



DESIGN REVIEW PRE-APPLICATION MEETING REQUEST

Permit info: DSRFY2019-6
Application Date: 3/29/19 MK
FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921
▪ www.gardencityidaho.org ▪ planning@gardencityidaho.org

The objectives of the design review process is to involve the City in the earliest possible time in the development and design of a project and to work with the applicant in an iterative process of review and design. The review process is intended to be flexible and tailored to the needs of the project and the applicant.

The checklist and required materials are due fifteen (15) business days prior to the Design Committee meeting. **Late submissions will not be accepted under any circumstances.**

APPLICANT INFORMATION

Name: Jeff Hatch

Phone: 208-475-3204

Email: jeff@hatchda.com

Firm: Hatch Design Architecture

Proposed Site Address: 503 E. 47th St, Garden City, ID 83712

Date of Requested Meeting: 03-28-19

DESIGN INFORMATION

Proposed Use: Mixed Commercial

Surrounding Uses: Auto Wrecker Yard, residential, storage, mixed commercial.

Zoning: C-2

Comprehensive Plan Designation
Mixed Commercial

Is the property located in the 100 year flood plain?

[YES] NO

List the locations of any potential wildlife habitat areas on the property:

N/A

List the locations of bus stops and pedestrian pathways within 1/4 mile of the property:

Adams St. & E. 46th St. Bus Stop, Greenbelt.

List any easements and locations of water, sewer and irrigation:

APPLICATION INFORMATION REQUIRED

NOTE:

AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

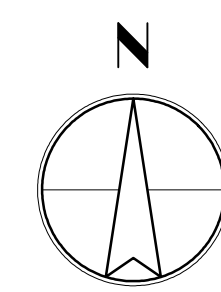
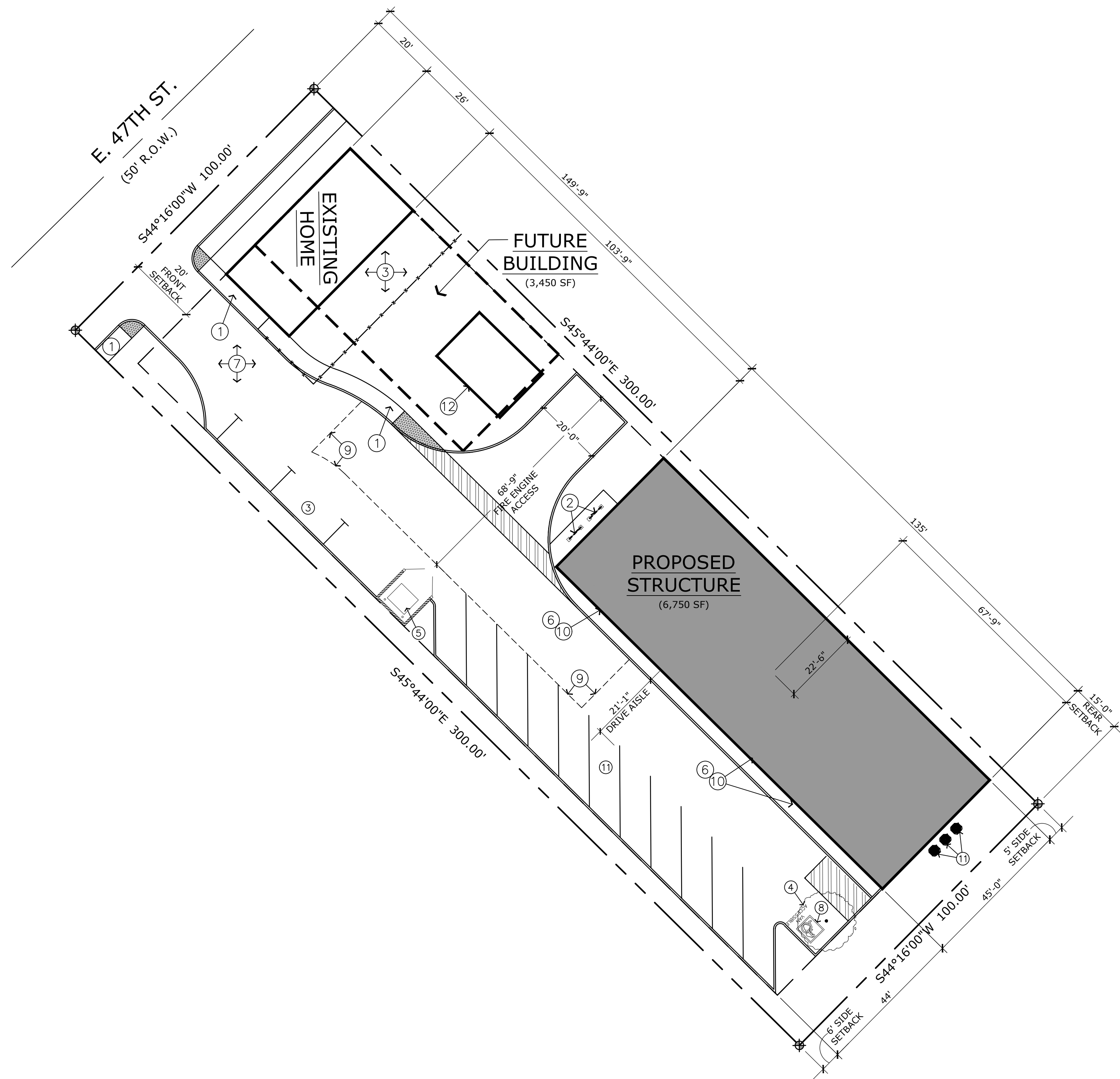
ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED

Site Plan Including Surrounding Development
 Elevations

Landscaping Plan
 Vicinity Map

SITE REFERENCE PLAN

SCALE: 1" = 20'-0"



SITE CALCS

IMPERVIOUS SURFACES	44%	13770	SF
EX. BUILDING FOOTPRINT	4.5%	1352	SF
NEW BUILDING FOOTPRINT	14.5%	6750	SF
LANDSCAPING	37%	8101	SF
OVERALL SITE		29973	SF

KEYNOTES

- ① NEW 5' WIDE CONCRETE SIDEWALK.
- ② BIKE RACK, 10 PARKING SPACES.
- ③ EXISTING LAWN TO REMAIN.
- ④ EXISTING TREE TO BE REMOVED.
- ⑤ PROPOSED 12' X 12' TRASH ENCLOSURE.
- ⑥ PROPOSED FACADE-MOUNTED SIGNAGE.
- ⑦ PROPOSED ASPHALT DRIVEWAY.
- ⑧ ADA PARKING STALL.
- ⑨ LINE INDICATES FIRE ENGINE ACCESS.
- ⑩ PROPOSED EXTERIOR EGRESS LIGHT.
- ⑪ MECHANICAL CONDENSER UNITS.
- ⑫ EXISTING SHED TO BE RELOCATED.

SITE RECAP

TOTAL PROJECT SITE: 29,973 SQ. FT. (0.688 ACRES)

AREA CALCULATIONS

PROPOSED BUILDING FOOTPRINT 6,750 SQ. FT.
TOTAL BUILDING AREA 6,750 SQ. FT.

PARKING

REQUIRED: ONE SPACE PER 500 SF OF BUILDING
6,750 SF / 500 = 14 SPACES (13.5)
HC ACCESSIBLE 1 SPACES

PROVIDED: HC ACCESSIBLE 1 SPACES
STANDARD 14 SPACES
TOTAL 15 SPACES

BIKE PARKING-(TABLE 8-4D-3)

REQUIRED: 1 PER 20 PARKING SPACES = 1 SPACE
1 PER COMMERCIAL TENANT= 1 SPACE

PROVIDED: 10 BIKE SPACES

CITY ZONING- C-2

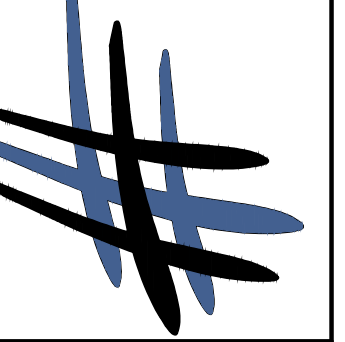
SETBACKS:

FRONT- 20'-0"
REAR- 15'-0"
SIDES- 5'-0"

GENERAL NOTES

1. ALL SITE AND VEHICLE LIGHTING SHALL BE DOWN-SHIELDED OR SCREENED.
2. ALL ON SITE SERVICE AREAS FOR WASTE, RECYCLING OR TRASH SHALL BE SCREENED FROM VIEW FROM A PUBLIC STREET AND ADJOINING PROPERTY WITH A PRIVACY WALLED TRASH ENCLOSURE.
3. ALL PARKING AREAS SHALL PROVIDE PROPER DRAINAGE OF SURFACE WATER TO PREVENT THE FLOW OF WATER ONTO ADJACENT PROPERTIES OR WALKWAYS.
4. FOR BUILDING EXTERIOR WALL HEIGHTS, REFER TO EXTERIOR ELEVATIONS.
5. NO OUTDOOR STORAGE AREA IS PROPOSED.
6. ELECTRICAL SERVICE IS AVAILABLE ALONG E. 47TH STREET.
7. WATER & SEWER SERVICES ARE PROPOSED FROM E. 47TH STREET.

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NEW CONSTRUCTION FOR:
PJD HOLDINGS, LLC
503 EAST 47TH STREET, GARDEN CITY, ID, 83714

DATE: JAN 2019
DRAWN BY: NJM & JM
CHECKED BY: JLH
JOB NUMBER: 18126

DESCRIPTION: COMMENTS

SHEET TITLE

SITE PLAN

SHEET NUMBER

A-1.0

SHEET 2 - 15



VICINITY MAP
SCALE: NTS

Ada County Assessor Land Records/GIS

2018 Property Details for Parcel R2734522838

2018 Need Help? Email the Appraiser Assigned to this Parcel

[\(Back to Parcel Search\)](#) [\(Print View\)](#)

Details Valuation Tax Districts Taxes Characteristics Sketch

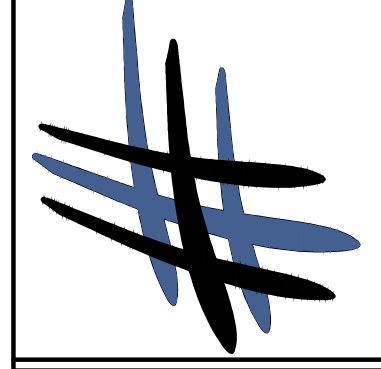
Parcel: [R2734522838](#)
 Year: 2018
 Parcel Status: Active in 2018
 Primary Owner: BOREN CALVIN D
 Zone Code: C-2
 Total Acres: 0.689
 Tax Code Area: 06
 Instrument Number: 2017040556
 Property Description: LOT 29 BLK 21 FAIRVIEW ACRES SUB NO 03 #2841-S

[View Interactive Map of this Parcel](#)

[View 2018 Assessment Notice](#)
 Address: 503 E 47TH ST GARDEN CITY , ID 83714
 Subdivision: FAIRVIEW ACRES SUB NO 03
 Land Group Type: SUB
 Township/Range/Section: 3N2E05

[Contact Us](#) | [Disclaimer](#)

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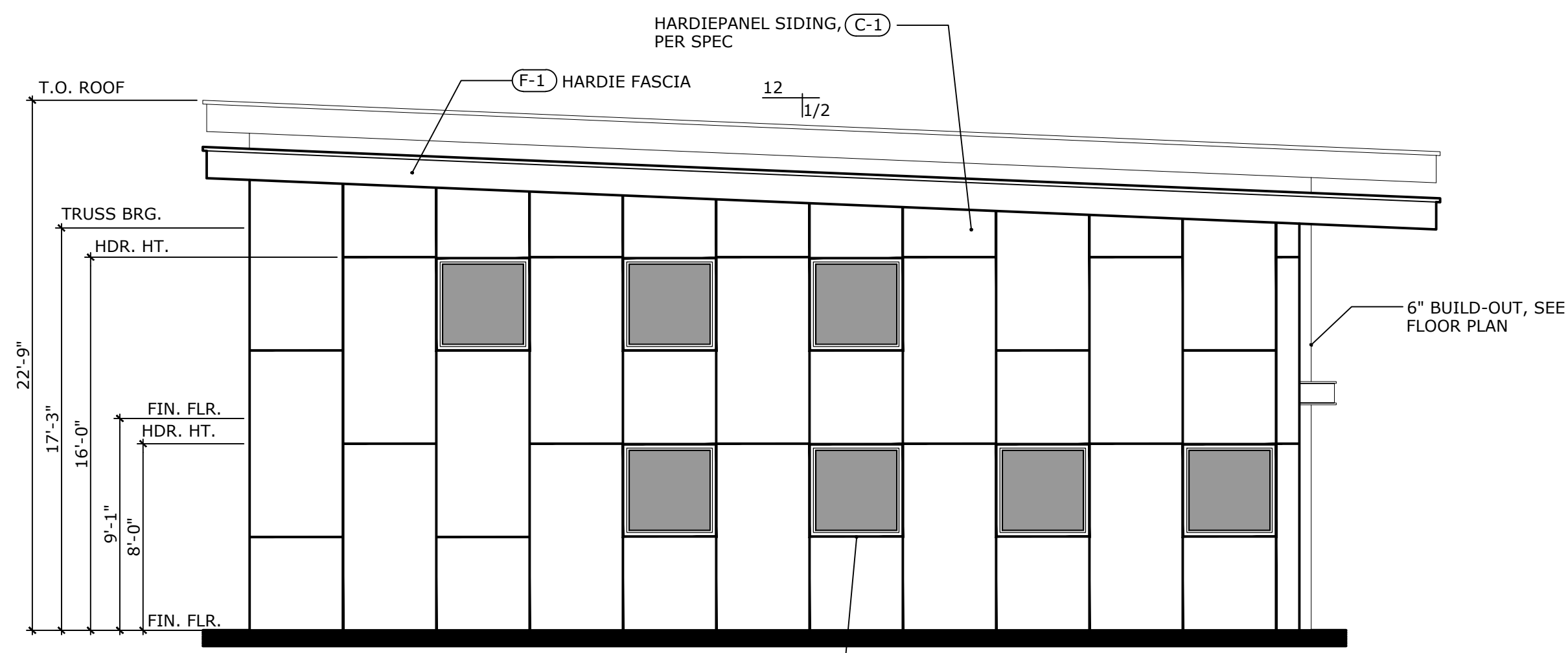
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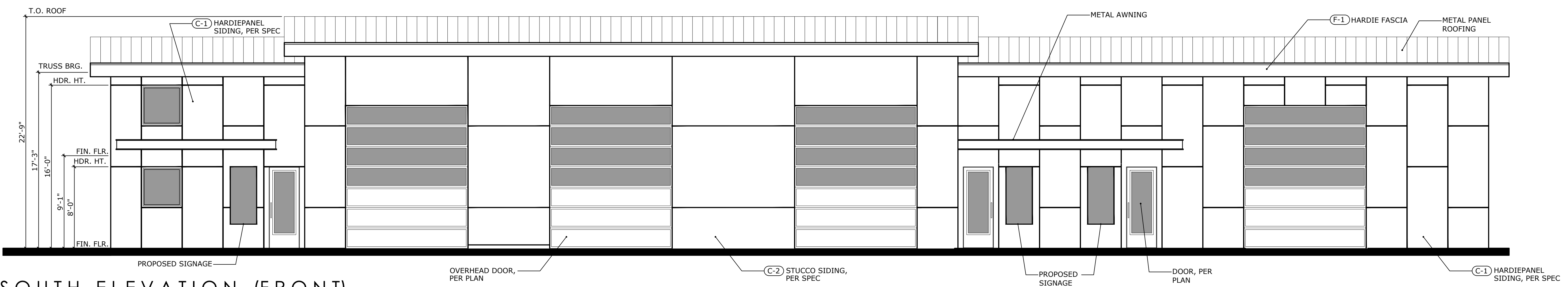
SHEET 2 -- 15



WEST ELEVATION

SCALE: 3/16" = 1'-0"

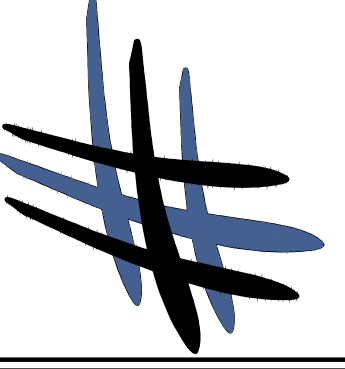
EXTERIOR FINISH SPECIFICATIONS	
METAL ROOFING PANELS	BATTENLOK HS ROOF PANEL, OR SIM. 12" WIDE, 24 GAUGE MECHANICALLY FIELD-SEALED, HIGH STRENGTH STANDING SEAM ROOF SYSTEM. INSTALL PER MANUF. RECOMM. COLOR: "POLAR WHITE".
C-1 :CLADDING - HARDIEPANEL	HARDIEPANEL NON ASBESTOS FIBER-CEMENT VERTICAL SIDING AS MANUF. BY JAMES HARDIE CORP. FINISH: "SMOOTH" COLOR: "COUNTRYLANE RED"
C-2 :CLADDING - STUCCO	PRODUCT: 'PAREX' ARMOURWALL 300, CONSISTS OF FIBER-47 2-COAT SYSTEM. ELESTOMERIC BASED FINISH COAT OVER PAREX PRIMER, FINISH COLOR AS SELECTED BY OWNER/ARCHITECT. REFER TO MFR. INSTALLATION MANUAL FOR ALL INSTALLATION REQUIREMENTS. FOR AREAS WITH FOAM BUILDOUTS (AS INDICATED ON DRAWINGS) APPLY 'PAREX' BASE COAT w/EMBEDDED FIBERGLASS MESH REINFORCEMENT AND ADHESIVE 121 TO POLYSTYRENE AND ONTO STUCCO BROUWNCOAT. AT LOCATIONS 3'-0" ABOVE GRADE SURFACE, APPLY HIGH-IMPACT MESH FINISH WITH TEXTURE AND COLOR TO MATCH 2-COAT STUCCO FINISH, AS DESCRIBED ABOVE. REFER TO MFR. INSTALLATION MANUAL FOR ALL INSTALLATION REQUIREMENTS. COLOR: PEARL GREY
ICE DAM PROTECTION (ROOF)	GRACE ICE & WATER SHIELD SELF-ADHERED ROOFING UNDERLAYMENT, 36 HIGH WIDTH, 40 MIL THICK MEMBRANE.
FASCIA	HARDIETRIM NON ASBESTOS FIBER-CEMENT FASCIA AS MANUF. BY JAMES HARDIE CORP. FINISH: "SMOOTH" COLOR: "ARCTIC WHITE"
HARDIE BOARD SOFFIT	HARDIEPANEL NON ASBESTOS FIBER-CEMENT FASCIA AS MANUF. BY JAMES HARDIE CORP. FINISH: "VENTED SMOOTH" COLOR: "ARCTIC WHITE"
SIDEWALL FLASHING	22 GA. SIDEWALL METAL FLASHING WITH GALVALUME PLUS FINISH AS MANUFACTURED BY "MBCI".
DOOR AND WINDOW FLASHING	GRACE VYCOR PLUS SELF-ADHERED FLASHING INSTALLED OVER "TYVEK" BUILDING WRAP. PRODUCT THICKNESS 25 MIL., MIN. 9 INCH WIDTH. INSTALL PER MFR. REQUIREMENTS.
BUILDING WRAP WEATHER BARRIER	DUPONT TYVEK COMMERCIAL WRAP WEATHER BARRIER ASSEMBLY FOR VERTICAL BUILDING ENVELOPE PROTECTION FOR ENTIRE FRAMED PORTION OF BUILDING. ASSEMBLY TO INCLUDE WEATHER BARRIER MEMBRANE, SEAM TAPE, FLASHING (SEE DOOR & WINDOW FLASHING ABOVE) AND FASTENERS. INSTALL PER MFR. REQUIREMENTS.
NOTE:	ALL EXTERIOR FRAME WALLS TO RECEIVE TYVEK BUILDING WRAP OVER EXTERIOR SHEATHING (UNDER FINISH SIDING MATERIAL).
NOTE:	INSTALL WATER SHIELD PROTECTION AT ALL DOOR AND WINDOW OPENINGS. WRAP OVER TYVEK AND RETURN INTO OPENINGS IN WALL.



SOUTH ELEVATION (FRONT)

SCALE: 3/16" = 1'-0"

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DATE: JAN 2019
DRAWN BY: NJM & JM
CHECKED BY: JLH
JOB NUMBER: 18126

DATE	DESCRIPTION/COMMENTS

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A-4.0

SHEET 7 - 15

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 COLOR: PEARL GREY

C-3 :BOARD & BATTON SIDING

TRU-WOOD NON ASBESTOS COMPOSITE BOARD @ BATTEN SIDING AS MANUF. BY COLLINS PRODUCTS, LLC. OR APPROVED SIMILAR.
 COLOR: PEARL GREY

ICE DAM PROTECTION (ROOF)

GRACE ICE & WATER SHIELD SELF-ADHERED ROOFING UNDERLAYMENT, 36 HIGH WIDTH, 40 MIL THICK MEMBRANE.

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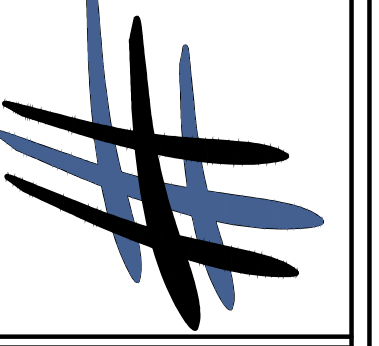
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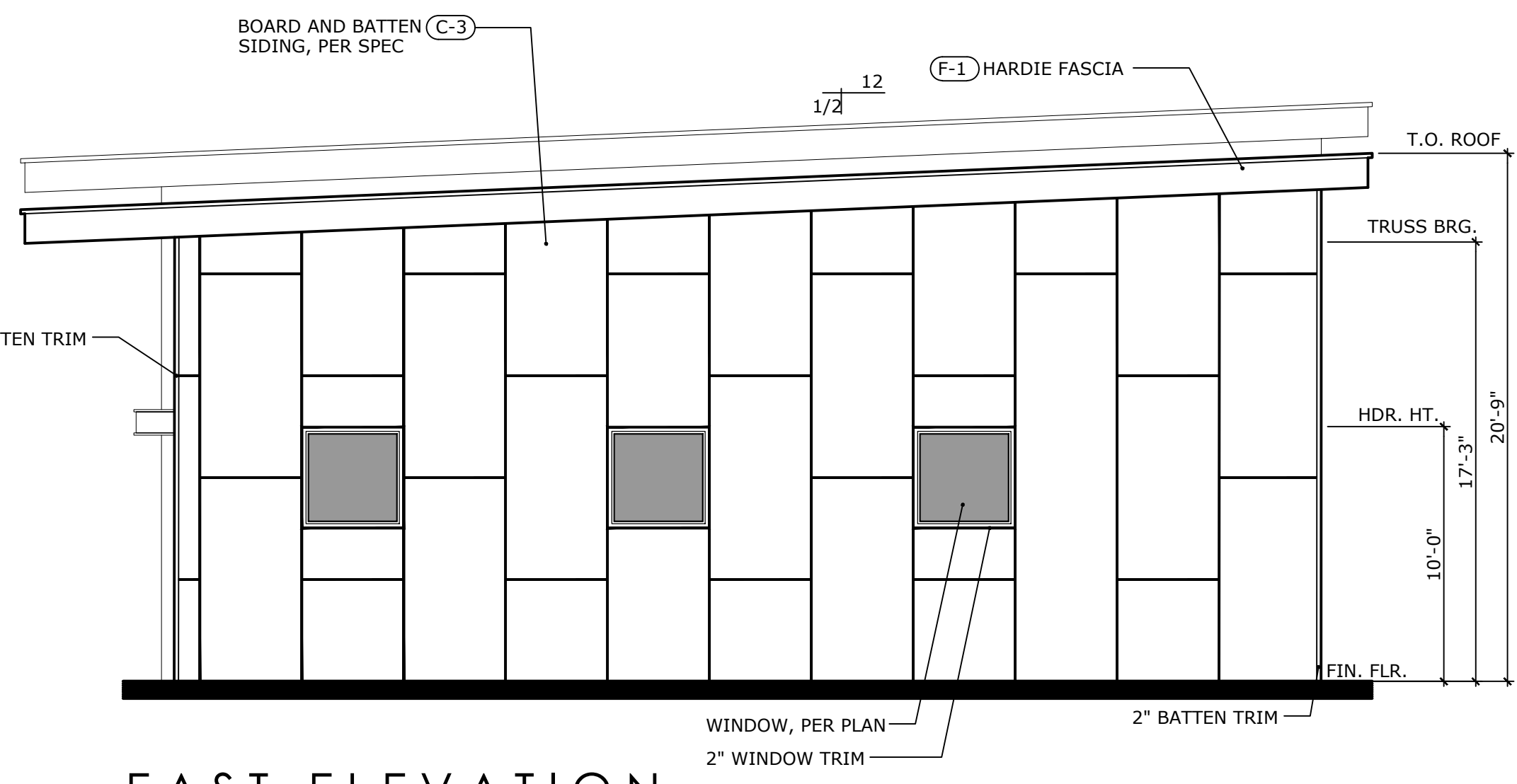
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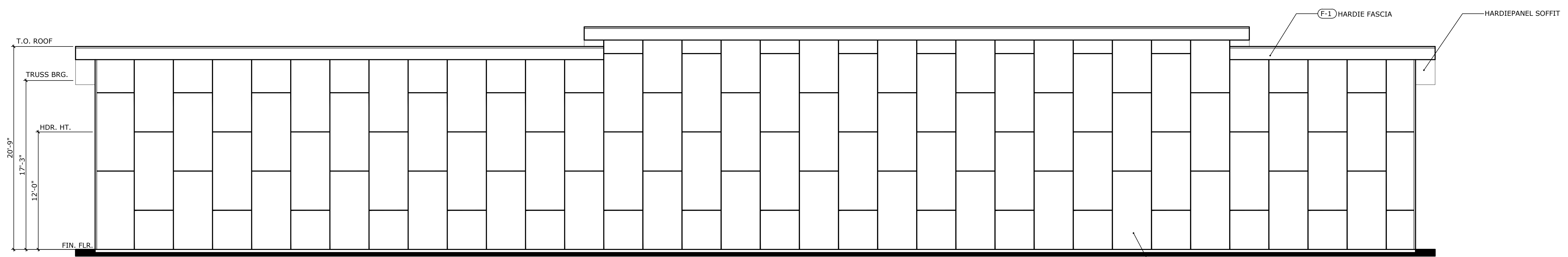
SHEET TITLE
EXTERIOR ELEVATIONS

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SHEET 7 - 15



EAST ELEVATION
 SCALE: 3/16" = 1'-0"



NORTH ELEVATION
 SCALE: 3/16" = 1'-0"