

DESIGN REVIEW	
Permit info: <u>DSRFY2019-15</u>	
Application Date: <u>5/23/2019</u>	Rec'd by: <u>MK</u>
FOR OFFICE USE ONLY	

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921  
 ▪ [www.gardencityidaho.org](http://www.gardencityidaho.org) ▪ [planning@gardencityidaho.org](mailto:planning@gardencityidaho.org)

APPLICANT	PROPERTY OWNER
Name: Rodney Evans	Name: Greg Olsen
Company: Rodney Evans + Partners, PLLC	Company: Health Services, LLC
Address: 1014 S. La Pointe St, Suite 3	Address: 1059 E. Iron Eagle Dr. Suite 175
City: Boise, ID 83706	City: Eagle, ID 83616
State: ID      Zip: 83706	State: ID      Zip: 83616
Tel.: 208.514.3300	Tel.: 208.996.8195
E-mail: rodney@reandpartners.com	E-mail: Greggo@miracle-earnw.com

**PROPERTY AND DESIGN INFORMATION**

This application is a request to:     Construct New     Addition     Subdivision

Site Address: Horseshoe Bend Road and W. Carlton Bay Drive		
Subdivision Name: Carlton Bay Sub	Lot: 2	Block: 2
Tax Parcel Number: R1292650170	Zoning: M	Total Acres: 1.33
Proposed Use: Comm Building	Floodplain:      Yes <input checked="" type="checkbox"/> No	

**OBJECTIVES 8-4C**

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

**Bike and Pedestrian:** How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

**Parking and parking lot standards:** Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

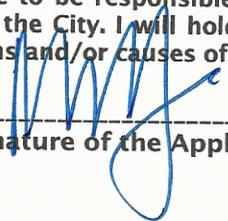
**Community Interaction:** How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

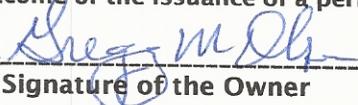
**Landscaping:** Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

**Building Design:** How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

  
 \_\_\_\_\_  
 Signature of the Applicant (date)

5/24/19

  
 \_\_\_\_\_  
 Signature of the Owner (date)

5-24-19

**APPLICATION INFORMATION REQUIRED**

**Note:**

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED**  
**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

**ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:**

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Compliance Statement and Statement of Intent                                    | <input checked="" type="checkbox"/> Affidavit of Legal Interest                    |
| <input checked="" type="checkbox"/> Neighborhood Map  | <input checked="" type="checkbox"/> Sustainability Checklist <i>*if applicable</i> |
| <input checked="" type="checkbox"/> Site Plan   |  |
| <input checked="" type="checkbox"/> Landscape Plan  |  |
| <input checked="" type="checkbox"/> Schematic Drawing   |  |
| <input checked="" type="checkbox"/> Lighting Plan   |  |
| <input checked="" type="checkbox"/> Topographic Survey  |  |
| <input checked="" type="checkbox"/> Grading Plan  |  |
| <input type="checkbox"/> Will Serve Letter <b>**If required, must submit a Fire Flow Request (see utility plan)</b> |  |
| <input type="checkbox"/> Ada County Approved Addresses  |  |
| <input type="checkbox"/> Waiver Request of Application Materials  |  |



## PLEASE CHECK THE FOLLOWING:

### INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- Purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

### INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- 8 ½" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

### INFORMATION REQUIRED ON SITE PLAN:

- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- Sidewalks, bike and pedestrian paths.
- Berms, walls, screens, hedges and fencing.
- Location and width of easements, canals, ditches, drainage areas.
- Location, dimensions and type of signs.
- Trash storage and mechanical equipment and screening.
- Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- Log depicting square footage of impervious surface, building and landscaping
- Location and height of fences and exterior walls
- Location and dimensions of outdoor storage areas
- Location of utilities and outdoor serviced equipment and areas
- Location of any proposed public art, exterior site furniture, exterior lighting, signage

**INFORMATION REQUIRED ON LANDSCAPE PLAN:**

- Scale the same as the site plan.
- Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- Size, location and species of existing vegetation labeled to remain or to be removed.
- All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location
- Locations and dimensions of open space and proposed storm water systems

**INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):**

- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color
- Sample materials (as determined by the staff)

**INFORMATION REQUIRED ON LIGHTING PLAN:**

- 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- Location of municipal street lights

**INFORMATION FOR TOPOGRAPHIC SURVEY:**

- The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

**INFORMATION REQUIRED ON GRADING PLAN:**

- 11" x 17" size minimum
- Scale not less than one inch equals twenty feet (1" = 20')
- Two foot (2') contours for the entire proposal site
- One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- Existing easement and utility locations
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- Proposed storm water systems

**INFORMATION REQUIRED MASTER SIGN PLAN:**

***\*Required for developments of two or more buildings:***

NA  Location, elevations, and materials of proposed signage

**INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:**

***\*Required if irrigation canal/irrigation ditch runs through property or along property lines:***

NA  Letter from company indicating approval

**INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:**

NA  Statement must include a list of the application materials to be waived and an explanation for the request.



Garden City Design Review Staff  
Garden City Planning  
6015 Glenwood Street  
Garden City, Idaho 83714

May 23, 2109

RE: Design Review Application for Health Services Inc., Carlton Bay Subdivision

Dear Design Review Staff:

As part of the Design Review application the following is prepared:

Statement of Intent: We propose to construct a beautiful high-end office building as a headquarters for Health Services, Inc., (Miracle Ear.) Health Services is currently located in Eagle, Idaho and requires additional space for expansion of their services. They have decided to locate their headquarters in Garden City and have purchased Lots 1 and 2 of Carlton Bay subdivision. With many subsidiary locations in a number of western states the headquarters building will represent the quality and excellence in the care they provide for their customers.

The use of the structure will not impact any adjacent properties due to “noise, vibration or other aspects,” but will enhance the quality of the surrounding area with beautification in architecture and landscape design.

Objectives: The objective of the design is to create a building that is very appealing and beautiful, functions for it’s intended use, and relates well to the surrounding area through proper siting, organization and connection to the public.

The design of the headquarters office building “advances an urban form through its relationship to the street, the pedestrian and adjacent properties” by designing a suitable footprint that is well sited on the property and provides a connection to the streets, adjacent parcels and buildings. This additionally compliments and strengthens the urban nature of the surrounding mixed-use development.

The unique property is bordered by streets on three sides making it a challenge to address all the objectives. In order to accomplish the objectives, the building is designed to be shaped like the surrounding streets. The building is parallel with the north and south bordering streets and is angled to match the direction of the west facing street. This approach creates a unique and distinctive design that is urban in form, relates well to the streets and is visually inviting to the pedestrian.

The multiple exposed sides of the building provide for “safe and comfortable pedestrian accessibility” by providing multiple access points. The intersection of Horseshoe Bend Road and Carlton Bay is a primary corner with an adjacent bus stop. A gathering plaza is designed to provide pedestrians a central and convenient approach to the property. Benches and landscaping provide a restful place to

wait for a bus or as a meeting place. Vehicular ingress and egress to the property and parking is located away from the corner plaza to provide safety and a separation of vehicles and pedestrians.

The notable site features include the shape of the lot and the open spaces beyond. The shape of the building follows the unique shape of the site and is respectful to that relationship. The properties to the west and north give the site a sense of spaciousness. The building is consistent with the adopted streetscape and is further enhanced by the corner plaza and open green space on the north side. The site design is respectful of how one looks at the property from the street by providing open space between the building and street, connecting access ways for pedestrians and locating the trash enclosure out of a primary view.

The building is mostly covered with an off-white stucco finish and is highlighted with contrasting large format porcelain tiles at the center of the building and sections of the adjacent ground floor walls.

### Compliance Statement

The building and site are principally compliant with Section 8 Article C: Design Provisions for Non-residential Structures. The design of the structure has a scale and massing suitable for an urban form that relates well to the surrounding streets, pedestrians and adjacent properties.

The building is located approximately 18 feet from the west property line along Horseshoe Bend road with an increased setback for the provided plaza. At least 60% of the street frontage along Horseshoe Bend road (a major arterial street,) is occupied by the structure and corner plaza.

The parking area is located between the building and Carlton Bay yet shall not impede the visual connection to the large scale of the 21,000 square foot two-story building. The building is a strong visual structure with floor to ceiling windows at the second level (14 feet above ground plane,) tall central massing and broad planes that overpower the parking area and minimizes the view of the parking area from the street. The parking is designed with materials and landscaping that soften the appearance of the parking areas and it is well integrated with the overall site design providing safe pedestrian and accessible connections. The nicely landscaped corner plaza provides amenities that compensate for the parking location by providing seating areas for gathering including seating at the bus stop.

The building orientation is positioned to take advantage of all prominent features of the surround streets and adjacent areas. The corner plaza provides another prominent feature that provides an inviting entry to the site. The building is designed with all exposed street sides in mind and provides a beautiful design on all sides.

The pedestrian pathway is focused on the corner plaza as a gateway entrance to the site and building. It's location is direct, convenient, attractive, safe and comfortable providing a direct route between the building and the public sidewalk.

## Case Studies

In comparison to other properties along Carlton Bay, the Health Services headquarters is a high-end building that is a far step above the others in building and site design. There are a couple of projects west of the Health Services site that should be considered as a precedent.

The Bowman Funeral Home structure is located approximately 29 feet from the curb and its entry faces the parking area on the west side. The short side of the building faces Carlton Bay and is minimal in design providing only a gravel covered area that is unusable and visually disconnected from the site. Pedestrians can only access the site through the gravel area and a long sidewalk to the entrance of the building. It appears there is no accessible route from the sidewalk to the building except through the parking lot. Cars park directly in front of the building to access the entry.



The town homes to the east are setback from Carlton Bay approximately 75-85 feet with several sidewalks leading up to a cross sidewalk that access the town home units. Cars must park on the street to access the connecting sidewalks to approach the units. The setback of the units under construction are approximately in line with the Health Services building.



The Walgreens building is directly north of the Health Services headquarters and its service and drive-through window face the street. The Owner of the Health Service does not want the headquarters building set close to the Walgreens



The east side of the building is unattractive and has exposed trash containers.



In conclusion, the building and site design of the Heath Services headquarters is an exceptional project that meets all the expectations of Garden City. The building will be a wonderful addition to Carlton Bay subdivision and will enhance the surrounding properties. Good architectural design, landscape design and site design enhance the life around it by stimulating the emotion senses that provide a powerful reaction to it's beauty and sense of place.

Sincerely,

Trey Hoff  
Architect



# SUSTAINABILITY CHECKLIST

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921  
 ▪ [www.gardencityidaho.org](http://www.gardencityidaho.org) ▪ [planning@gardencityidaho.org](mailto:planning@gardencityidaho.org)

Compliance with 8-4G is required for all new non-residential structures, new additions over 5,001 sq. ft. to existing non-residential structures, and all new residential developments over 4 units. This is accomplished through a point system. For more details, consult 8-4G of the Garden City Code.

The following projects are exempt from the requirements of 8-4G:

1. A project that can be certified by a nationally or regionally recognized program for green building construction and/or development.
2. A residential or non-residential development that will be:
  - a. Built to the maximum density or a floor area ratio of 1.0;
  - b. Located on a site that was previously developed with at least 50% site coverage;
  - c. Located within ¼ mile of a residential zone with an average density of (10) unites per acres net; *R3 AVERAGE 35 UNITS/ACRE*
  - d. Located within ¼ mile walking distance of at least two of the following basic services:
    - i. Restaurant
    - ✓ ii. Church or Place of Religious Worship
    - ✓ iii. Food Store
    - iv. Day Care
    - v. Dry Cleaning Establishment
    - vi. Personal or Professional Services
    - ✓ vii. Health Care and Social Services
    - viii. Post Office
    - ix. School
    - x. Health Club
3. A mixed use project in compliance with the requirements as set forth in Article 8-3G of this title.

Place a "x" next to the development that applies to your project.

X	Type of Development	Points required
	New residential development over 4 units	6 pts. per unit
	New Non-residential development: 5,000 sq. ft. or less	12 pts.
	New Non-residential development: 5,001 – 15,000 sq. ft.	18 pts.
X	New Non-residential development: 15,001 – 30,000 sq. ft.	24 pts.
	New Non-residential development: Over 30,000 sq. ft.	32 pts.
	Non-residential additions: 5,001 – 15,000 sq. ft.	12
	Non-residential additions: 15,001 – 30,000 sq. ft.	18
	Non-residential additions: Over 30,000 sq. ft.	24 pts

Using the checklist below, place an "x" next to the sustainable criteria utilized in the project. Usage of each criteria will need to be shown on the site plan and/or landscaping plan or other appropriate plan. Failure to meet the requirements of 8-4G may result in the denial of the project.

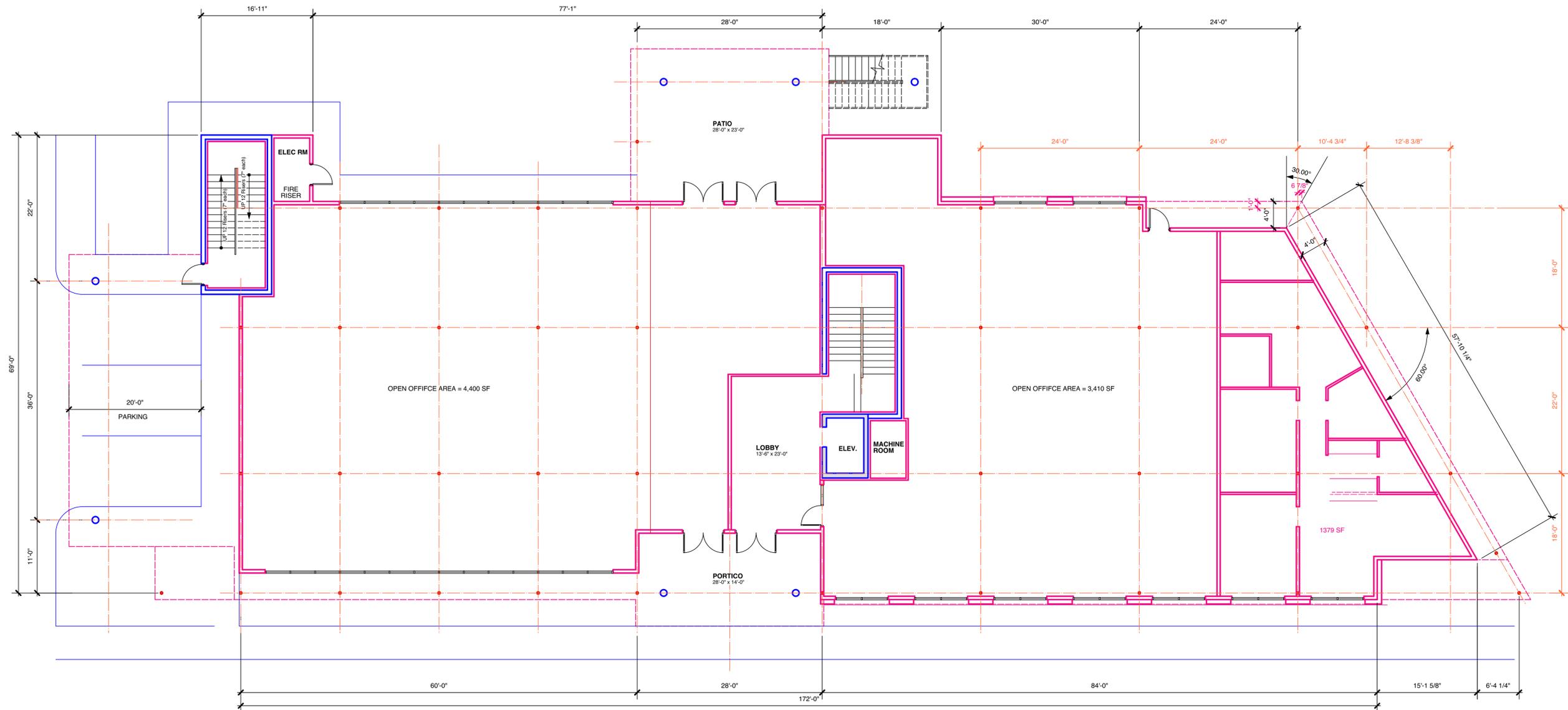
X	Sustainable Criteria	Development Type	Points
✓	Project located within ¼ walking distance of one or more stops of a TOD or established public transit line usable by building occupants	ALL	4
✓	Shower and changing facilities for employees who may walk or bike to work are provided	Non-residential	2
✓	A board or computer is located in a public space that provides the following information for both employees and customers A. Information on carpooling programs B. Transit trip planning assistance C. Transit Maps D. Maps of preferred bike routes and the location(s) of secure bicycle parking, lockers and showers, if provided	Non-residential	1
	Employees are provided at no cost membership in a car-share or van-pool program in which (1) the contract is for at least 2 years, and (2) preferred parking is provided for shared parking, and (3) it is demonstrated that these cars are capable of servicing 5% of the employees	Non-residential	1
	Incentives are provided for employees who carpool or use alternative transportation to get to work. Potential incentives may include guaranteed ride home programs, preferred parking, or transit pass subsidies.	Non-residential	1
✓	Bike parking is provided that exceeds the standard set forth in Section XX of this code	Non-residential	2
✓	Pedestrian pathway or bike trails are dedicated for public use		4
✓	An easily accessible area is provided that serves the entire building and is dedicated to the collection and storage of non-hazardous materials for recycling, (BINS) including (at a minimum) paper, corrugated cardboard, glass, plastics, and metals	ALL	1
	In re-construction of existing sites, at least fifty (50) percent of non-hazardous construction and demolition debris is recycled and/or salvaged	ALL	3
	At least fifty (50) percent (based on surface area) of the existing building structure is incorporated or reused in the new structure.	ALL	2
	A minimum of fifty (50) percent of the parking spaces is provided under cover, including under deck or under roof.	Non-residential	3
✓	Parking is provided underground or below, habitable space.	Non-residential; multi-family residential	1 per two spaces

2

✓	Any combination of the following for fifty (50) percent of the side hardscape including roads, sidewalks, courtyards, and parking lots is provided: A. Shade (within 5 years of occupancy) B. Paving materials with a Solar Reflectance Index (SRI) of at least 29 C. Open grid pavement system	Non-residential; multi-family residential	3
	A vegetated roof for at least fifty (50) percent of the roof area is provided	ALL	3
	Use of alternate sources of energy		
	Solar collectors are an allowed structure in the CC&R's	Residential	2
	Only captured rain water, recycled wastewater, recycled gray water, or water treated is used for non-potable uses for irrigation	ALL	4
	Landscaping is provided that does not require permanent irrigation systems. Temporary irrigation systems used for plan establishment are allowed only if removed within one year of installation	ALL	3
✓	If irrigation is provided, a drip irrigation system is used.	ALL	2
	Alternative surfaces (e.g., vegetated roofs, pervious pavement or grid pavers) and nonstructural techniques (e.g., rain gardens, vegetated swales, disconnection of imperviousness, rainwater recycling) are used to reduce imperviousness and promote infiltration thereby reducing pollutant loadings	ALL	3
	Storm water volumes generated from the site are reused for non-potable uses such as landscape irrigation, toilet and urinal flushing and custodial uses.	ALL	3
	A storm water infiltration and retention system is provided on the site.	ALL	1
	Vegetated open space areas are provided adjacent to the building that is equal to the building footprint	Non-residential	2
	The project design restores surface water systems, including streams and wetlands.	ALL	4
✓	The project design retains all trees on the site that are four (4) inch caliper or greater in size.	ALL	3
	The development footprint is located in the footprint of a previous building or impervious surface area.	ALL	2
	Land is dedicated for conservation of habitat or wetlands	ALL	4
	An area of ten (10) percent of the project site is dedicated for community gardens.	ALL	3
	A minimum of one acres of land is dedicated for permanent agriculture use.	ALL	4

**Total Points Required for Project:** 24

**Total Points From Checklist** 30



REVISIONS		
NO.	DATE	NOTE

**HEALTH SERVICES  
MIRACLE EAR**

**THA TREYHOFF**  
ARCHITECTURE

993 W. State Street, Suite B  
Eagle, ID 83616  
208.336.5510

In the performance of professional services the application of professional judgment is required. The preparation of these documents does not imply that all details and specifications are covered. The Contractor is required by the general conditions of construction contracts to perform work according to the materials and equipment that reasonably could be inferred from the contract documents or from prevailing custom or trade practice, as being required to produce the intended result whether or not specifically designated.

DRAWN BY	THOFF
SCALE	1/4" = 1'-0"
ISSUE DATE	May 21, 2019
REVISION DATE	
PROJECT NUMBER	2018.29

These Construction Documents and Specification are the property of Trey Hoff Architecture and any use or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2017 Trey Hoff Architecture

**FLOOR PLAN  
GROUND LEVEL**

**A2.01**



REVISIONS		
NO.	DATE	NOTE

**HEALTH SERVICES**  
**MIRACLE EAR**

**THA TREYHOFF**  
**A R C H I T E C T U R E**

993 W. State Street, Suite B  
Englewood, CO 80150  
208.336.5510

In the performance of professional services the application of professional judgment is required. The preparation of these documents does not imply that all details and specifications are covered. The Contractor is required by the general conditions of construction contracts to perform work in accordance with the materials and equipment that reasonably could be inferred from the contract documents or from prevailing custom or trade practice, as being required to produce the intended result whether or not specifically designated.

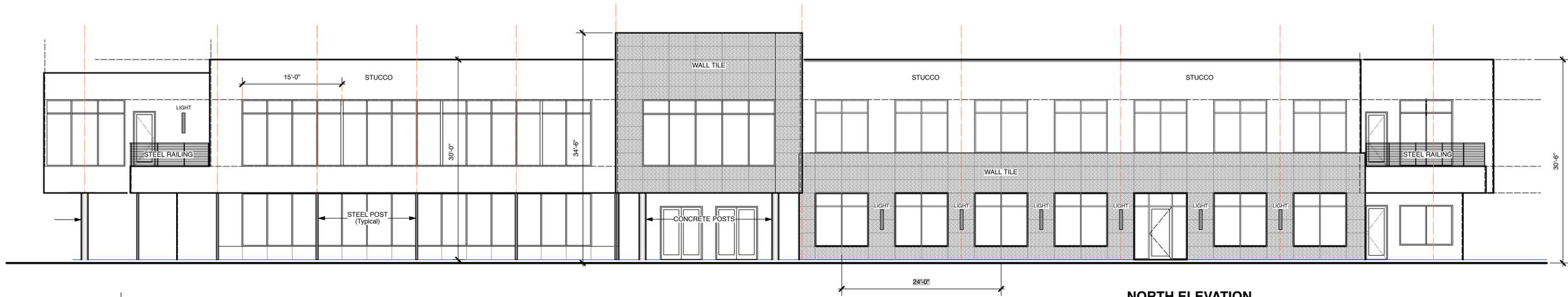
DRAWN BY	THOFF
SCALE	1/4" = 1'-0"
ISSUE DATE	May 21, 2019
REVISION DATE	
PROJECT NUMBER	2018.29

These Construction Documents and Specification are the property of Trey Hoff Architecture and any use or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2017 Trey Hoff Architecture

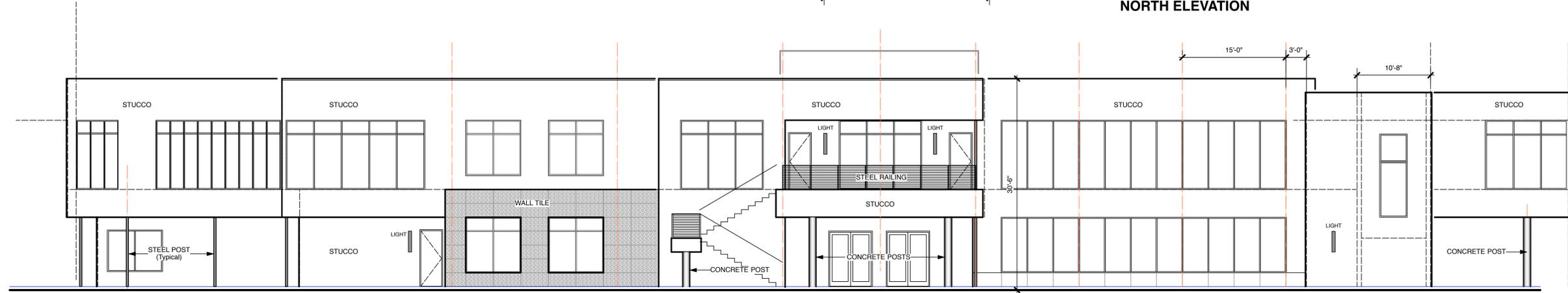
**FLOOR PLAN**  
**SECOND LEVEL**

**A2.02**

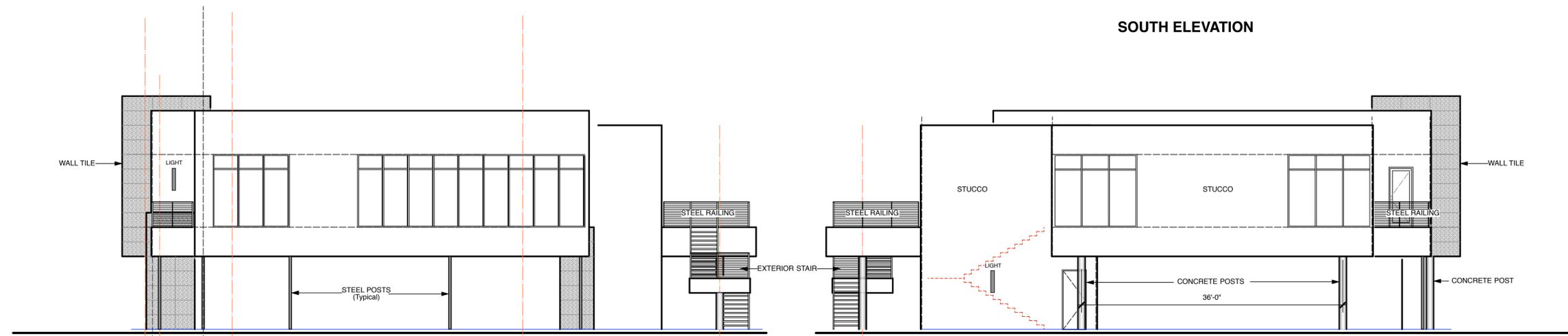
REVISIONS		
NO.	DATE	NOTE



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

EAST ELEVATION

SW 7008  
**Alabaster**  
 Interior / Exterior  
 Locator Number: 255-C2

255



ALTERNATE WALL TILE  
 LANDSTONE - GRAY 48" x 24" PORCELAIN TILE



WALL TILE  
 LANDSTONE - ANTHRACITE 48" x 24" PORCELAIN TILE

**MATERIAL AND BUILDING COLORS**

STUCCO	ALABASTER WHITE
WALL TILE	ANTHRACITE or GRAY
STEEL POSTS	BLACK
CONCRETE POSTS	NATURAL CONCRETE
WINDOWS	BLACK Frames; Tinted Glazing

**HEALTH SERVICES**  
**MIRACLE EAR**

**THA TREYHOFF**  
 ARCHITECTURE

990 W. 34th Street, Suite B  
 Englewood, CO 80156  
 208.336.5510

In the performance of professional services the application of professional judgment is required. The preparation of these documents does not imply that all details and specifications are covered. The Contractor is required by the general conditions of construction contracts to perform work with the same materials and equipment that reasonably could be inferred from the contract documents or from prevailing custom or trade practice, as being required to produce the intended result whether or not specifically designated.

DRAWN BY: THOFF  
 SCALE: 1/8" = 1'-0"  
 ISSUE DATE: May 22, 2019  
 REVISION DATE:  
 PROJECT NUMBER: 2018.29

These Construction Documents and Specification are the property of Trey Hoff Architecture and any use or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2017 Trey Hoff Architecture

**EXTERIOR ELEVATIONS**  
**A3.01**



REVISIONS		
NO.	DATE	NOTE

**HEALTH SERVICES**  
**MIRACLE EAR**

**TREYHOFF**  
**ARCHITECTURE**

THA  
950 W. State Street, Suite B  
Englewood, CO 80150  
208.336.5510

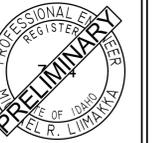
In the performance of professional services the application of professional judgment is required. The preparation of these documents does not imply that all details and specifications are covered. The Contractor is required by the general conditions of construction contracts to perform work in a manner that is consistent with the documents or from prevailing custom or trade practices, as being required to produce the intended result whether or not specifically designed.

DRAWN BY	THOFF
SCALE	1/8" = 1'-0"
ISSUE DATE	March 13, 2019
REVISION DATE	
PROJECT NUMBER	2018.29

These Construction Documents and Specification are the property of Trey Hoff Architecture and any use or reuse thereof in part or in whole without the written permission of the Architect is prohibited. Copyright 2017 Trey Hoff Architecture

**EXTERIOR ELEVATIONS**  
**A3.02**

Drawings not to be reproduced without written permission from Alpha Omega Engineering LLC.



**HEALTH SERVICES - MIRACLE EAR**

W. CARLTON BAY DR., GARDEN CITY, IDAHO

**REVISIONS**

NO.	DATE	DESCRIPTION

PROJECT #: 19005  
DATE: 4-26-18  
DRAWN BY: ABR

SHEET TITLE:  
**GRADING, DRAINAGE, & UTILITY PLAN**

SHEET NO.:



REVIEW SET - NOT FOR CONSTRUCTION - 5/23/19

**KEYNOTES:**

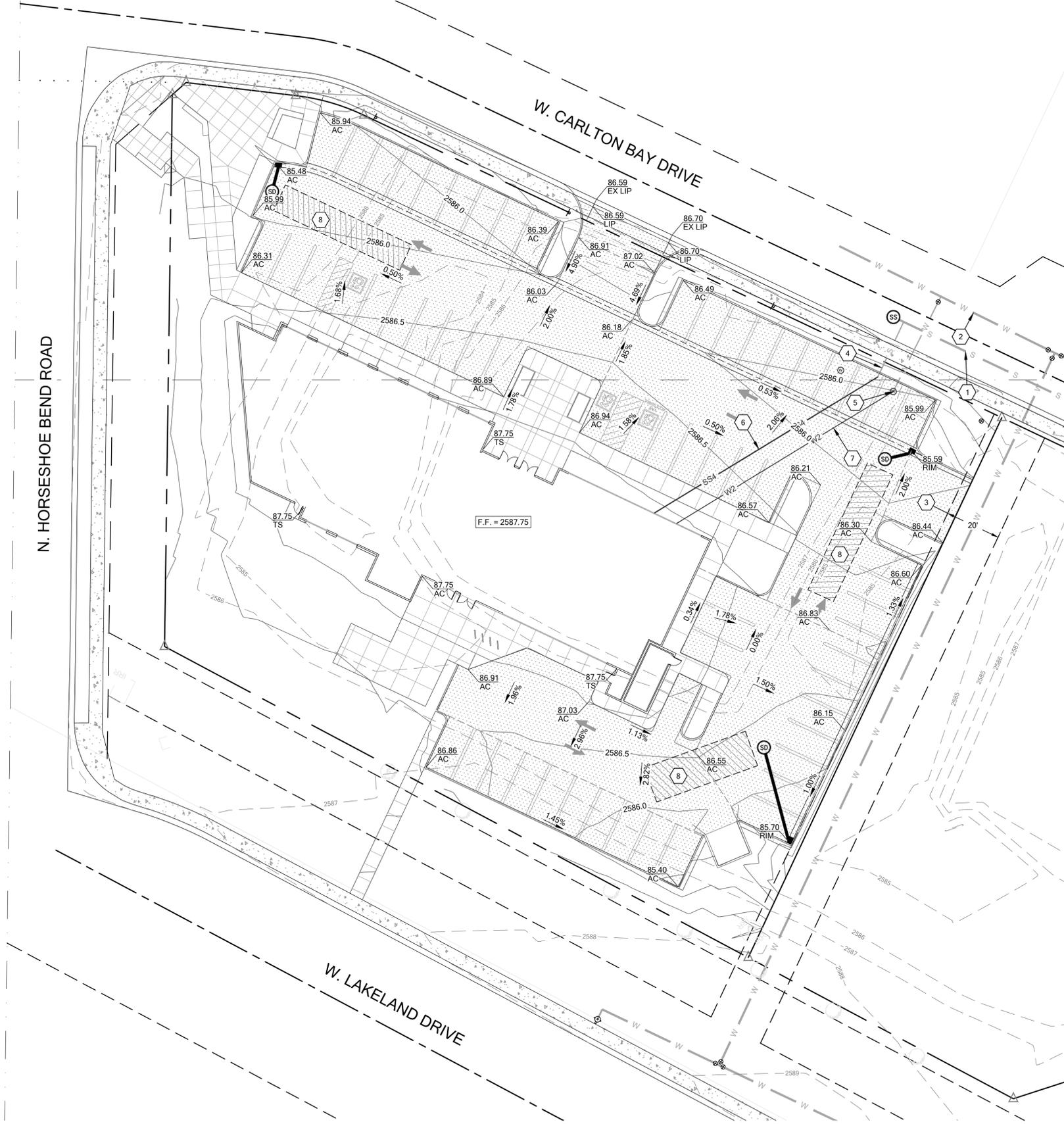
- ① EXISTING SEWER MAIN.
- ② EXISTING WATER MAIN.
- ③ EXISTING WATER EASEMENT
- ④ EXISTING SEWER SERVICE STUB.
- ⑤ EXISTING WATER METER.
- ⑥ PROPOSED SEWER SERVICE TO BUILDING.
- ⑦ PROPOSED WATER SERVICE TO BUILDING.
- ⑧ PROPOSED SEEPAGE BED.

**LEGEND:**

AC	ASPHALT	IE	INVERT ELEV.
BW	BOTTOM OF WALL	LG	LIP OF GUTTER
CR	CROWN	LP	LOW POINT
EX	EXISTING FLOOR	MX	MATCH EXISTING
FF	FINISHED FLOOR	RIM	RIM ELEVATION
FG	FINISHED GRADE	TC	TOP OF CURB
FL	FLOW LINE	TS	TOP OF SLAB
GB	GRADE BREAK	TW	TOP OF WALL
HP	HIGH POINT		

PROPERTY LINE	---
EXISTING CONTOUR (1.0' INTERVALS)	- - - - 2525
PROPOSED CONTOUR (0.5' INTERVALS)	— 2525
GRADE BREAK	— GB
EXIST. CONCRETE	[Pattern]
PROP. ASPHALT	[Pattern]



① PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN  
SCALE: 1"=20'



# ALTA/ACSM LAND TITLE SURVEY FOR ROCKY MOUNTAIN REAL ESTATE DEVELOPMENT, L.L.C.

LOT 2 AND 3, BLOCK 2 OF CARLTON BAY SUBDIVISION  
LOCATED IN THE SOUTHWEST 1/4, OF SECTION 14,  
TOWNSHIP 4 NORTH, RANGE 1 EAST, B.M.,  
GARDEN CITY, ADA COUNTY, IDAHO  
-2012-



TIMBERLINE SURVEYING  
847 PARK CENTRE WAY, SUITE 13, NAMPA, IDAHO 83601  
208-465-5687

## EXCEPTIONS:

13. Easements, reservations, notes and/or dedications as shown on the official plat of Carlton Bay Subdivision:  
Said plat was amended by partial release of easement:  
Recorded: December 4, 2008  
Instrument No.: 108129763
14. An easement for the purpose shown below and rights incidental thereto as set forth in document:  
Granted To: Mountain States Telephone and Telegraph Company  
Purpose: Public Utilities  
Recorded: July 1, 1936  
Book: 14 of Miscellaneous, Page: 619 NO LONGER EFFECTS PROPERTY.
15. An easement for the purpose shown below and rights incidental thereto as set forth in document:  
Granted To: Mountain States Telephone and Telegraph Company  
Purpose: Public Utilities  
Recorded: July 1, 1936  
Book: 14 of Miscellaneous, Page: 620 NO LONGER EFFECTS PROPERTY.
16. Easements, reservations, notes and dedications, as shown on Survey for Ronald Gay Sizar:  
Recorded: September 5, 1997  
Instrument No.: 97072634
17. Agreement and the terms and conditions contained therein  
Between: S & R Land Development LLC  
And: Hawkins Companies LLC  
Purpose: Site Development Agreement, Grant of Easements Improvements Maintenance Agreement and Restrictive Covenant  
Recorded: September 6, 2006  
Instrument No.: 106143961

- Consent and Subordination of Lender:  
Recorded: October 30, 2008  
Instrument No.: 108119674  
Re-recorded: October 30, 2008  
Instrument No.: 108119721
- First Amendment to Site Development Agreement, Grant of Easements, Improvements Maintenance Agreement and Restrictive Covenant Agreement:  
Recorded: October 30, 2008  
Instrument No.: 108119675
18. Agreement and the terms and conditions contained therein  
Between: New Union Ditch Company, Ltd  
And: S & R Land Development, LLC  
Purpose: License Agreement  
Recorded: March 5, 2007  
Instrument No.: 107031692
  19. Covenant to Install Utilities:  
Recorded: April 27, 2007  
Instrument No.: 107060452 DOES NOT EFFECT PROPERTY.
  20. Agreement and the terms and conditions contained therein  
Between: New Dry Creek Ditch Company, Ltd  
And: S & R Land Development, LLC  
Purpose: License Agreement  
Recorded: June 28, 2007  
Instrument No.: 107092109
  21. Covenants, conditions and restrictions, but omitting any covenant or restriction based on race, color, religion, sex, sexual orientation, disability, handicap, familial status, marital status, ancestry, national origin or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law.  
Recorded: October 30, 2008  
Instrument No.: 108119676
  22. Notice of Non-Responsibility:  
Executed by: Hawkins Companies LLC Recorded: April 2, 2008  
Instrument No.: 108038205  
Affects: Includes other property.

## REFERENCES:

TITLE COMMITMENT  
PRELIMINARY TITLE REPORT NO. 146743  
EFFECTIVE: MAY 23, 2012 AT 7:30:00 A.M.

## DEEDS/INST. NO.

- # 108129763
- # 170897
- # 170898
- # 97072634
- # 108143961
- # 108119721
- # 108119675
- # 107031692
- # 101139417
- # 107060452
- # 107092109
- # 108119676
- # 108038205

## PLAT

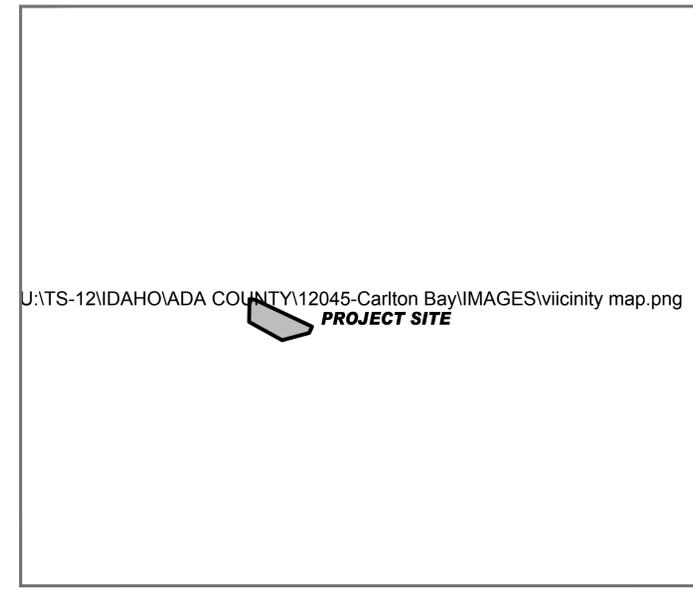
CARLTON BAY SUBDIVISION BOOK 100, PAGES 12901-12905

## NOTES:

1. NO BUILDING'S ARE LOCATED ON THIS PROPERTY
2. PROPERTY IS LOCATED ON FLOOD ZONE AE 100 YR FLOOD PLAN PER F.E.M.A. MAP PANEL 16001C0162H & 16001C0166H, EFFECTIVE SEP. 22, 1999.
3. VERTICAL RELIEF WAS ACQUIRED BY A GROUND SURVEY PERFORMED AT THE TIME OF THIS ALTA SURVEY. CONTOURS ARE SHOWN AT 1 FOOT INTERVAL USING NAVD (GEOID 09).
4. PROPERTY IS ZONED M - MIXED USE WHICH HAS THE FOLLOWING SETBACKS AND RESTRICTIONS:  
MAX HEIGHT - 55'  
MAX LOT AREA - 2,000  
FRONT SETBACK - 20'  
INTERIOR SIDE SETBACK - 5'  
STREET SIDE SETBACK - 20'  
REAR SETBACK - 15'
5. POLES FOR EXCEPTION 14 AND 15 NO LONGER EXISTS AND NO LONGER EFFECT PROPERTY.
6. UTILITIES WHERE LOCATED BY OBSERVED EVIDENCE ONLY.
7. NO EVIDENCE OF SOLID WASTE DUMP, SUMP OR SANITARY

## LEGAL:

LOTS 2 AND 3 IN BLOCK 2 OF CARLTON BAY SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT THEREOF, FILED IN BOOK 100 OF PLATS AT PAGE(S) 12901 THROUGH 12905, AND AMENDED BY AFFIDAVIT RECORDED MARCH 1, 2010, AS INSTRUMENT NO. 110018434, OFFICIAL RECORDS OF ADA COUNTY, IDAHO.



## VICINITY MAP

-NTS-

## LEGEND

- SECTION COR. MONUMENT AS NOTED
- 1/4 COR. MONUMENT AS NOTED
- FOUND MONUMENT AS NOTED
- COMPUTED POINT (NOTHING FOUND OR SET)
- EXISTING SUBDIVISION LOT NUMBER
- PLOTTABLE EXCEPTION NUMBER (ALL OTHERS ARE UNPLOTTABLE)
- SANITARY SEWER MANHOLE
- CABLE TV BOX
- WATER MANHOLE
- FIRE HYDRANT
- WATER VALVE
- TELEPHONE RISER
- SIGN
- THERMAL PUMP
- EXISTING TREE (CANOPY SIZE)
- BOUNDARY LINE
- LOT LINE
- SECTION LINE
- RIGHT-OF-WAY LINE
- TIE LINE
- EASEMENT LINE
- SEWER LINE
- WATER LINE
- TOP OF SLOPE
- TOE OF SLOPE
- FLOW LINE
- EDGE OF LAWN
- CONCRETE CURB, GUTTER, AND/OR SIDEWALK
- MAJOR CONTOUR
- MINOR CONTOUR
- GRASS / LANDSCAPE AREA

LANDFILL WAS FOUND.

## CERTIFICATION

TO: ROCKY MOUNTAIN REAL ESTATE DEVELOPMENT, LLC, ALLIANCE TITLE & ESCROW CORP., FCP-CARLTON BAY, LLC, AND LENDER.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT OF THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6a, 6b, 8, 11a, 11b, 13, 14, 16, AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 20, 2012.

RUSSELL E. BADGLEY PLS 70716

DATE

ALTA/ACSM LAND TITLE SURVEY  
FOR  
ROCKY MOUNTAIN REAL ESTATE DEV., LLC

CARLTON BAY SUB LOT 2 AND 3, BLOCK 2  
GARDEN CITY, IDAHO

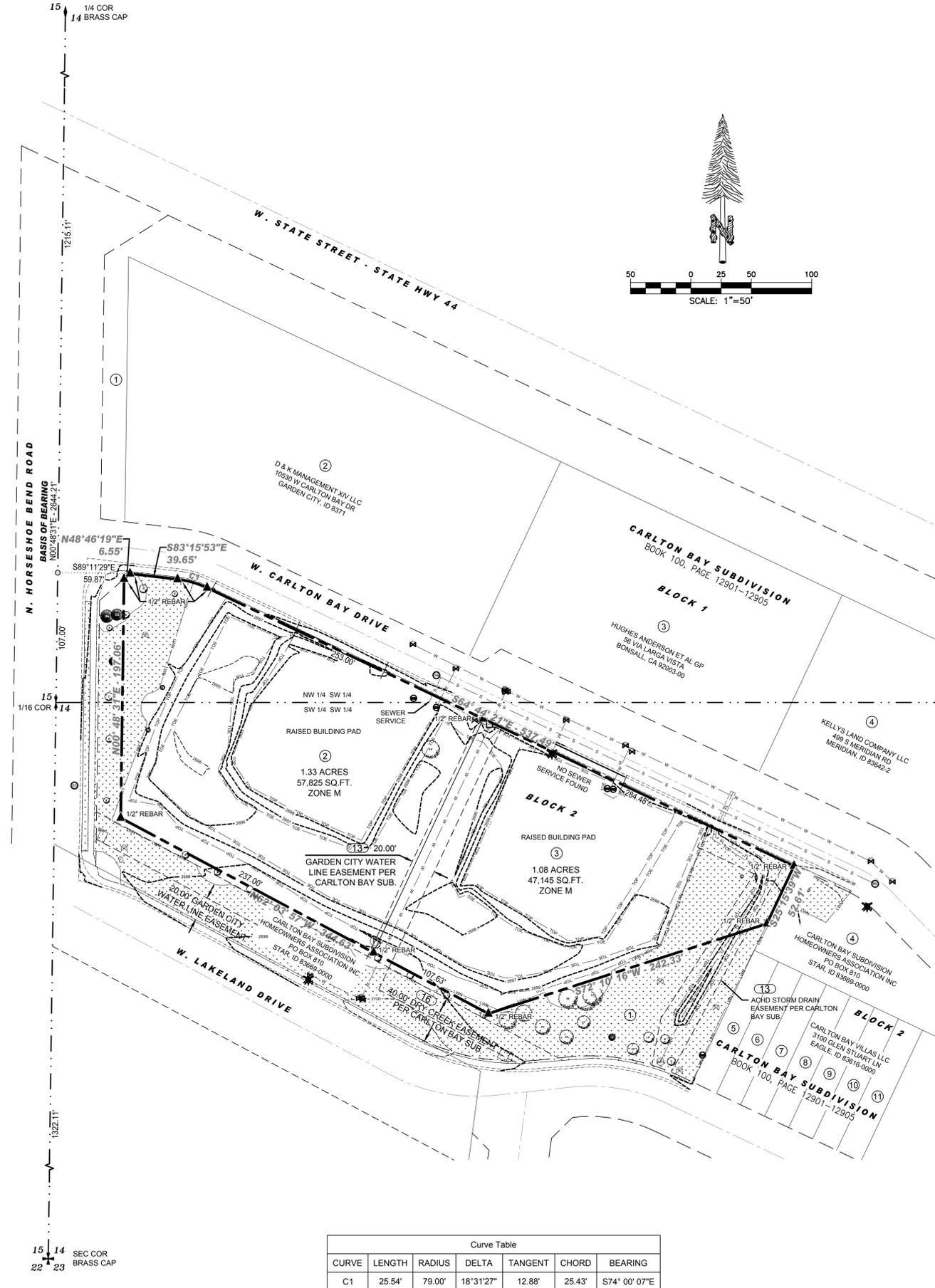
REPRESENTATIVE:  
MATHEW WITT - ROCKY MT. & DEV., LLC  
208-345-7030

Client File: CARLTON BAY ALTA.DWG  
Job Number: 12045  
Drawing: ALH  
Emergency: ALH  
Date: 6/27/12

No. DATE BY DESCRIPTION

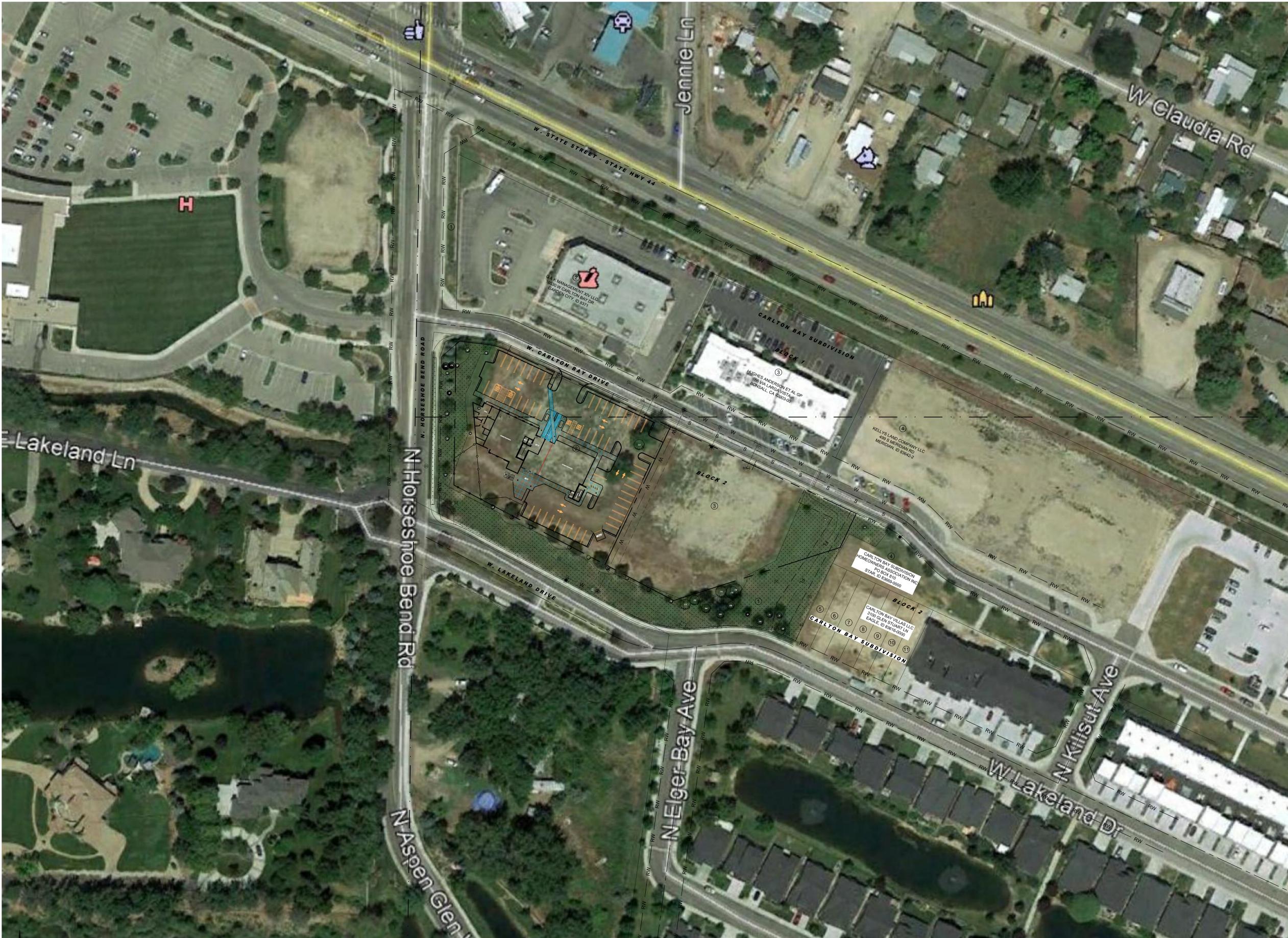
## REVISIONS

SCALE: 1" = 50'  
Sheet Number: 1/1



Curve Table						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	BEARING
C1	25.54'	79.00'	18°31'27"	12.88'	25.43'	S74° 00' 07"E

Z:\BSP Projects\2018\18012 Health Services - Mirror Cap\DWG\18012 Site Data.dwg plotted by Tracey Evans on Fri, May 3, 2019 at 03:50 PM



NO.	REVISION/ISSUE	DATE

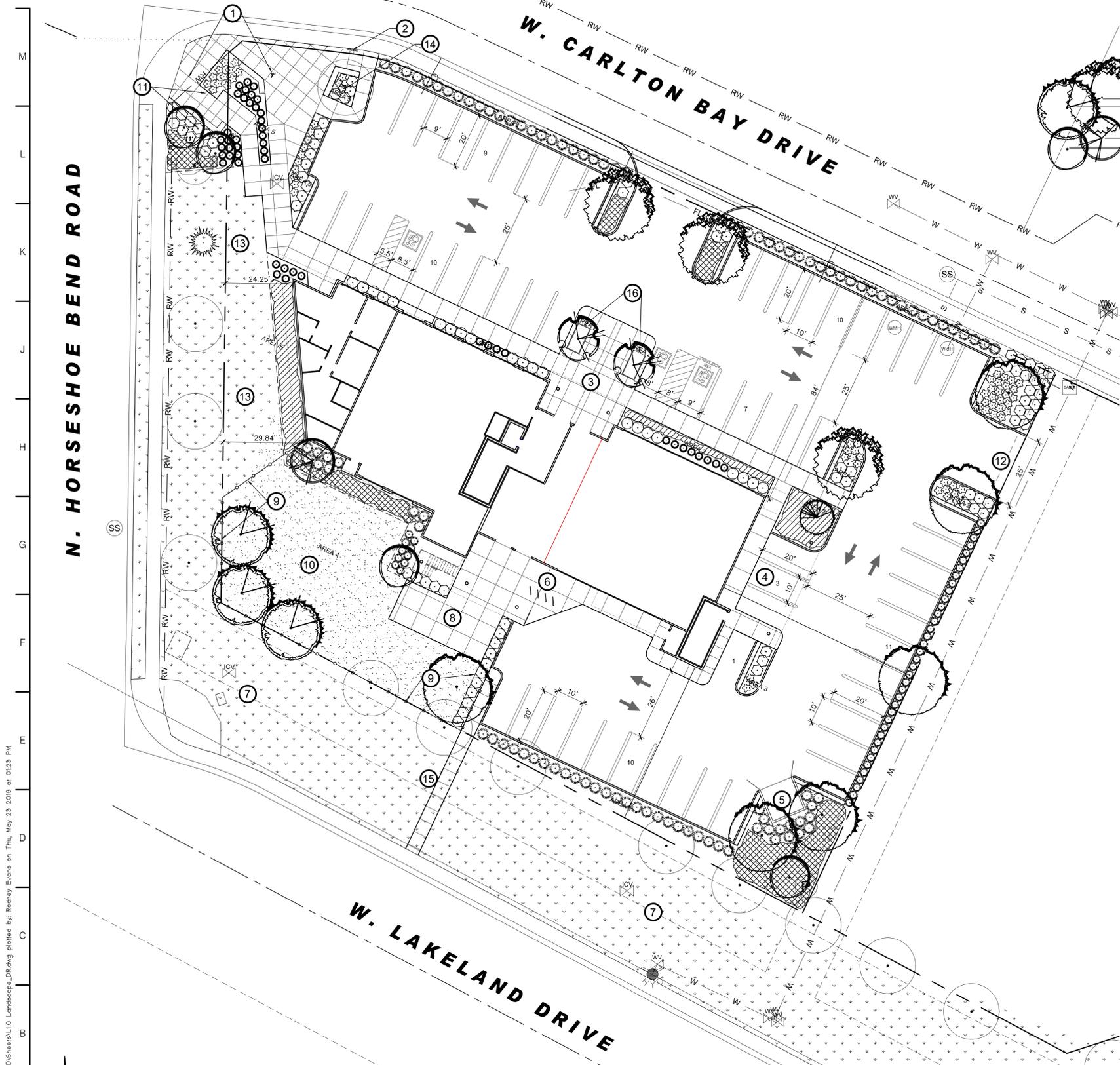


PROJECT NAME  
 ADDRESS 1  
 ADDRESS 2  
 PROJECT TYPE (PUD/SUB/ETC)

SHEET TITLE	
PROJECT	####
DATE	##/##/##
DRAWN BY	BSS
CHECKED BY	BSS
<b>SHNO</b>	

SUBMITTAL TYPE

Copyright © 2019. All rights reserved. Reproduction or use in any form without written permission of Rodney Evans + Partners, PLLC, is prohibited and subject to criminal prosecution.



### PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	USDA ZONE	CLASS
<b>DECIDUOUS SHADE TREES</b>							
6	GT	Gleditsia triacanthos f. inermis 'Skycole'	Skyline Honeylocust	2" CAL B&B	40' H x 30' W	Zone 4	II
3	QP	Quercus palustris	Pin Oak	2" CAL B&B	60' X 50' W	Zone 4	III
3	ZS	Zelkova serrata 'Gold Falls'	Gold Falls™ Zelkova	2" CAL B&B	45' X 30' W	Zone 5	II
<b>ORNAMENTAL FLOWERING TREES</b>							
2	AG	Amelanchier grandiflora 'Princess Diana'	Princess Diana Serviceberry	2" CAL B&B, Multi	20' X 15' W	Zone 3	I
1	CT	Cotinus coggygria 'Royal Purple'	Royal Purple Smoke Tree	2" CAL B&B, Multi	15' X 12' W	Zone 4	I
2	MS	Malus x 'Indian Magic'	Indian Magic Flowering Crabapple	2" CAL B&B	15' X 15' W	Zone 4	I
<b>CONIFEROUS TREES</b>							
1	PG	Picea glauca 'Pendula'	Weeping White Spruce	7-8" B&B	12' X 16' W	Zone 3	
<b>SHRUBS/PERENNIALS/ORNAMENTAL GRASSES</b>							
70	BM	Buxus 'Green Velvet'	Green Velvet Boxwood	2 gal	3' x 3'		
101	EP	Echinacea purpurea 'Cherokee Spirit'	Cherokee Spirit Coneflower	1 gal	3' x 3'		
48	HS	Helictotrichon sempervirens	Blue Oat Grass	1 gal	3' x 2'		
57	HC	Hemerocallis 'Chicago Fire'	Chicago Fire Daylily	1 gal	2-6" X 2-6"		
35	MR	Molinia caerulea arundinacea 'Skyracer'	Moor Grass	1 gal	4' x 3'		
97	PA	Panicum virgatum 'Heavy Metal'	Heavy Metal Blue Switch Grass	1 gal	4' x 3'		
21	PL	Prunus laurocerasus 'Schipkaensis'	Schipka Cherry Laurel	2 gal	8' x 6'		
100	VM	Vinca minor 'Bowles'	Dwarf Periwinkle	4" Pots - 36" o.c.	1'x4'		

	Vinca Minor 'Bowles' 4" Pots - 36" o.c.		Echinacea purpurea 'Cherokee Spirit' 4" Pots - 36" o.c.
--	--	--	--

### LANDSCAPE LEGEND

- TREES AND PLANTS TO BE INSTALLED
- EXISTING TREES TO BE SAVED
- CUT EDGE AS DETAILED
- PROPOSED FENCING
- QUANTITY  
PLANT IDENTIFICATION KEY
- MAINTAINED LAWN AREAS  
TURF SOD AND TOPSOIL AS SPECIFIED
- BARK MULCH AND TOPSOIL AS SPECIFIED
- CALLOUT NUMBERS REFER TO NUMBERED NOTES BELOW

### CALLOUT NOTES

- PUBLIC PLAZA CONNECTION/ ACCESSIBLE ROUTE TO BUILDING WITH SEAT WALLS AND AMENITIES
- PEDESTRIAN NODE/ EXISTING PUBLIC TRANSIT STOP
- BUILDING ENTRY PLAZA
- PARKING STALLS UNDER COVER
- TRASH ENCLOSURE
- BIKE RACKS
- IRRIGATION EASEMENT
- CONCRETE PATIO
- 6" HIT STEEL PANEL FENCING
- PRIVATE ENCLOSED LANDSCAPE AREA
- EXISTING LANDSCAPE AND TREES TO BE REMOVED - HOA COORDINATION AND APPROVAL ONGOING
- DRIVE AISLE TO EAST PARCEL
- EXISTING LANDSCAPE TO REMAIN - SAVE AND PROTECT
- EXISTING TREES TO REMAIN - SAVE AND PROTECT
- PROPOSED WALKWAY TO LAKELAND DRIVE
- TREES GRATES - TYP. OF 2

### LOG OF SQ. FT. OF LANDSCAPE MATERIALS PER LOCATION

- AREAS AS NOTED ON PLAN:
- AREA 1 - 1548 S.F. OF PERIMETER AND INTERNAL PARKING LOT PLANTER BEDS WITH SHRUBS AND TREES AT THE NORTH SIDE PROPERTY LINE
  - AREA 2 - 1296 S.F. OF PARKING LOT PLANTER BEDS WITH SHRUBS AND TREES NORTH OF THE BUILDING
  - AREA 3 - 1787 S.F. OF PLANTER BEDS WITH SHRUBS AND TREES SOUTHEAST OF THE BUILDING
  - AREA 4 - 5016 S.F. OF TURF AREA AND PLANTER BEDS WITH SHRUBS AND TREES SOUTHWEST OF THE BUILDING
  - AREA 5 - 1758 S.F. OF PERIMETER PLANTER BEDS WITH TREES AND SHRUBS WEST OF THE BUILDING AND WITHIN THE PLAZA AT THE NORTHWEST CORNER

### LOG OF SQ. FT. OF IMPERVIOUS, BUILDING, AND LANDSCAPE

- IMPERVIOUS AREA - 33,829 S.F.
- BUILDING AREA - 1ST FLOOR = 10,149 - 2ND FLOOR = 11,612 - TOTAL: 21,761 S.F.
- LANDSCAPE AREA - 11,404 S.F. (EXCLUDING SETBACKS AND RIGHT-OF-WAY)
- LANDSCAPE AREA - 2,460 S.F. (WITHIN SETBACKS AND RIGHT-OF-WAY)

### SITE REQUIREMENTS

TOTAL PROPERTY SIZE= 57,842 ± S.F. - 1.32 ACRES  
 ZONING DISTRICT = M  
 BUILDING SIZE= 1ST FLOOR = 10,149 - 2ND FLOOR = 11,612 - TOTAL: 21,761 S.F.  
 HARDSCAPE COVERAGE: 33,829 S.F.  
 LANDSCAPE COVERAGE: 13,864 S.F.

NUMBER OF PARKING STALLS PROVIDED:  
 58 STANDARD STALLS  
 0 COMPACT STALLS  
 3 ADA STALLS (REQUIRED PER 58 STALLS)  
 TOTAL: 61 STALLS

NUMBER OF BICYCLE PARKING SPACES PROVIDED:  
 PROPOSED ONE RACK (4 RACKS = 8 STALLS)

SETBACKS  
 FRONT (WEST)= 10' (HORSESHOE BEND RD.)  
 BACK (EAST)= 5'  
 SIDE (SOUTH)= 0'  
 SIDE (CARLTON BAY DRIVE)= 0'

### LANDSCAPE REQUIREMENTS

GARDEN CITY, IDAHO CODE - ARTICLE I, LANDSCAPING AND TREE PROTECTION PROVISIONS

TOTAL SITE: 57,842 S.F.  
 TOTAL LANDSCAPE AREA: 13,864 S.F. (24%)

MINIMUM PLANT SIZES SHALL BE USED:  
 SHADE TREES: 2 INCH CALIPER  
 ORNAMENTAL TREES: 2 INCH CALIPER  
 EVERGREEN TREES: 6 FOOT HEIGHT  
 WOODY SHRUBS: 2 GALLON POT

REQUIRED LANDSCAPE AREAS SHALL BE AT LEAST (70%) COVERED WITH VEGETATION AT MATURITY WITH MULCH. USE OF MULCH, ORGANIC OR ROCK AS ONLY GROUND COVER IN PLANTING AREAS IS PROHIBITED. PROVIDED: 90% COVERAGE

TOTAL NUMBER OF TREES PROPOSED: 18  
 TOTAL NUMBER OF TREE SPECIES REQUIRED: 3

MINIMUM OF 5% OF GROSS SITE AREA SHALL BE LANDSCAPED, EXCLUDING AREAS FOR SETBACK AND PERIMETER LANDSCAPE.  
 PERCENT PROPOSED: 24%

A MINIMUM OF ONE CLASS III OR CLASS II TREE SHALL BE PLANTED IN THE FRONTAGE AND EVERY ADJACENT STREETSIDE. AN ADDITIONAL CLASS I TREE SHALL BE PLANTED IN THE CORRESPONDING SETBACK FOR EVERY INCREMENT OF FIFTY FEET (50') OF LINEAR FEET OF FRONTAGE.  
 PROPOSED CLASS III AND II: 12  
 PROPOSED CLASS I: 6

A MINIMUM OF ONE TREE PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPED AREA AND ONE SHRUB PER ONE HUNDRED FIFTY (150) SQUARE FEET OF LANDSCAPED AREA SHALL BE PLANTED.  
 REQUIRED TREES: 14 - PROPOSED TREES: 18 - EXISTING TREES: 1 = 19  
 REQUIRED SHRUBS: 92 - PROPOSED SHRUBS: 328

NO.	REVISION/ISSUE	DATE

RODNEY EVANS + PARTNERS  
 LANDSCAPE ARCHITECTURE  
 + URBAN DESIGN  
 + LAND PLANNING  
 + CONSTRUCTION MANAGEMENT  
 + PROJECT MANAGEMENT

HEALTH SERVICES - MIRACLE EAR  
 W. CARLTON BAY DR.  
 GARDEN CITY, ID 83714  
 DESIGN REVIEW SUBMITTAL

SITE AND LANDSCAPE PLAN	
PROJECT	19012
DATE	5/23/19
DRAWN BY	BSS
CHECKED BY	REP
SHEET	L1.0

Z:\\_REP Projects\2019\19012 Health Services - Miracle Ear\CAD\Sheets\L10 Landscape\_DR.cwg plotted by: Rodney Evans on Thu, May 23 2019 at 01:23 PM

Copyright © 2019. All rights reserved. Reproduction or use in any form is prohibited. Rodney Evans + Partners, P.L.L.C. is a national firm subject to regional production.