



[Applicant's Supplement in Support of Continued Hearing for DSRFY2019-25](#)

Dear Design Review Committee:

Thank you for your time and consideration on our Lot 50 Project. At our hearing on March 2nd, the Committee asked us to revise certain elements of the Project's design. The Committee also asked us to get clarity from ACHD on the scope of its review of the Project. We have made every effort to address the Committee's design comments and we have reached out to ACHD. Please see below and attached for our detailed responses.

1. **Height:** As requested, we have revised the structure so that the height—including the 4' parapet—will only be 71'6". Please see *Attachment 1* depicting the revised height. This height is proper because: (i) the height complies with standards in the MU zone; (ii) the building is in an activity node where higher density and multi-story development is encouraged; (iii) it will help to create a "truly urban character" the City Code's goal for the MU zone; (iv) property surrounding the Project is zoned R-3 and C-2, which has no height restrictions and the property to the south and west is expected to redevelop; and (v) the height is in conformity with recent development in the immediate area (see *Attachment 2*), including the recent Boardwalk project that will bring a 121' hotel and a 72' apartment building.
2. **Building Design Revisions:** As requested by the Committee, we have made revisions to two aspects of the building design.
 - a. Adams Street Façade and Roofline Relief: Revisions to the building design have been made to create additional façade and roofline relief. We have achieved this by recessing a large portion of the south wall to create an additional break in the residential wall plane. We also gave the recessed wall segment a different color and material to enhance the break in the wall plane. The parapet is also lowered in this recessed area to accentuate the architectural relief and create roofline variation.
 - b. Tenant Entrances: We have provided additional design elements to make the building's tenant entrances a design focal point. On the north side, we have made the entrance more prominent by changing the material to create contrast at the entry. Signage will also be added to create a focal point. On the south side, the tenant entry has been made more

prominent by creating a distinct mass and color difference. Signage will also be placed at this location to create a focal point.

Attachment 1 includes revised Project elevations.

3. **Plaza Landscaping:** As requested by the Committee, we are proposing a new landscape element on the west side of the plaza. This element will consist of large planters and custom metal framework screens. The screen material will be approximately 5' tall and alternate between opaque and transparent. The transparent elements will be free standing trellis frames for growing vines. *Attachment 3* includes a revised landscape plan and sample photos of similar landscape elements designed and constructed by our landscape architect, Stack Rock Group.
4. **Garage Screening:** The Project proposes screening areas of the parking structure with custom metal lattice that doubles as a landscape trellis. This design has been successfully used on parking structures in the valley, for example at the 119 Building in Boise (See *Attachment 4*). We prefer this screening method over a solid screen or mirroring because it allows natural light into the parking structure and creates a layered aesthetic, providing additional façade relief and enhancing the pedestrian experience of the building.
5. **ACHD and Circulation:** As requested by the Committee, we have communicated with ACHD and received confirmation that ACHD's February 10 Project Report (#GC20-0004/DSRFY2019-18) assumed and evaluated the application for this specific project, with the residential and commercial uses proposed. See *Attachment 5*. On the issue of circulation, we want to note that this Project and all of the Parkway Station master planned area will connect with 43rd street as the land to the west develops. Cross access easements are already in place for the extension of Freeride Lane and Hardtail Lane as shown on *Attachment 6*.

Thank you again for your time and attention to this Project.

Sincerely,

Bill Truax, Galena Fund

ATTACHMENT 1

Revised Elevations and Plans





1 SOUTH - 42ND & ADAMS



2 EAST - 42ND



3 NORTH



4 EAST



5 COURTYARD LOOKING EAST



6 COURTYARD LOOKING WEST



7 WEST



INFECTION DEVELOPMENT
 PARKWAY LOT 50
 PROFESSIONAL, MA
 NOT FOR PERMIT
 PERSPECTIVES
 A-911



3D View 6



3D View 4

8-4B-4 MULTI-FAMILY RESIDENTIAL DWELLING UNITS:
 B. Building Design:
 7. All roof and wall mounted mechanical, electrical, communications, and service equipment should be screened from public view from the adjacent public streets and properties by the use of parapets, walls, fences, enclosures, or by other suitable means.



3D View 8



3D View 3



3D View 7



INFECTION DEVELOPMENT
 PARKWAY LOT 50
 PROFESSIONAL, MA
 NOT FOR PERMIT
 MECHANICAL SCREENING
 G-008

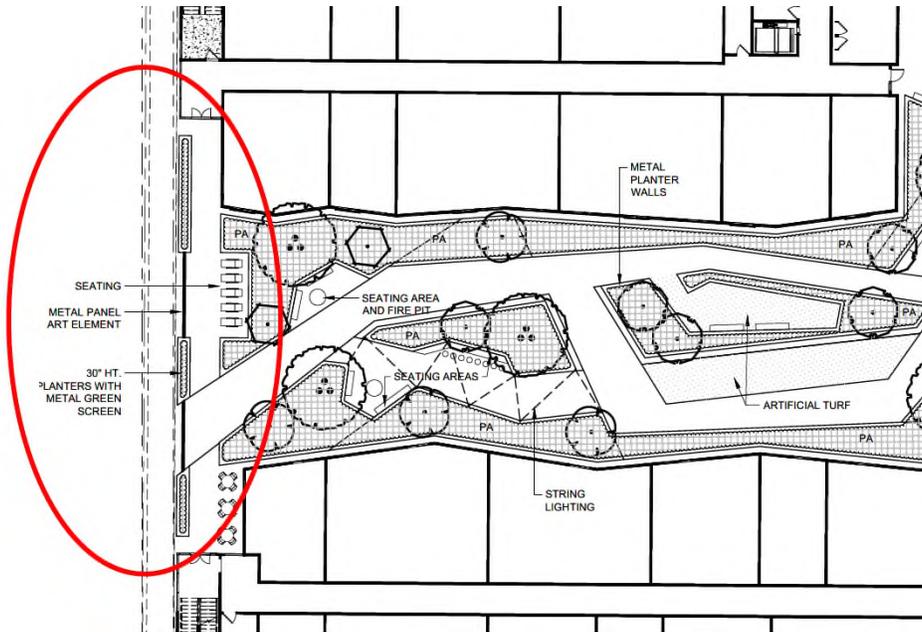
ATTACHMENT 2

Surrounding Building Height



ATTACHMENT 3

Plaza Landscaping Element



ATTACHMENT 4

119 Garage Screening Example



ATTACHMENT 5

ACHD COMMUNICATIONS

From: Bill Truax <bill@galenafund.com>
Sent: Tuesday, March 03, 2020 5:47 PM
To: Dawn Battles <Dbattles@achdidaho.org>
Subject: Re: GC20-0004 Mixed-Use Residential

GC20-0004/ [DSRFY2019-18](#)
N. Freeride Lane (Lot 50 Block 1)
Mixed-Use/Residential

Dawn,

Please confirm that your attached report dated February 10, 2020 (#GC20-0004/DSRFY2019-18) included a review of the mixed use building included in the DSRFY2019-18 record documents distributed by the City of Garden City.

We have reviewed the conditions required in the ACHD GC20-0004/ DSRFY2019-18 report letter and ACHD's conditions of approval are acceptable to the applicant.

Thank you.

BILL TRUAX

President

Mobile (208) 447-9114

Office (208) 844-7064

www.galenafund.com

From: Dawn Battles <Dbattles@achdidaho.org>
Sent: Wednesday, March 4, 2020 8:17 AM
To: Bill Truax <bill@galenafund.com>
Subject: RE: GC20-0004 Mixed-Use Residential

Bill,

I read through the application when I received it, and I know you are constructing a several story mixed-use residential building. Does that answer your question? ACHD does not review the building itself. The City does that.

Thanks,

Dawn Battles

Planner

Ada County Highway District

Tel:208.387.6218

dbattles@achdidaho.org

"We drive quality transportation for all Ada County-Anytime...Anywhere!"

ATTACHMENT 6

Future Cross Access

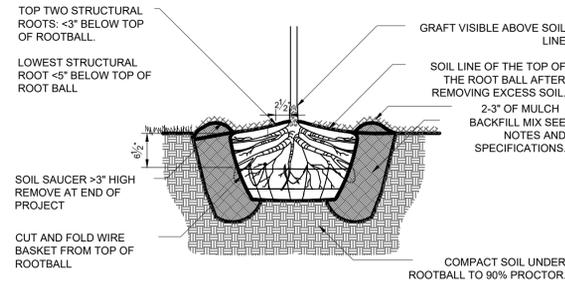




NO.	DESCRIPTION	DATE
C	DESIGN REVIEW	03.06.20
B	DESIGN REVIEW	07.12.19
A	CLIENT REVIEW	06.24.19

NOTES:

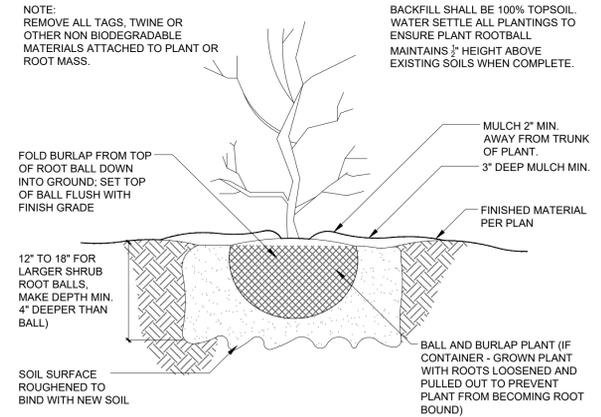
- DO NOT DAMAGE OR CUT LEADER
- DO NOT DISTURB ROOT OR DAMAGE ROOT BALL WHEN INSTALLING TREE OR TREE STAKES.
- TREE STAKING SHALL BE AT THE DISCRETION OF CONTRACTOR. HOWEVER ANY TREES DISTURBED FROM PLUMB DURING THE PLANT WARRANTEE PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
- WATER PLANTS THOROUGHLY IMMEDIATELY AFTER INSTILLATION.
- REMOVE ALL BURLAP, TWINE, ROPE, OR MATERIAL FROM THE TOP 3 OF THE ROOTBALL.
- 5" DIAMETER PLANTER BED/MULCH RING AROUND THE TRUNK OF THE TREE. 3" OF MULCH MIN. DO NOT PLACE MULCH WITHIN 2" OF TRUNK OF TREE.
- ALL LARGE AND ORNAMENTAL TREES TO RECEIVING STAKING PER DETAIL 1/L.1.10



1 BALL AND BURLAP TREE PLANTING

3/4" = 1'-0"

329343.33-05



2 SHRUB PLANTING

1" = 1'-0"

329333.16-01

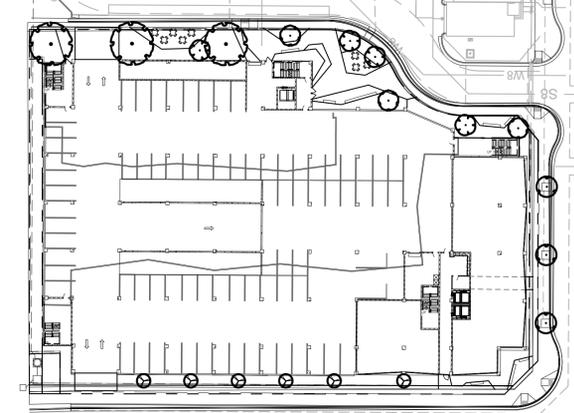
LANDSCAPE NOTES:

- REGULATIONS & STANDARDS
 - All contractor work shall be conducted in accordance with IS-PWC (Idaho Standard Public Works Construction), 2019; and City of Garden City, ID codes, standards and state and local regulations.
- EXISTING CONDITIONS
 - All utilities shall be located prior to construction and protected. Any damage to structures, utilities or concrete will be replaced at contractor's expense.
 - The site has many existing improvements such as underground utilities, curb and gutter, light poles and sidewalks.
 - See Engineer's plans for information about existing features
- GRADING & SITE PREPARATION
 - Prepare finish grades for planting by grubbing and removing weeds. If necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other materials over 2".
 - All gravel overprep to be removed and disposed of off site.
 - Finish grade to be smooth transition to allow for entire site to be a natural flowing space.
 - Fine grade lawn areas to elevations set by Engineer's plans with positive drainage away from structures.
 - Refer to Engineer's plans for grading information & for all drainage pipes and locations. Protect and retain drainage at all times.
 - No pooling or standing water will be accepted per industry standards.
- SOILS
 - All planter beds to receive a minimum of 18" depth of screened topsoil. Spread, compact, and fine grade to smooth and uniform grade 2" below adjacent surfaces.
 - All lawn areas to receive a minimum of 12" depth of screened topsoil. Spread, compact, and fine grade topsoil to a smooth uniform grade 1" below adjacent surfaces. Reuse of existing topsoil that has been stockpiled on site is permitted if:
 - Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests. And
 - Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.
 - Topsoil should have a ph of 6.5 to 8.0.
 - If on site topsoil does not meet these minimum standards contractor is responsible for providing approved imported topsoil or improving onsite topsoil per the approval of the Landscape Architect.
 - If imported topsoil is used it must be from a local source and be screened free of any debris or foreign matter. Topsoil must not contain rocks, sticks, lumps, or toxic matter.
 - Smooth, compact, and fine grade topsoil in lawn areas to smooth and uniform grade. 5" below adjacent surfaces.
 - Prepare finish grade of topsoil to elevations set by Engineer's plans with positive drainage away from structures. Refer to Civil Engineer's plans for grading information.
 - Amend all new plantings with 2 parts topsoil and 1 part compost.
- PLANTER BED MULCH
 - All planter beds to receive 3" depth of black and tan mini rock mulch.
 - Place over commercial grade weed barrier fabric. Install fabric per manufacturers recommendations.
- PLANTS
 - All plant material shall be installed per industry standards.
 - All plant material shall meet or exceed the minimum federal standards as regulated by ANSI z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.
 - All Ball and Burlap trees to be installed per Balled and Burlapped planting detail.
 - All shrubs to be installed per detail.
 - Trees and shrubs over 36" shall not be planted within clear vision triangles per city code.
 - Fertilize all trees and shrubs with 'Agriform' planting tablets or approved equal. Apply per manufacturers recommendations.
- IRRIGATION (POC)
 - Irrigation system shall be built to the following specifications:
 - Adhere to city codes when connecting to city water.
 - All irrigation material to be new with manufacturers' warranty fully intact.
 - Install indoor rated controller in mechanical room or riser room, provide 1-1.5" sweep ell or approved other, coordinate with Electrical engineer. Coordinate with General on exact controller location. Provide 2 keys and locate controller in lock-box.
 - Irrigation system piping to be minimum class 200 PVC or approved equal, sleeves to be double the size of pipes located within, all wires to be contained in separate sleeves 1-1/2" dia min.
 - Use common trenching where possible..
 - All PVC located under hardscapes to be schedule 40 PVC with same req's as above.
 - All wires to be 14 gauge direct, bury wire at a minimum of 12" below finished grade.
- CONTRACTOR RESPONSIBILITIES
 - Estimated quantities are shown for general reference only. Contractor shall be responsible for all quantity estimates. Refer to note 2.1 regarding damages to existing utilities & permitting note in Irrigation section.
 - All plant material and workmanship shall be guaranteed for a period of one year beginning at the date of Acceptance by Owner. Replace all dead or unhealthy plant material immediately with same type and size at no cost to Owner.
 - Landscape contractor to turn in as built drawings at the end of project. Substantial completion will not be granted until 2 copies @ 1"=20" scale are turned in and approved by owner's representative.
 - In the event of a discrepancy, notify the Landscape Architect immediately.

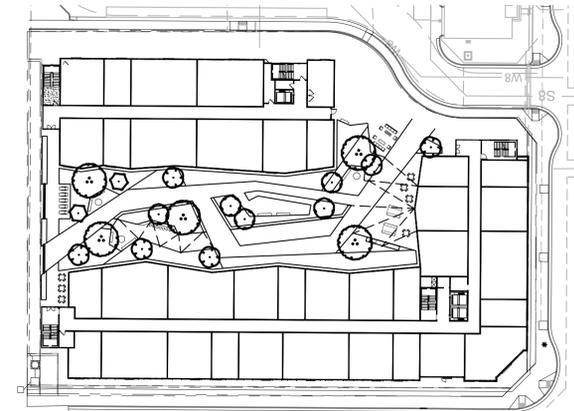
LANDSCAPE REQUIREMENTS:

- (PER GARDEN CITY CODE)
- SCREENING & BUFFERING:
- STREETS & PROPERTY PERIMETER:
- *STREET TREE SPACING: 1 TREE PER 50 LF
 - *BUFFERING REQUIRED:
 - **1 TREE PER 15 LF (OR PER SPECIES)
 - **TREES SHALL BE SPACED SO CANOPIES TOUCH AT MATURITY
- | PERIMETER | LENGTH | TREES REQUIRED | TREES PROVIDED @ 50' SPACING |
|--------------|--------|----------------|------------------------------|
| 42nd ST | 177 LF | 4 | 3' MIRROR OPPOSITE SIDE |
| N ADAMS ST.: | 277 LF | 6 | 6 |
- NOTES:
*REDUCED LF ALONG VETERANS PER CVT SAFETY AND BUILDING, TREES SHALL NOT IMPEDE INTO BUILDING
*COLUMNAR TREES ALONG ADAMS PER DRAIN CLEARANCE, 10', & LIMITS PER CONSTRUCTION
- TREES LIMITED ON NW PERIMETER DUE TO IRRIGATION EASEMENT FOR BUFFER REQUIREMENTS
- GENERAL REQUIREMENTS:
- *REVIEW GARDEN CITY CODE REGARDING PROVISIONS TO PRESERVING EXISTING TREES (8-41-7)
- TREE SIZING:
- | | |
|-------------------|-----------------|
| SHADE TREES: | MIN 2" CAL. B&B |
| ORNAMENTAL TREES: | MIN 2" CAL. B&B |
| CONIFER TREES: | MIN 6" H. B&B |
- SHRUB SIZING:
- | | |
|--------------------|---------------------------------|
| WOODY SHRUBS | 2 GAL |
| TREE BIODIVERSITY: | PROVIDE (3) SPECIES 11-30 TREES |

LEVEL 1 SITE:



LEVEL 3 PODIUM: (A2)



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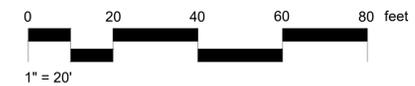
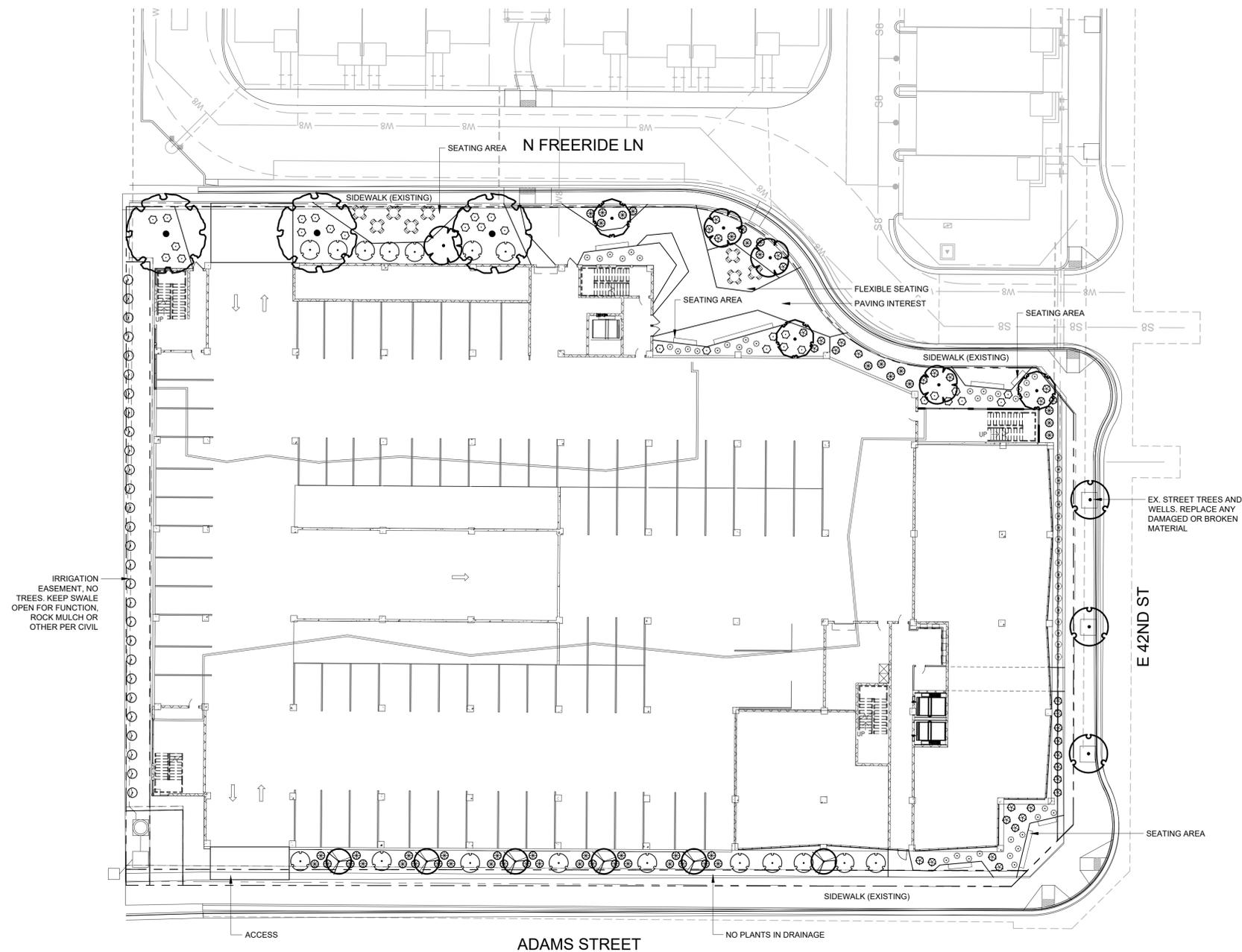
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PLANT SCHEDULE LEVEL 01					
TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY	REMARKS
	Acer palmatum 'Sango Kaku' / Coral Bark Maple	B & B	1.5" Cal	3	25'H x 15' W
	Cornus florida 'Cherokee Chief' / Cherokee Chief Dogwood	B & B	1.5" Cal	4	20'H x 15' W
	EXISTING TREE / PEAR	EXISTING		3	PRESERVE & PROTECT
	Fraxinus americana 'Autumn Purple' / Autumn Purple Ash	B&B	2" Cal	3	30'H x 30' W, CLASS II
	Liquidambar styraciflua 'Slender Silhouette' / Columnar Sweet Gum	B & B	2" Cal	6	CLASS II 40' TALL & 5' WIDE
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	FIELD2	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal		48	30'H x 30' W
	Carex elata 'Bowles Golden' / Bowles Golden Sedge	2 gal		38	2'H x 2.5' W
	Mahonia repens / Creeping Mahonia	2 gal		29	18'H x 30' W
	Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass	1 gal		18	30'H x 3' W
	Rhamnus frangula 'Fine Line' / Fine Line Buchthorn	5 gal		28	7'H x 3' W
	Rhus trilobata 'Gro Low' / Skunkbush Sumac	2 gal		17	18'H x 8' W
	Rosa x 'Flower Carpet Red' / Rose	3 gal		34	2'H x 3' W



CLIENT: INFLECTION DEVELOPMENT
PARKWAY LOT 50
GARDEN CITY, ID 83714

PROFESSIONAL SEAL



NO.	DESCRIPTION	DATE
C	DESIGN REVIEW	03.06.20
B	DESIGN REVIEW	07.12.19
A	CLIENT REVIEW	06.24.19

LANDSCAPE PLAN (A1)
LEVEL 1

L-101

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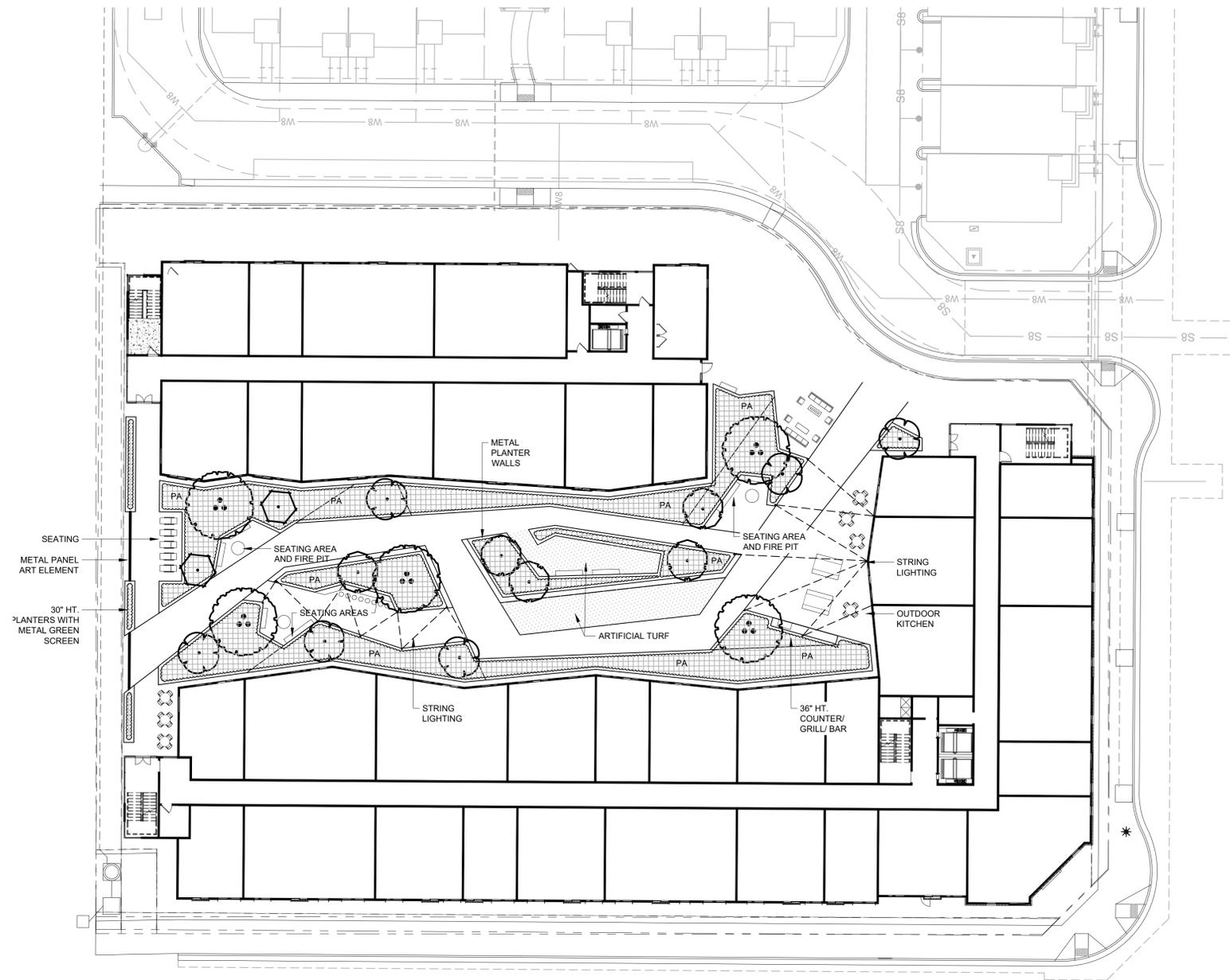
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PLANT SCHEDULE LEVEL 03					
TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY	REMARKS
	Acer palmatum 'Sango Kaku' / Coral Bark Maple	B & B	1.5" Cal	5	25' H x 15' W
	Betula nigra 'Cully' TM / Heritage Birch	B & B	1.5" Cal	5	30' H x 25' W, Clump
	Cornus florida 'Cherokee Chief' / Cherokee Chief Dogwood	B & B	1.5" Cal	6	20' H x 15' W
	Fagus sylvatica 'Tricolor' / Tricolor Beech	B & B	1.5" Cal	2	25' H x 15'-20' W
	ARTIFICIAL TURF OR APPROVED OTHER SOFT SURFACE FOR GATHERING				
	PLANTER AREA (VARIETY OF SHRUBS - PERENNIALS - ANNUALS)				



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GARDEN CITY, ID 83714

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LANDSCAPE PLAN (A2) LEVEL 3

L-102



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2 SOUTH ELEVATION
1/8" = 1'-0"

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GARDEN CITY, ID 83714

PROFESSIONAL SEAL



1 NORTH ELEVATION
1/8" = 1'-0"

ELEVATIONS

A-211

JOB NUMBER
DRAWN BY 19144
DK

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NO. DESCRIPTION DATE



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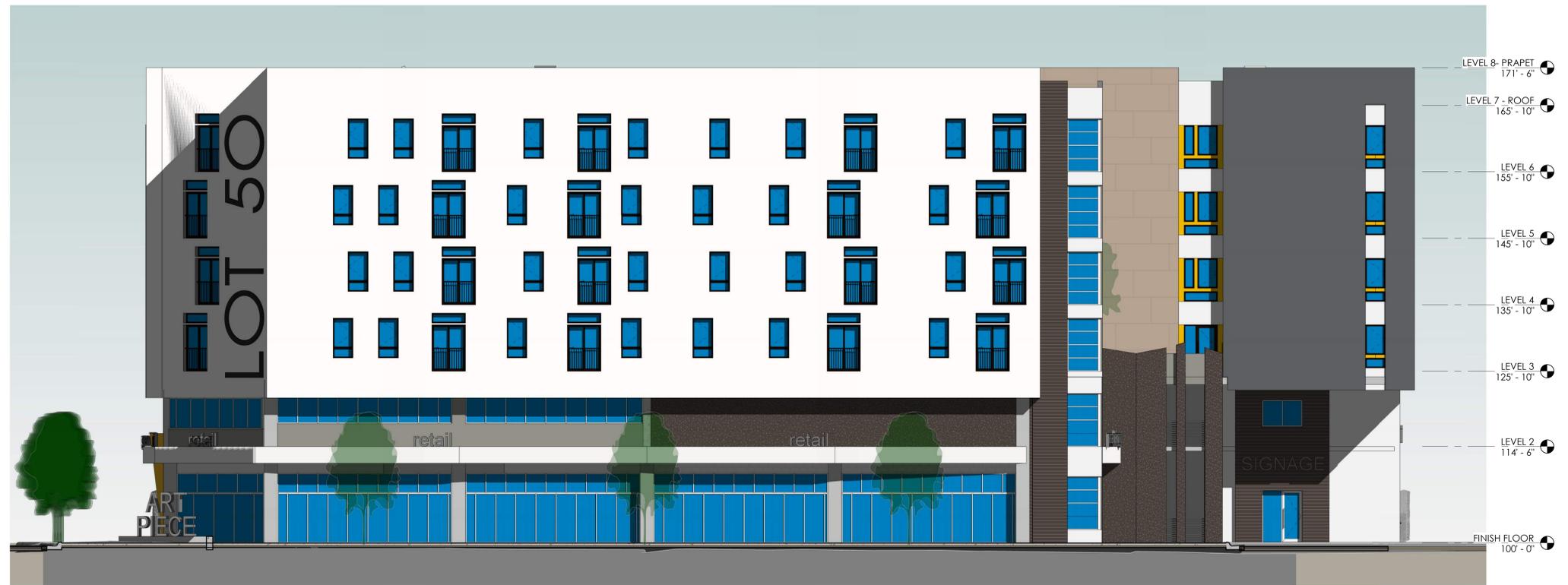
ELEVATIONS

A-212

JOB NUMBER 19144
DRAWN BY DK



2 WEST ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"



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PERSPECTIVES

A-911

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1 SOUTH - 42ND & ADAMS



2 EAST - 42ND



7 NORTH



4 EAST



6 COURTYARD LOOKING EAST



5 COURTYARD LOOKING WEST



3 WEST



5 3D View 6



4 3D View 4

8-4B-4 MULTI-FAMILY RESIDENTIAL DWELLING UNITS:
 B. Building Design:

7. All roof and wall mounted mechanical, electrical, communications, and service equipment should be screened from public view from the adjacent public streets and properties by the use of parapets, walls, fences, enclosures, or by other suitable means.



3 3D View 5



1 3D View 3



2 3D View 7



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NO.	DESCRIPTION	DATE

MECHANICAL
 SCREENING

G-008

JOB NUMBER
 DRAWN BY

19144
 MRM

From: [Bill Truax](#)
To: [Christian Samples](#); [Jenah Thornborrow](#)
Cc: [Zach Clegg](#); [Jeremy Putman](#); [Mike Chidester](#); [Matt McNulty](#); [Dan Fullmer](#); [Rob Fraser](#); [Deborah E. Nelson](#)
Subject: Parkway Lot 50 Fw: Bike-sharing
Date: Monday, February 24, 2020 11:00:30 AM
Attachments: [image002.png](#)

See below from our market study consultants on the bike-share program we are including in Parkway Lot 50. Our e-bike fleet will be owned at the point most useful to our residents--their HOME, so we feel very strongly that the ridership will be robust.

BILL TRUAX

President

Mobile (208) 447-9114

Office (208) 844-7064

www.galenafund.com

GALENA OPPORTUNITY FUND

Impact Investing, Development, Performance

From: Pete Reeb <preeb@realestateconsulting.com>

Sent: Monday, February 24, 2020 10:55 AM

To: Bill Truax <bill@galenafund.com>; Dan Fullmer <dan@galenafund.com>; Kyle Zierer <kzierer@realestateconsulting.com>

Subject: Bike-sharing

Some information on bike-sharing from our Portland market expert:

I tend to see more people pedal biking. We have Biketown, that supports Bike sharing, it has a ton of locations and 1000+ bikes to rent. But, Bikes in the Biketown fleet are exclusively pedal bikes. The only place to rent e-bikes from are traditional bike shops. Which makes them more of a hobby than useful form of transportation because having to pick up and drop off at the same location is majorly inconvenient.

In contrast, our e-scooters can be rented and dropped off from anywhere. I personally know people who use scooters to commute home from work because they can pick one up within a block or two of their work (they are all over downtown) and ride them all the way to their front door.

The city of Portland is currently working on a contract with Motivate (owned by Lyft) to manage the current Biketown fleet, roll out a new fleet of e-bikes and expand its reach throughout the city. This would make Biketown much more similar to Ford GoBike, CitiBike and/or some of the other companies that offer e-bikes in larger cities. I would imagine the popularity of e-bikes will continue to increase as they become more available and convenient. Ford GoBike and Citibike are currently

expanding their fleets and reach throughout their respective cities as well.

Pete Reeb

Principal | Consulting

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Trusted Analysis for Executive Decisions

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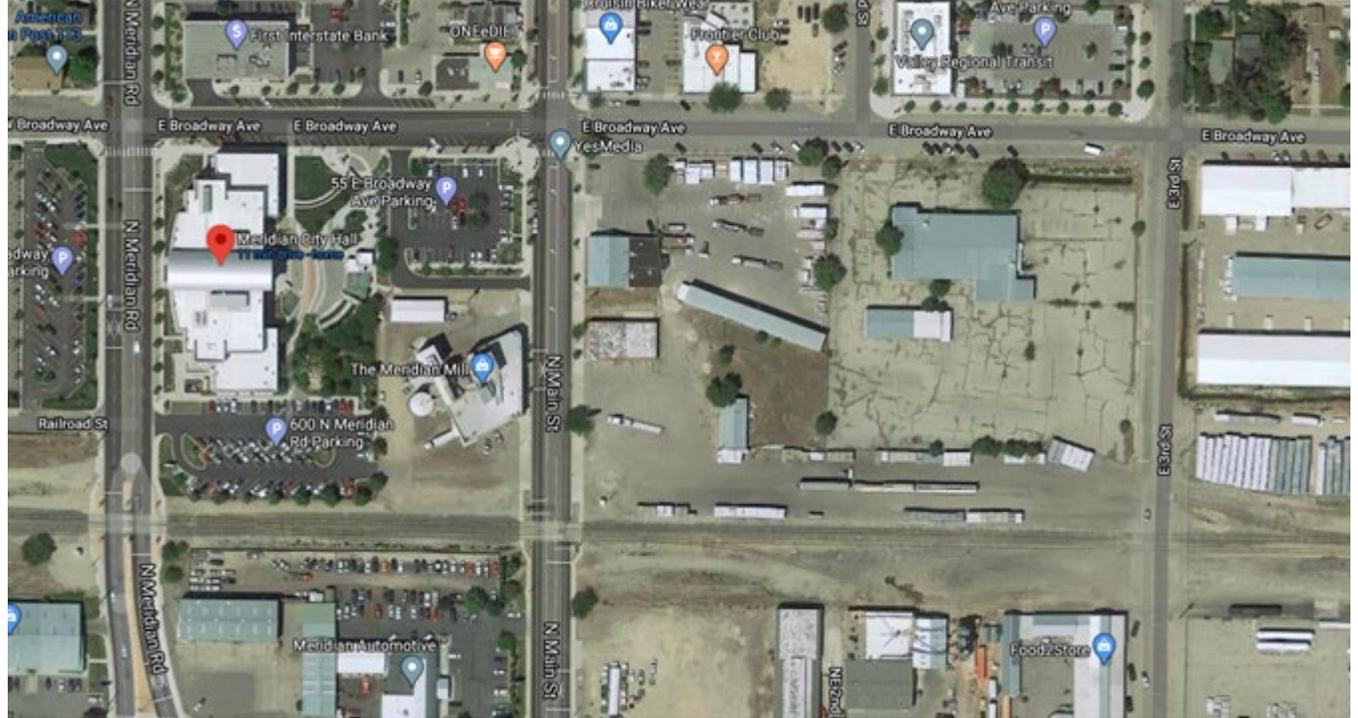
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UNION 33

(Formerly Meridian Station)

PROJECT BACKGROUND

- Application for a permitted use
- 385 residential units on 6.13 acres
- 550 off-street spaces and 109 surface spaces (414 spaces required)



PROJECT BACKGROUND

Application for 100 feet in height

- Allows additional space to include excess parking (and units to help justify cost)
- Also allows for add'l amenities (rooftop, etc.) and the possibility of future public-private partnerships for more downtown parking
- Lost height = lost parking spaces, lost units, lost flexibility for future partnerships, fewer residents, and less of a catalyst for downtown

THE PROCESS

Meridian Code Anticipates Requests for Additional Height

- In commercial zones, a 20% increase in maximum height is allowed at staff level
 - Additional height (beyond 20%) by CUP
- In Old Town, additional height is allowed by CUP

THE PROCESS

Additional Height is Permitted by Code If the CUP Standards are Satisfied

- Not a variance
 - No “hardship” must be shown
- Not special treatment
 - Anyone requesting additional height must satisfy the same test

CUP STANDARD #1

“That the site is large enough to accommodate the proposed [HEIGHT] and meet all the dimensional and development regulations in the district in which the use is located.”

- The site easily accommodates not only the building proposed, but also parking for the future residents—well in excess of code requirements

CUP STANDARD #2

“That the proposed [HEIGHT] will be harmonious with the Meridian comprehensive plan and in accord with the requirements of this title.”

- The “catalyst project” proposed here is well supported by the Meridian Comprehensive Plan, including Destination: Downtown

CUP STANDARD #2

Meridian Comprehensive Plan – Old Town Land Uses

- “A variety of residential uses are also envisioned and could include reuse of existing buildings, new construction of multi-family residential over ground floor retail or office uses.” (3-11) (emphasis added)

CUP STANDARD #2

Destination: Downtown (TOD/Cultural District)

- “Supports multiple transportation modes and encourages walking.”
- “Emphasize and develop the core area of the district to support a multi-modal transit stop.”
- “Ensure high densities necessary to support transit oriented development, and to create opportunities for mixed and vertical integration of uses.” (emphasis added)

CUP STANDARD #2

Destination: Downtown (Transit Hubs)

- Planned transit hub is immediately adjacent to this site
- Density to support a transit hub should be placed there, as well



- Analyze transit hub options
- Connect hub to current service with bus loop
- Preserve options for future rail service

CUP STANDARD #2

Destination: Downtown (Phasing)

- Project located in Phase 1
- Phase 1 to include “catalyst projects”



CUP STANDARD #2

Summary of Comprehensive Plan

- Nothing in comprehensive plan to suggest additional height is inappropriate or that building height should be limited
- Strong support for a significant “catalyst project” to move Phase 1 of Destination: Downtown forward

CUP STANDARD #3

“That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such [HEIGHT] will not adversely change the essential character of the same area.”

- Anything on this site will be a change.
- The essential character of this area includes not only what exists, but what is planned.
- Downtown is planned for significant development.

This is the catalyst.

CUP STANDARD #4

“That the proposed [HEIGHT], if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.”

- **No evidence the proposed height will adversely affect other property.**
- **Parking is provided well in excess of code.**
- **Additional residents will patronize area businesses.**

CUP STANDARD #5

“That the proposed [HEIGHT] will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.”

- Service providers have indicated no issues with the proposed height.

CUP STANDARD #6

“That the proposed [HEIGHT] will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.”

- Proposed height has no impact on costs for public facilities
- Greater height will bring more people to live downtown, increasing the economic welfare of the area

CUP STANDARD #7

“That the proposed [HEIGHT] will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.”

- Proposed height has no impact on noise, smoke, fumes, glare or odors.
- Traffic impact study shows that area roadways have capacity for this structure, as proposed. No “excessive production of traffic.”

CUP STANDARD #8

That the proposed [HEIGHT] will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.”

- No natural, scenic, or historic features are affected

SUMMARY

- The intent of this project is to bring a major catalyst to downtown
- Meridian City Code anticipates that property owners can seek additional height so long as the CUP standards are satisfied
- We believe we have met that standard and request approval in accordance with the Staff Report

An aerial photograph of a city street intersection. The street runs vertically through the center. On the left side, there are several buildings, including one with a sign that says "the design" and another with a sign that says "RCA". On the right side, there is a large, multi-story brick building. The sky is clear and blue. The text "Union 3" is overlaid in large, bold, black letters across the center of the image. The word "Union" is in a serif font, and the number "3" is in a sans-serif font.

Union 3

WHERE MERIDIAN CONNECTS



E BROADWAY AVE
ROAD CENTERLINE

UBER / LYFT RESERVED PARKING SPOTS

PROPERTY LINE

7 PARKING STALLS

CITY OF MERIDIAN
TEMPORARY PARKING LOT
TOTAL PARKING STALLS: 111

20 PARKING STALLS

16 PARKING STALLS

25 PARKING STALLS

20 PARKING STALLS

11 PARKING STALLS

12 PARKING STALLS

RETAIL

WEST BUILDING

EAST BUILDING

RETAIL

POTENTIAL
BUS STOP

E 3RD ST
ROAD CENTERLINE

N MAIN ST
ROAD CENTERLINE

40'-0"
ACHD R.O.W.
PROPERTY LINE

40'-0"
ACHD R.O.W.

PROPERTY LINE

RAILS TO TRAILS PATH

MAIN ST TO 3RD STREET ACCESS FOR FIRE & BUSES

100'-0"
R.O.W.

50'-0"
R.O.W.

UNION PACIFIC RAIL

CUP REQUEST: ALLOW INCREASED BUILDING HEIGHT TO 100FT

U
93



In order to provide the mix of uses and onsite parking the project must be vertically oriented.



VIEW FROM MAIN & BROADWAY



E BROADWAY AVE



VIEW FROM 3RD & RAILROAD

