
MATTRESS FIRM
6965 N GLENWOOD STREET
GARDEN CITY, ID 83714
CONTACT:
PENNON CONSTRUCTION CO. INC.
5503 1ST AVE SOUTH, SUITE 100
SEATTLE, WA 98106
(206) 418-0235

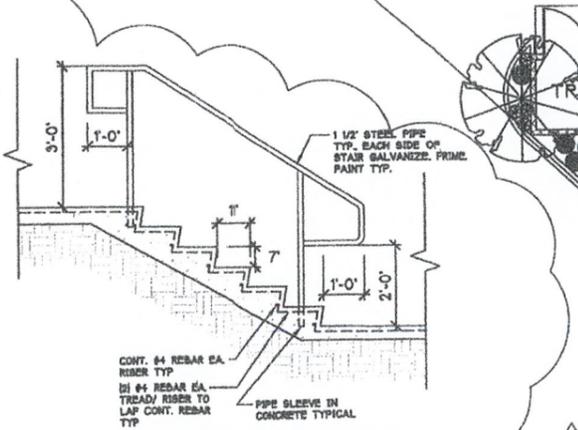
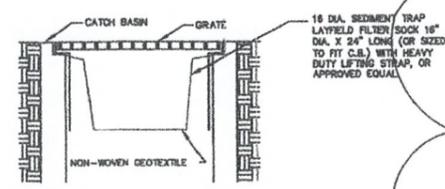
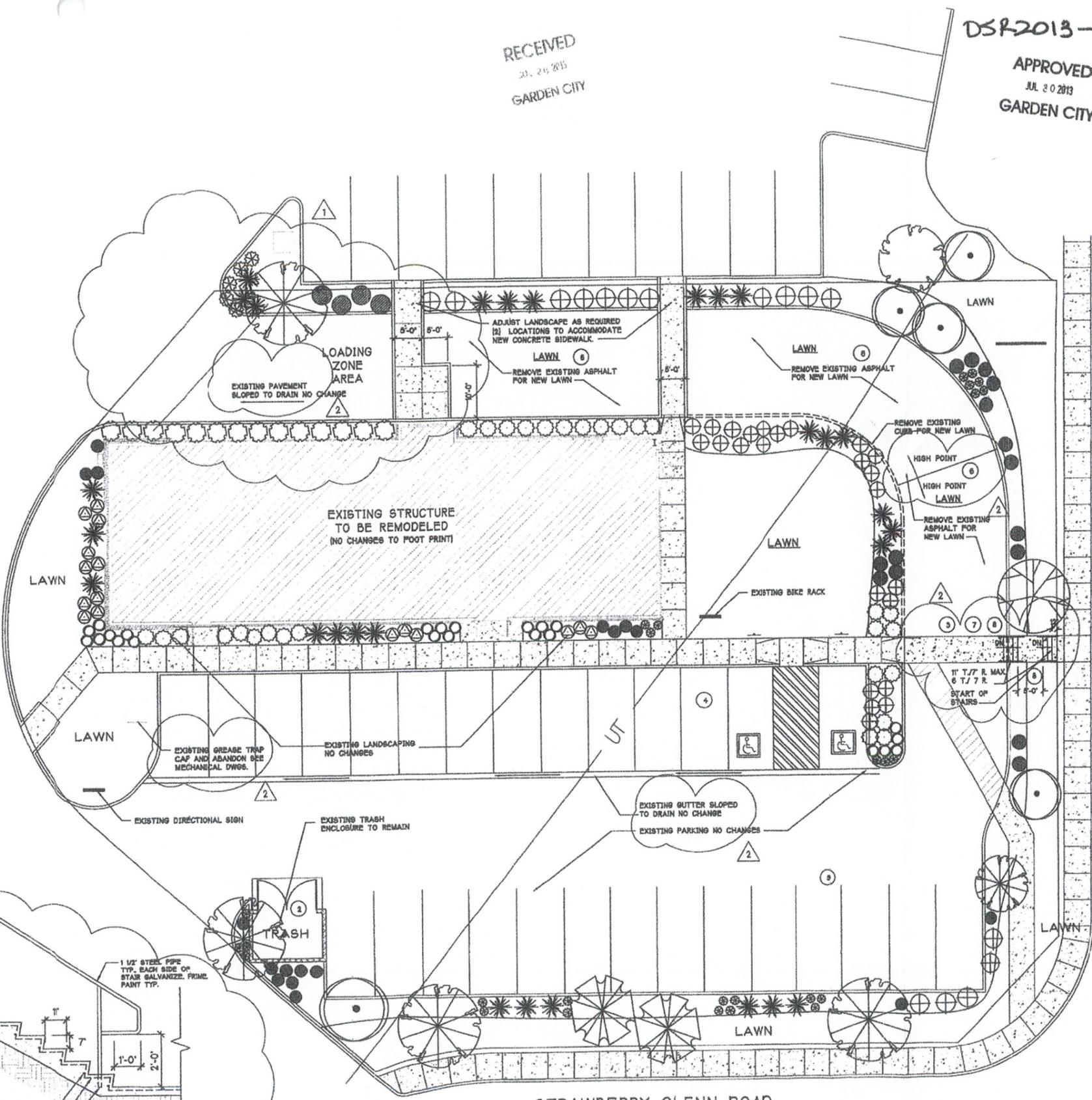
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GARDEN CITY
DEVELOPMENT SERVICES
PROJECT NUMBER:

REVISIONS:
06/14/2013 PERMIT SET
07/16/2013 CITY DESIGN REVIEW

SHEET TITLE:
SITE PLAN EXIST/PROPOSED
T.E.S.C PLAN

QUENTIN SUTTER
PROJECT ARCHITECT,
QS & ELA
DRAWN BY:
PETER J. CARLETTI
CHECKED BY:
JUNE 14, 2013
DATE
S:\ARCH\13\DRAWINGS\13-604
COMPUTER FILE NAME



1 DRAIN BASIN PROTECTION
NTS

2 CONCRETE EXTERIOR SITE STAIRS
SCALE: 1/2"=1'-0"

STRAWBERRY GLENN ROAD



Site Plan Existing/Proposed/T.E.S.C. PLAN
1"=10'-0"

BLD-2013-00087

A-1.0
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DOOR SCHEDULE

1. Pair 3'-0" x 7'-0" x 1 1/2" full lite clear tempered Low 'E' glass, U=60 min. in aluminum storefront frame. Provide threshold (1/2" max. ht.), weatherstripping, closer, latch and sign posted. These Doors To Remain Unlocked During Occupied Hours with minimum 1" high letters over contrasting background. Overhead concealed closer, tubular push/pull hardware.
2. Single 3'-0" x 7'-0" x 1 1/2" full lite clear Low 'E' glass, U=60 min. tempered glass in aluminum storefront frame. Provide threshold (1/2" max. ht.), weatherstripping, closer, latch and sign posted. These Doors To Remain Unlocked During Occupied Hours with minimum 1" high letters over contrasting background. Overhead concealed closer, tubular push/pull hardware.
3. Single 3'-0" x 7'-0" x 1 1/2" Solid core wood door (18 ga. min.) in hollow metal frame (16 ga. min.) w/ kick plates (18" x 34") and privacy lock.
4. Single 3'-0" x 7'-0" x 1 1/2" Solid core wood door (18 ga. min.) in hollow metal frame (16 ga. min.), with kick plates (18" x 34"), closer and a keyed lock.

GENERAL DOOR NOTES

1. Paint steel doors and frames with one (1) coat rust inhibiting primer and one (1) coat semi-gloss alkyl enamel. Color by Owner.
2. All door hardware to be medium duty 'Schlage' lever type with finish per Owner's direction. Verify keying with Owner. Master key all exterior doors.
3. Provide door stops as required at floor and wall.
4. All thresholds to be a maximum height of 1/2".
5. Door locks and latches shall comply with IBC Section 1008.1.8.3 and ANSI Section 409.2.6
6. All exits to be operable from the inside without the use of key and/or special knowledge (U.N.O.).
7. NOT USED.
8. Interior doors (U.N.O.) to be stain grade rotary cut natural Birch Solid core w/ clear sealer.
9. Under cut bottoms of doors 3/4".
10. All interior doors to have 16ga. min. hollow metal frames. Prime & Paint.

FLOOR PLAN LEGEND

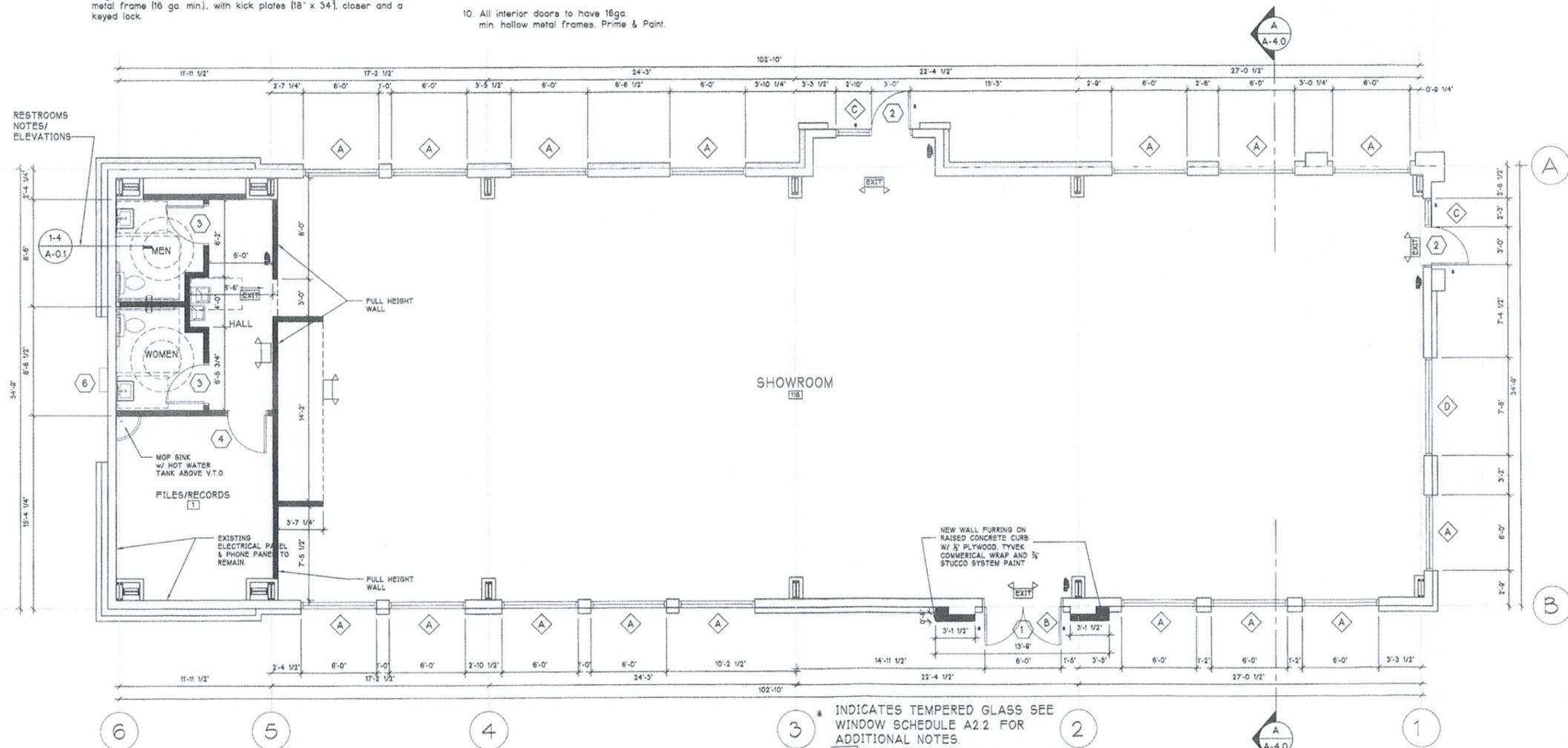
- EXIT: DIRECTIONAL EMERGENCY EXIT SIGN HARDWARE W/ BATTERY BACKUP
- EXIT: COMBINATION EXIT SIGN/EMERGENCY LIGHTING WITH BATTERY BACKUP HARDWARE
- EXIT: EMERGENCY LIGHTING W/ BATTERY BACKUP HARDWARE
- I: EXISTING STEEL MAIN FRAME
- (X): DOOR NUMBER SEE SHEET A-2.2 FOR SCHEDULE
- (X): WINDOW NUMBER SEE SHEET A-2.2 FOR SCHEDULE
- NEW 2X6 OR 2X4 WD WALLS @ 16" O.C. W/ 5/8" SWD TAPE / FINISH EACH SIDE. FRAME FULL HEIGHT AS NOTED. FRAME ALL OTHER INTERIOR WALLS TO 12'-6" A.F.F. BRACE TO STRUCTURE ABOVE.
- 4" BRICK OR CMU VENEER TO REMAIN
- EXISTING EXTERIOR WALLS TO REMAIN

FLOOR PLAN NOTES:

1. CONFIRM ALL ROUGH OPENINGS FOR DOORS AND WINDOWS PRIOR TO FRAMING AND ORDERING.
2. VENT HOT WATER TANK OUTSIDE AS REQUIRED. PROVIDE RELIEF VALVE PAN AND SEISMIC STRAPPING AS REQUIRED.
3. ALL EXTERIOR WALLS TO RECEIVE NEW 5/8" SWD VAPOR BARRIER, TAPE, FINISH & PAINT.
4. ALL FURNITURE DESK P.T.I.T.
5. VERIFY NEW OPENINGS W/ EXISTING EXTERIOR LIGHTS & FRAMING PRIOR TO DEMOLISH.

EXIT PLAN NOTES:

1. TABLE 1014.3 TRAVEL DISTANCE TO COMMON PATH OF TRAVEL < 100'-0" (OK)
2. TABLE 1016.1 OVERALL EXIT TRAVEL DISTANCE < 200'-0" FOR (B OCC) (OK)
3. SECTION 1015.2.1 EXITS NEED TO BE GREATER THAN 1/2 THE DIAGONAL DISTANCE APART WHERE THERE IS REQUIRED TO BE MORE THAN ONE EXIT. (OK)
4. MINIMUM NUMBER OF EXITS PER TABLE 1021.1 FOR AN OCCUPANT LOAD OF 1 TO 500 2 EXITS REQUIRED PROVIDE (2) EXITS (OK)
5. INSTALL EXIT LIGHTS & FIRE EXTINGUISHERS SHOWN ON PLAN AND AS DIRECTED BY THE FIRE MARSHALL



FLOOR PLAN (PROPOSED)
SCALE 1/4" = 1'-0"

- 3 INDICATES TEMPERED GLASS SEE WINDOW SCHEDULE A2.2 FOR ADDITIONAL NOTES
- 116 OCCUPANT LOAD FOR EACH ROOM
- INDICATES FIRE EXTINGUISHER MIN RATING TO BE 2A:10 BC WITH MAX. TRAVEL DISTANCE OF 75'
- A WINDOW TAG SEE SHEET A2.2 FOR WINDOW & DOOR SCHEDULE
- 1 DOOR TAG SEE SHEET A2.2 FLOOR WINDOW & DOOR SCHEDULE

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LICENSED ARCHITECT
AR 985604
QUENTIN SUTTER
STATE OF WASH.

A NEW BUILDING FOR
MATTRESS FIRM
6965 N GLENWOOD STREET
GARDEN CITY, ID 83714
CONTACT:
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13-623
PROJECT NUMBER

REVISIONS
06/14/2013 PERMIT SET

SHEET TITLE
FLOOR PLAN (PROPOSED)

QUENTIN SUTTER
PROJECT ARCHITECT
OS & ELA
DRAWN BY:
PETER J. CARLETTI
CHECKED BY:
MAY 3, 2013
DATE
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COMPUTER FILE NAME

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existing floor plan

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