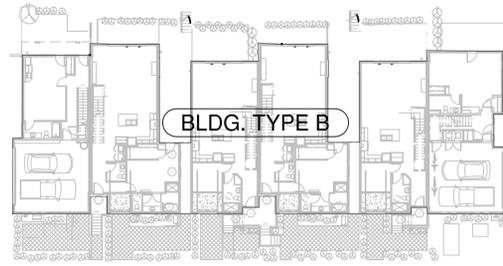
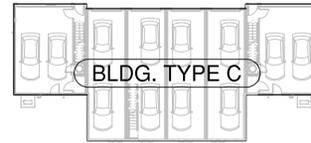


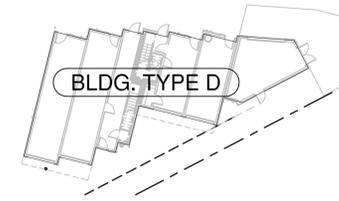
BLDG. TYPE A
 BUILDING TYPE A - 5 UNITS
 (1) BUILDING TOTAL
 FOOTPRINT - 3,425 SF
 TOT. NET CONDITIONED SPACE - 4,715 SF
 (3) STORIES - SINGLE FAMILY RESIDENCE
 OCCUPANCY R-2
 CONSTRUCTION TYPE - TOWNHOME



BLDG. TYPE B
 BUILDING TYPE B - 6 UNITS
 (1) BUILDING TOTAL
 FOOTPRINT - 7,229 SF
 TOT. NET CONDITIONED SPACE - 14,049 SF
 (2 & 3) STORIES - SINGLE FAMILY RESIDENCE
 OCCUPANCY R-2
 CONSTRUCTION TYPE - TOWNHOME



BLDG. TYPE C
 BUILDING TYPE C - 2 UNITS
 (1) BUILDING TOTAL
 FOOTPRINT - 3,661 SF
 TOT. NET CONDITIONED SPACE - 2,300 SF
 (3) STORIES - SINGLE FAMILY RESIDENCE
 OCCUPANCY R-2
 CONSTRUCTION TYPE - TOWNHOME



BLDG. TYPE D
 BUILDING TYPE D - 4 UNITS
 (1) BUILDING TOTAL
 FOOTPRINT - 2,426 SF
 TOT. NET CONDITIONED SPACE - 3,154 SF
 (3) STORIES - SINGLE FAMILY RESIDENCE
 OCCUPANCY R-2
 CONSTRUCTION TYPE - TWO UNIT SINGLE FAMILY

APPLICANT
 SURFERS PARADISE LLC
 TODD WELTNER
 300 EAST 35TH ST.
 GARDEN CITY, ID 83714
 208-336-9860

PLAN PREPARED BY:
 DOUGLAS GIBSON - C29792
 430 E. STATE ST. #100
 EAGLE, ID 83616
 (208)461-0022 EXT.3021

PARKING

PARKING REQ.
 (2) STALLS PER LOT
 PARKING PROVIDED
 (2) STALLS PER LOT
 TOTAL PARKING PROVIDED = (32) RESIDENTIAL SPACES
 = (2) COMMERCIAL SPACES
 = (34) TOTAL SPACES

SITE CALCS

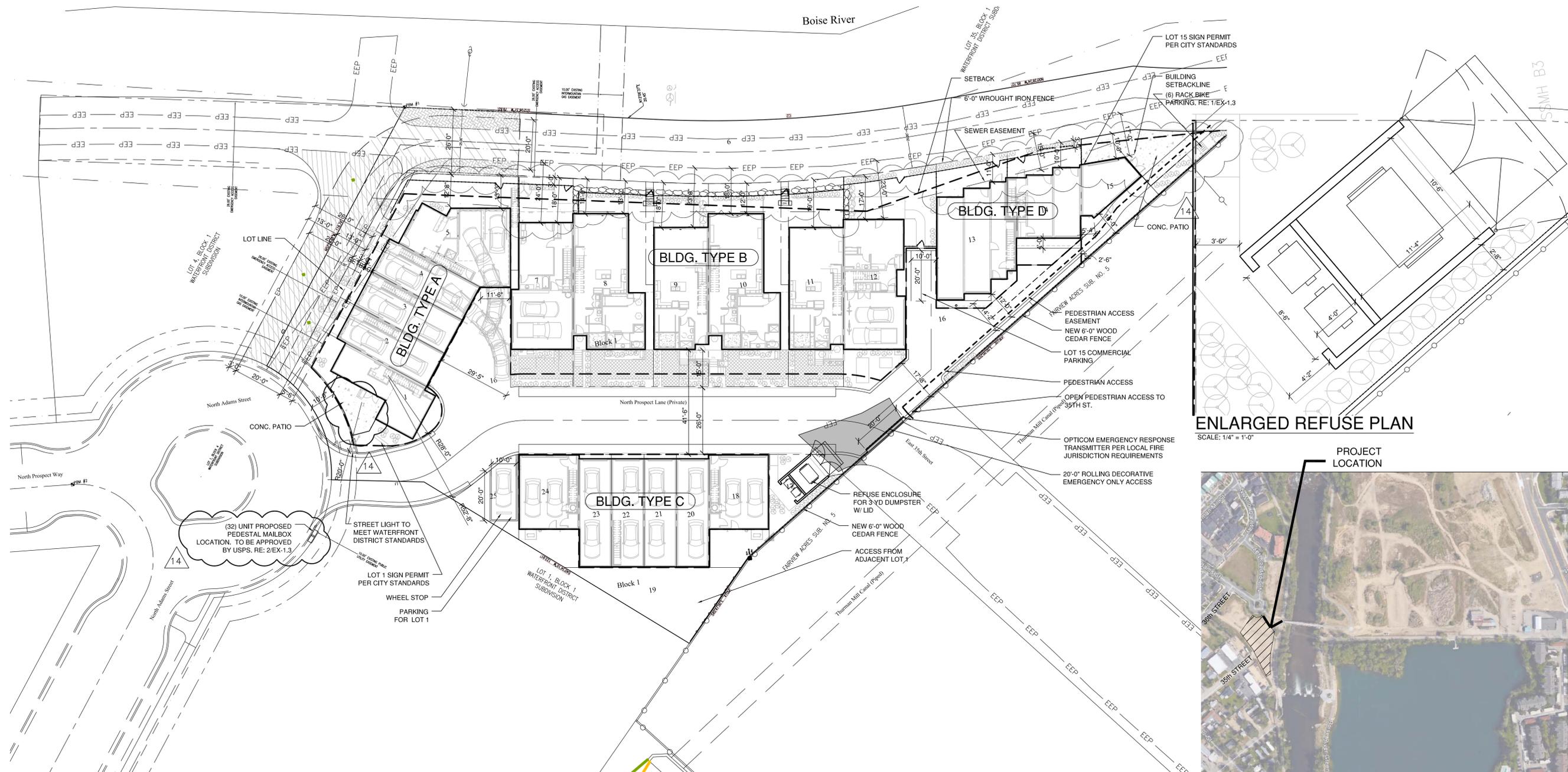
BUILDING FOOTPRINTS = 16,741 SF
 PRIVATE DRIVEWAY = 8,887 SF
 LANDSCAPE, SIDEWALK AND OPEN SPACE = 13,993 SF
 SITE TOTAL = 39,621 SF

REVISIONS	
14	CITY REVIEW 05/08/19

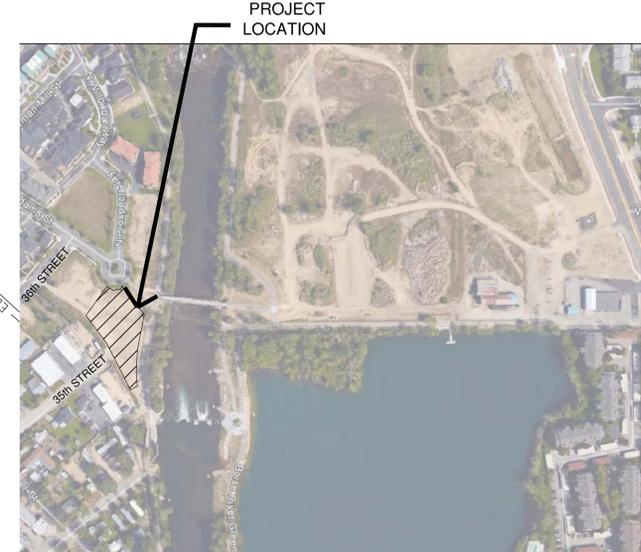
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PROJECT #	ECP16-4



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ENLARGED REFUSE PLAN
 SCALE: 1/4" = 1'-0"



VICINITY MAP
 N.T.S.

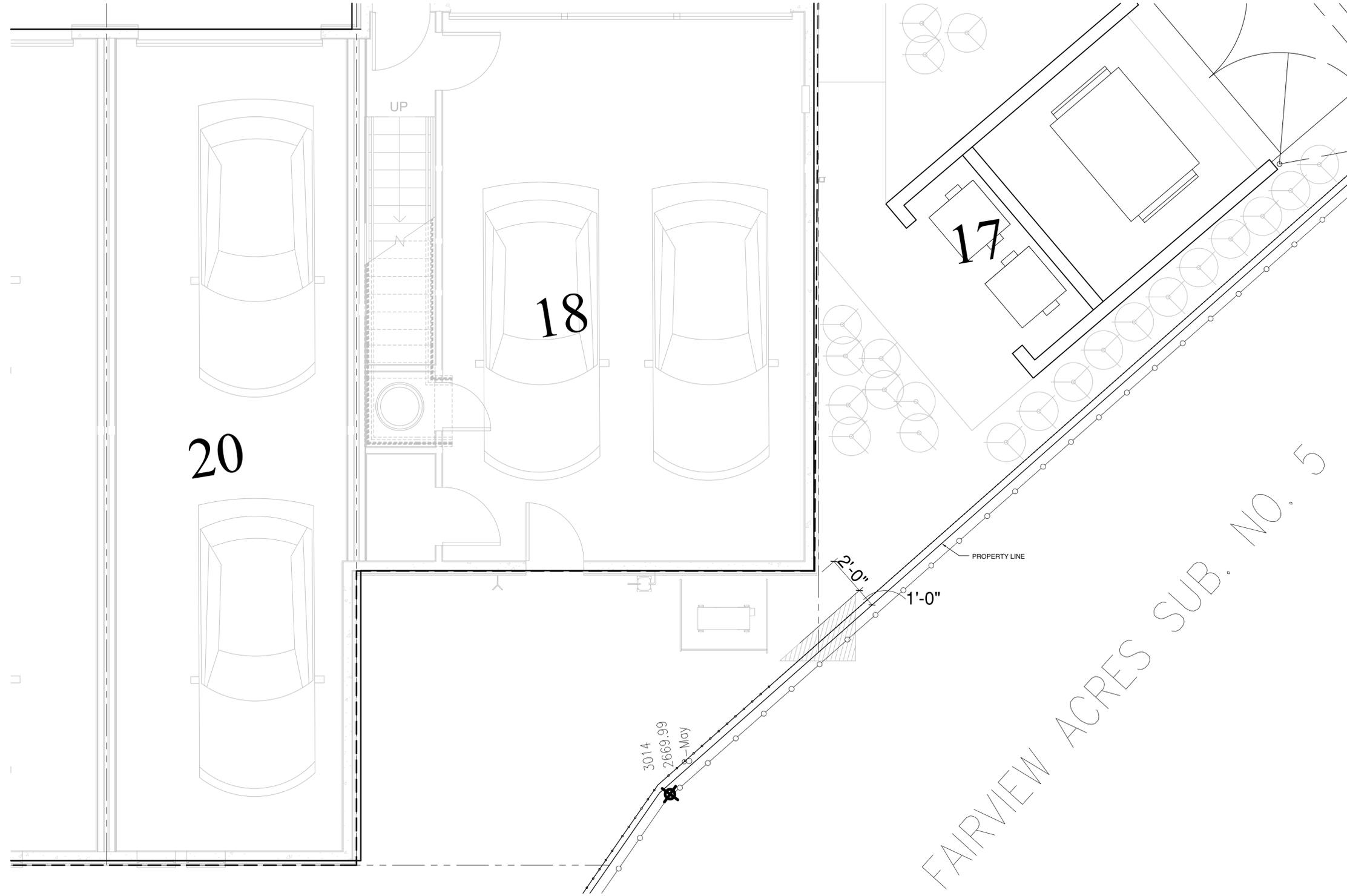
SITE PLAN
 SCALE: 1" = 20'

DG GROUP ARCHITECTURE PLLC
 430 E. STATE STREET, SUITE 100
 EAGLE, IDAHO 83616
 (208) 908-4871
 (208) 956-1899 FAX

BRIDGE TOWNHOMES
 WATERFRONT TOWNHOMES, 35TH ST.
 GARDEN CITY, ID

A1.1
 CONSTRUCTION SET - 02/22/18

ALASKA - ARIZONA - CALIFORNIA - COLORADO - HAWAII - IDAHO - IOWA - KANSAS - LOUISIANA - MONTANA - NEVADA - NEW MEXICO - NORTH DAKOTA - OREGON - SOUTH DAKOTA - U.S.V.I. - UTAH - WASHINGTON - WYOMING



ENLARGED SITE PLAN - LOTS 18-24
SCALE: 3/8" = 1'-0"

REVISIONS	
14	CITY REVIEW 05/08/19

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PROJECT #	ECP16-4

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LICENSED ARCHITECT AR-2094

DOUGLAS LINCOLN GIBSON
STATE OF IDAHO

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PROJECT

BRIDGE TOWNHOMES

WATERFRONT TOWNHOMES, 35TH ST.
GARDEN CITY, ID

A1.6



1 BUILDING A - NORTH ELEVATION
3/16" = 1'-0"

- GENERAL NOTES**
- SEE BUILDING SECTIONS AND STRUCTURAL SERIES FOR PLATE HEIGHTS.
 - ELEVATION (0'-0") IS FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR ELEVATIONS.
 - SEE ROOF PLANS FOR ATTIC VENTILATION REQUIREMENTS, SLOPES, AND OVERBUILD AREAS.
 - SEE STRUCTURAL DRAWINGS FOR FRAMING AND FOUNDATION PLANS' DETAILS.
 - SEE CIVIL, PLUMBING, ELECTRICAL AND JOINT TRENCH DRAWINGS FOR LOCATIONS OF EXTERIOR MOUNTED UTILITIES AND METER BANKS.
 - SEE SPECIFICATIONS FOR APPROVED MANUFACTURERS. NO SUBSTITUTIONS ALLOWED W/ OUT PRIOR APPROVAL BY ARCHITECT OR ENGINEER OF RECORD.
 - GENERAL CONTRACTOR TO COORDINATE LOCATIONS OF ALL WINDOWS, VENTS, UTILITY METERS, AND EXTERIOR FINISHES WITH OWNER DESIGNATED THIRD-PARTY SUBCONTRACTOR FOR SOLAR GENERATION ENERGY SYSTEM.
 - ALL GALVANIZED IRON CAPS AT HALF-WALLS AND COUNTER FLASHING TRIM AT PATIOS SHALL BE PAINTED TO MATCH ACCENT COLOR NOTED.
 - ALL EXPOSED ROOF TOP PENETRATIONS, INCLUDING, BUT NOT LIMITED TO VENT STACKS FOR SEWER, ATTIC VENTS, AND EXHAUST GAS HOUSING SHALL BE PAINTED IN THE FIELD TO MATCH ADJACENT MAIN FIELD COLOR OF CONCRETE ROOFING.
 - EXTERIOR UTILITY ENCLOSURE CABINETS TO BE PER LOCAL UTILITY PROVIDERS' SPECIFICATIONS FOR SIZE, ORIENTATION, AND INSTALLATION REQUIREMENTS. PROVIDE FINISH AT ENCLOSURE TO MATCH ADJACENT SIDING. COORDINATE LOCATION FOR ACCESS PATHS AND PADS WITH CIVIL AND LANDSCAPE DRAWING SERIES.
 - AT LOCATIONS OF ELECTRICAL PANEL INSTALLATION AT EXTERIOR STUCCO, PROVIDE COUNTER FLASHING AND EXPOSED SUBSTRATE PER MFR. RECOMMENDATIONS.

- KEY NOTES**
- ASPHALT SHINGLE ROOFING. COLOR TO BE APPROVED BY ARCHITECT.
 - CEMENT STUCCO SYSTEM. TEXTURE HEAVY SAND.
 - 6" HORIZONTAL SHIP LAP SIDING. PROVIDED BEADED CORNER TRIM AT CORNER LOCATIONS AND VERTICAL TRIM BOARDS.
 - HARDI PANEL SIDING
 - WINDOW SYSTEM. STOREFRONT GLAZING AND VINYL WINDOW COMBINATION
 - PRE-FINISHED METAL GUTTER. SEE ROOF PLAN FOR EXTENT. COLOR AS NOTED. DOWNSPOUT TO MATCH.
 - PRE-MANUFACTURED VINYL OUTRIGGER.
 - 14" RAISED STUCCO TRIM BANDS. COLOR SHOWN.
 - METAL RAILING SYSTEM. COLOR AS NOTED.
 - NOT USED.
 - SECTIONAL OVERHEAD GARAGE DOOR W/ OPAQUE AND TRANSLUCENT PANELS.
 - EXTERIOR MEP EQUIPMENT W/ METAL SLAT SCREENING. SEE MEP PLANS FOR MORE INFORMATION.
 - GLASS RAILING.
 - NOT USED.
 - VERTICAL TRELLIS SYSTEM. SEE LANDSCAPE SERIES.
 - FOUR LEAF SLIDING DOOR SYSTEM.
- NOTE:
ALL MATERIAL COLOR TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.

REVISIONS

1	ARCH. DESIGN ADJUSTMENT	07/24/17
2	OWNER COMMENTS	08/16/17
14	CITY REVIEW	05/08/19

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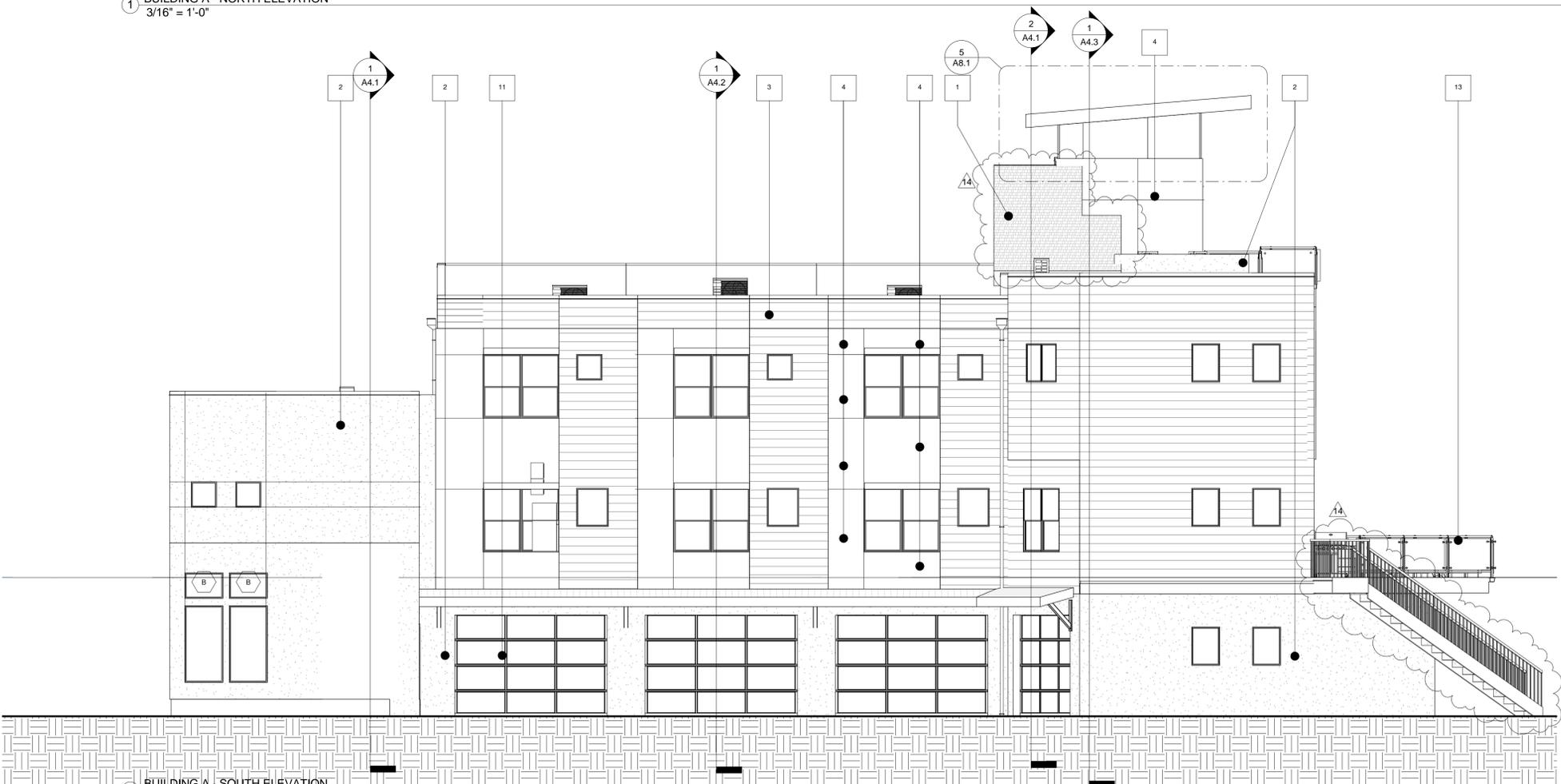
DATE: 04/16/18
DRAWN BY: AW
PROJECT #: ECP16-4



LICENSED ARCHITECT AR-2084
Douglas Lincoln Gibson
STATE OF IDAHO

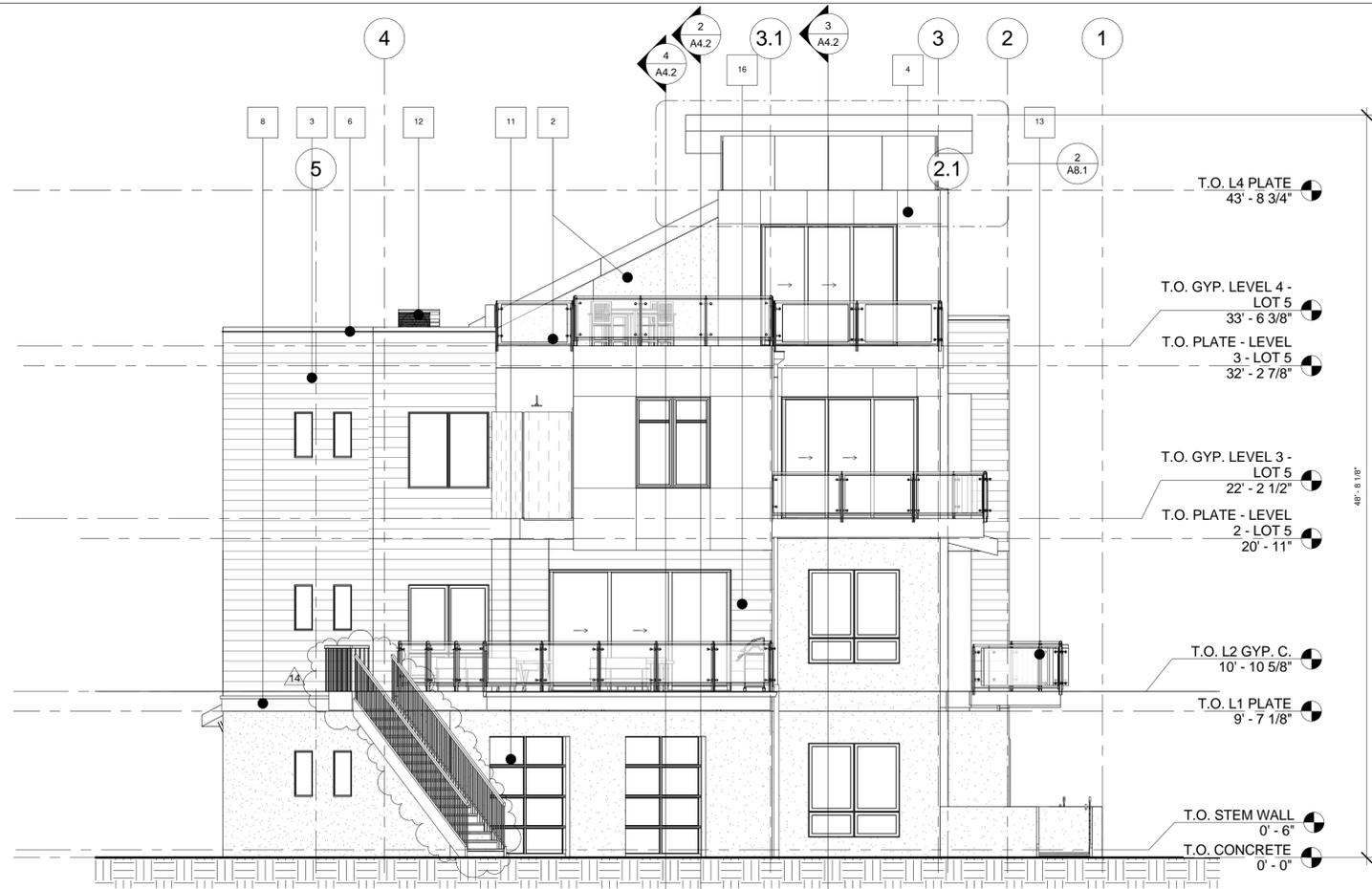
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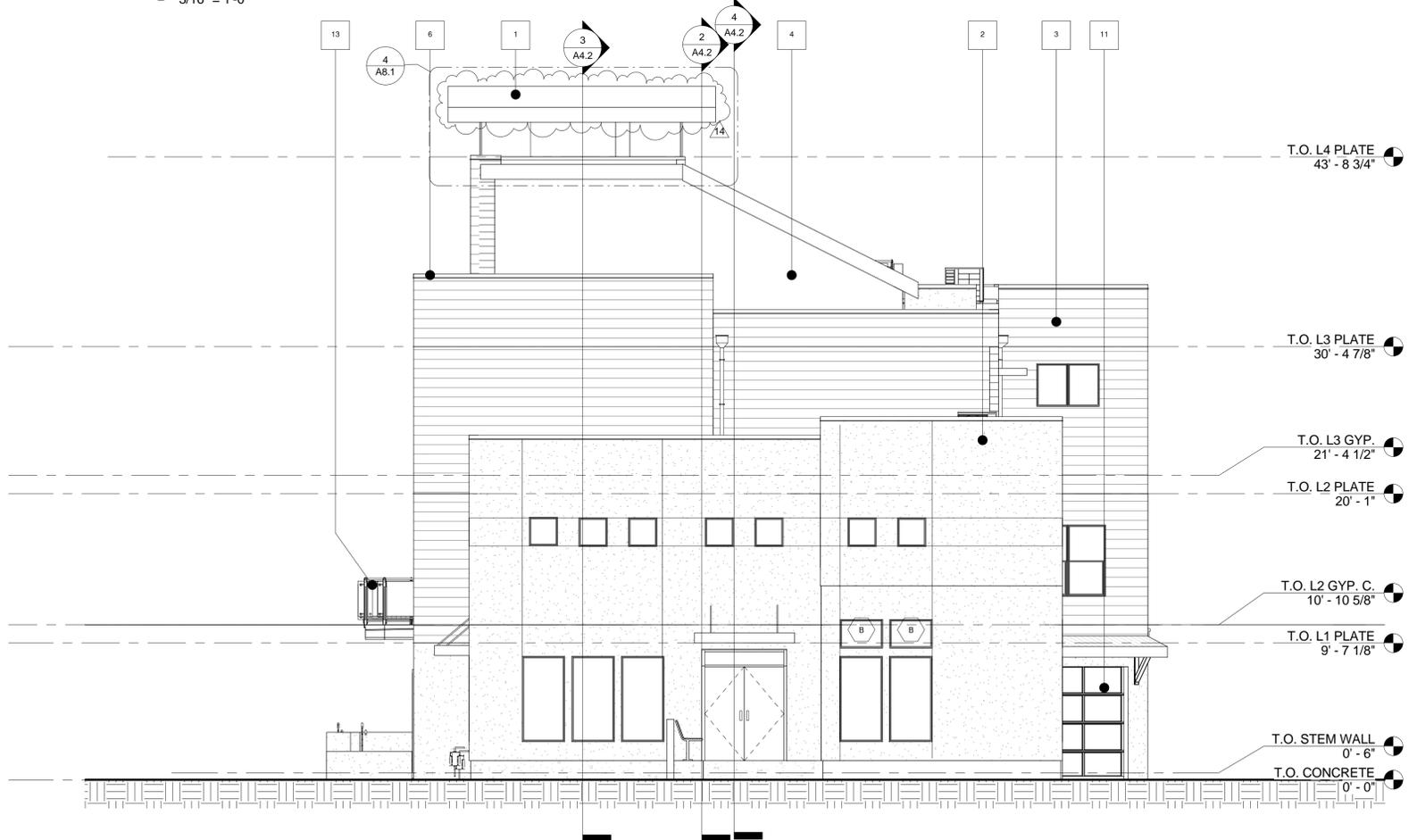


2 BUILDING A - SOUTH ELEVATION
3/16" = 1'-0"

PROJECT: BRIDGE TOWNHOMES BUILDING A
WATERFRONT DISTRICT - GARDEN CITY, ID. GARDEN CITY, ID.
CONSTRUCTION SET - 02/22/18
A5.1



1 BUILDING A - EAST ELEVATION
3/16" = 1'-0"



2 BUILDING A - WEST ELEVATION
3/16" = 1'-0"

- GENERAL NOTES**
- SEE BUILDING SECTIONS AND STRUCTURAL SERIES FOR PLATE HEIGHTS.
 - ELEVATION (8'-0") IS FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR ELEVATIONS.
 - SEE ROOF PLANS FOR ATTIC VENTILATION REQUIREMENTS, SLOPES, AND OVERBUILD AREAS.
 - SEE STRUCTURAL DRAWINGS FOR FRAMING AND FOUNDATION PLANS/ DETAILS.
 - SEE CIVIL, PLUMBING, ELECTRICAL AND JOINT TRENCH DRAWINGS FOR LOCATIONS OF EXTERIOR MOUNTED UTILITIES AND METER BANKS.
 - SEE SPECIFICATIONS FOR APPROVED MANUFACTURERS. NO SUBSTITUTIONS ALLOWED W/ OUT PRIOR APPROVAL BY ARCHITECT OR ENGINEER OF RECORD.
 - GENERAL CONTRACTOR TO COORDINATE LOCATIONS OF ALL WINDOWS, VENTS, UTILITY METERS, AND EXTERIOR FINISHES WITH OWNER DESIGNATED THIRD-PARTY SUBCONTRACTOR FOR SOLAR GENERATION ENERGY SYSTEM.
 - ALL GALVANIZED IRON CAPS AT HALF WALLS AND COUNTER FLASHING TRIM AT PATIOS SHALL BE PAINTED TO MATCH ACCENT COLOR NOTED.
 - ALL EXPOSED ROOF TOP PENETRATIONS, INCLUDING, BUT NOT LIMITED TO VENT STACKS FOR SEWER, ATTIC VENTS, AND EXHAUST GAS HOUSING SHALL BE PAINTED IN THE FIELD TO MATCH ADJACENT MAIN FIELD COLOR OF CONCRETE ROOFING.
 - EXTERIOR UTILITY ENCLOSURE CABINETS TO BE PER LOCAL UTILITY PROVIDERS SPECIFICATIONS FOR SIZE, ORIENTATION AND INSTALLATION REQUIREMENTS. PROVIDE FINISH AT ENCLOSURE TO MATCH ADJACENT SIDING. COORDINATE LOCATIONS OF ACCESS PATHS AND PADS WITH CIVIL AND LANDSCAPE DRAWING SERIES.
 - AT LOCATIONS OF ELECTRICAL PANEL INSTALLATION AT EXTERIOR STUCCO, PROVIDE COUNTER FLASHING AND EXPOSED SUBSTRATE PER MFR. RECOMMENDATIONS.

- KEY NOTES**
- ASPHALT SHINGLE ROOFING. COLOR TO BE APPROVED BY ARCHITECT.
 - CEMENT STUCCO SYSTEM. TEXTURE HEAVY SAND.
 - 6" HORIZONTAL SHIPLAP SIDING. PROVIDED BEADED CORNER TRIM AT CORNER LOCATIONS. AVOID VERTICAL TRIM BOARDS.
 - HARDI PANEL SIDING
 - WINDOW SYSTEM. STOREFRONT GLAZING AND VINYL WINDOW COMBINATION
 - PRE-FINISHED METAL GUTTER. SEE ROOF PLAN FOR EXTENT. COLOR AS NOTED. DOWNSPOUT TO MATCH.
 - PRE-MANUFACTURED VINYL OUTRIGGER.
 - 14" RAISED STUCCO TRIM BANDS. COLOR SHOWN.
 - METAL RAILING SYSTEM. COLOR AS NOTED.
 - NOT USED.
 - SECTIONAL OVERHEAD GARAGE DOOR W/ OPAQUE AND TRANSLUCENT PANELS.
 - EXTERIOR MEP EQUIPMENT W/ METAL SLAT SCREENING. SEE MEP PLANS FOR MORE INFORMATION.
 - GLASS RAILING.
 - NOT USED.
 - VERTICAL TRELIS SYSTEM. SEE LANDSCAPE SERIES.
 - FOUR LEAF SLIDING DOOR SYSTEM.

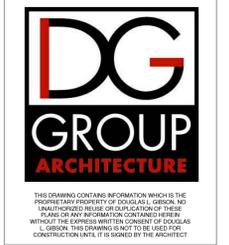
NOTE:
ALL MATERIAL COLOR TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.

REVISIONS

14	CITY REVIEW	05/08/19
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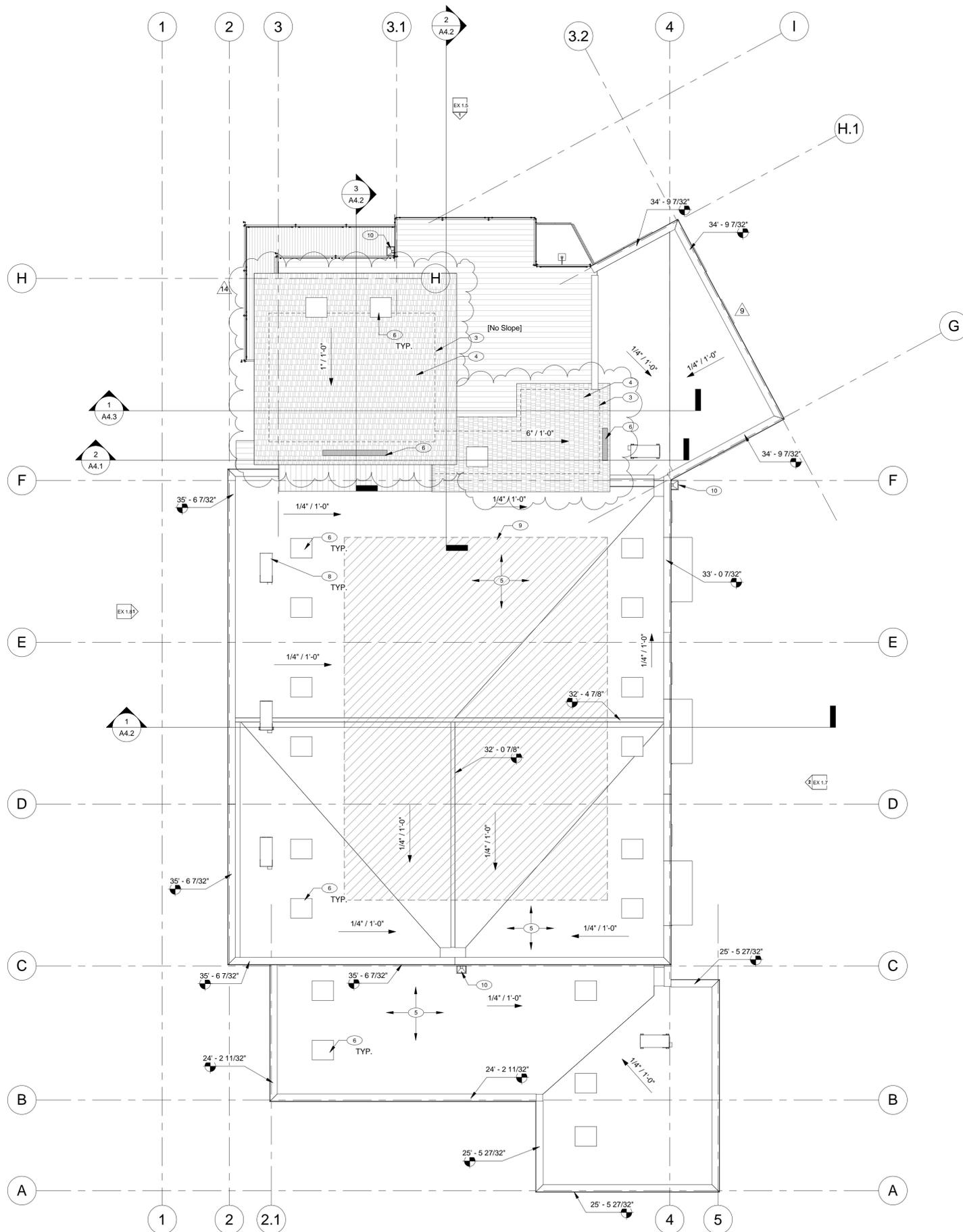
DATE: 04/16/18
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PROJECT #: ECP16-4



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PROJECT: BRIDGE TOWNHOMES BUILDING A
GARDEN CITY, ID
WATERFRONT DISTRICT - GARDEN CITY, ID
CONSTRUCTION SET - 02/22/18
A5.2



1 BUILDING A - ROOF PLAN
3/16" = 1'-0"

- GENERAL NOTES**
- CONTRACTOR TO VERIFY & COORDINATE ALL ROOF PENETRATIONS LOCATIONS. SEE RELATED MECHANICAL AND PLUMBING DRAWINGS.
 - SEE STRUCTURAL FRAMING PLAN FOR ROOF PLATE HEIGHTS AND TO ESTABLISH ROOF SLOPES AND MEMBER LOCATIONS.
 - CONFLICTS BETWEEN STRUCTURAL DRAWINGS AND JOISTS/ GIRDER SHOP DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER/ ARCHITECT, IN WRITING.
 - PREFABRICATED ROOF PENETRATIONS SHOULD BE COORDINATED WITH ROOF PITCH TO PROVIDE PLUMB ANCHOR PLATES AT UNIT ANCHORAGE.
 - GENERAL CONTRACTOR SHALL PROVIDE ALL REGLETS, FLASHING, AND COUNTER FLASHING NECESSARY TO PROVIDE A ROOF ASSEMBLY SUFFICIENT TO MEET MANUFACTURER'S WARRANTY REQUIREMENTS.
 - ROOF PENETRATIONS OR ASSEMBLIES ON ROOF SYSTEM SHALL BE PAINTED TO MATCH ADJACENT ROOFING MATERIAL, AS APPROPRIATE.
 - ROOFING VALLEYS SHALL RECEIVE GALVANIZED IRON FLASHING SET IN ROOFING CEMENT PER MANUFACTURER'S RECOMMENDATIONS.
 - DRAWINGS MUST BE REVIEWED FOR ACCURACY BEFORE STARTING THE JOB. ABSOLUTE ACCURACY OF THE DRAWINGS AND SPECIFICATIONS CANNOT BE GUARANTEED, WHILE EVERY EFFORT HAS BEEN MADE TO COORDINATE THE LOCATIONS OF THE EQUIPMENT & DUCT WORK IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE EXACT REQUIREMENTS GOVERNED BY ACTUAL JOB CONDITIONS. CHECK ALL INFORMATION AND REPORT ANY DISCREPANCIES BEFORE SUBMITTING BID OR FABRICATIONS AND INSTALLING WORK.
 - INSTALL ALL SHEET METAL IN ACCORDANCE WITH LATEST ASHRAE AND SMACNA RECOMMENDATIONS. PROVIDE VARIATIONS IN DUCT SIZE AND ADDITIONAL DUCT FITTINGS AS REQUIRED TO CLEAR OBSTRUCTIONS AND MAINTAIN CLEARANCES AT THE APPROVAL OF THE MECHANICAL ENGINEER OF RECORD.
 - AT SHEAR WALLS, GENERAL CONTRACTOR TO INSTALL BLOCKING AS REQUIRED. SEE STRUCTURAL DRAWINGS.
 - ROOF PENETRATIONS WITH IN 4'-0" OF THE RATED 1-HR FIRE SEPARATION WALL BETWEEN UNITS WILL REQUIRE FIRE PROTECTION. SYSTEM DESIGNS SHOULD BE COORDINATED SO THAT ROOF PENETRATIONS, WHERE POSSIBLE, ARE LOCATED A MIN. OF 4'-0" FROM 1-HR FIRE SEPARATION WALL BETWEEN UNITS. REFER TO MECHANICAL & PLUMBING SERIES.
 - GUTTER RUN LENGTHS AND REQUIRED EXPANSION JOINTS SHALL BE IN CONFORMITY WITH THE SMACNA ARCHITECTURAL SHEET METAL MANUAL, G.C. TO VERIFY ON SITE CONFORMANCE.

- KEY NOTES**
- PREFINISHED RAIN GUTTER, HOLD ON TRIM OR TIGHT TO TRIM.
 - DOWNSPOUT LOCATION, AT FINISHED GRADE PROVIDE AND INSTALL CONC. SPLASH BLOCKS OR TIGHTLINE TO CIVIL STORM DRAIN SYSTEM. SEE CIVIL PLANS AND COORDINATE WITH LANDSCAPE PLANS AND DETAILS.
 - OUTLINE OF EXTERIOR WALLS BELOW.
 - ASPHALT SHINGLE ROOFING, COLOR TO APPROVED BY ARCHITECT.
 - T.P.O. ROOFING MEMBRANE. SLOPE TO DRAIN WITH PITCHED RIPPING OR SIM. SEE STRUCTURAL.
 - PERFORATED SOFFIT PANEL WITH 15 SQ. IN. FREE VENTILATION AREA PER LINEAR FOOT.
 - CHADGIN LOW-PROFILE VENT, BROWN IN COLOR, WITH 72 SQ. IN. FREE VENTILATION AREA.
 - CONDENSER UNIT.
 - NO PENETRATIONS IN THIS AREA FOR SOLAR EQUIPMENT. G.C. TO COORDINATE PLUMBING VENT LOCATIONS. PROVIDE ADEQUATE 3'-0" CLEAR PATHWAY FOR FIRE ACCESS PER IFC 605.11.
 - SCUPPER AND GUTTER. PAINT TO MATCH ADJACENT WALL MATERIAL.

ATTIC AREA VENTILATION CALCULATIONS (A)

TOTAL VENTILATION AREA IS ROOF AREA x (1/3000 S.F.)
615 SQ. FT. x (1/3000) = 2.05 SQ. FT. REQUIRED

UPPER AREA VENTS (ROOF VENTS) IS TOTAL VENTILATION AREA
2.05 SQ. FT. (294 SQ. IN.) REQUIRED

PROVIDED:
(5) VENTS = (5) x 72 SQ. IN. = 360 SQ. IN.
TOTAL: 360 SQ. IN.

ATTIC AREA VENTILATION CALCULATIONS (B)

TOTAL VENTILATION AREA IS ROOF AREA x (1/3000 S.F.)
557 SQ. FT. x (1/3000) = 1.85 SQ. FT. REQUIRED

UPPER AREA VENTS (ROOF VENTS) IS TOTAL VENTILATION AREA
1.85 SQ. FT. (267 SQ. IN.) REQUIRED

PROVIDED:
(4) ATTIC VENTS = (4) x 72 SQ. IN. = 288 SQ. IN.
TOTAL: 288 SQ. IN.

ATTIC AREA VENTILATION CALCULATIONS (C)

TOTAL VENTILATION AREA IS ROOF AREA x (1/3000 S.F.)
557 SQ. FT. x (1/3000) = 1.85 SQ. FT. REQUIRED

UPPER AREA VENTS (ROOF VENTS) IS TOTAL VENTILATION AREA
1.85 SQ. FT. (267 SQ. IN.) REQUIRED

PROVIDED:
(4) ATTIC VENTS = (4) x 72 SQ. IN. = 288 SQ. IN.
TOTAL: 288 SQ. IN.

ATTIC AREA VENTILATION CALCULATIONS (D)

TOTAL VENTILATION AREA IS ROOF AREA x (1/3000 S.F.)
557 SQ. FT. x (1/3000) = 1.85 SQ. FT. REQUIRED

UPPER AREA VENTS (ROOF VENTS) IS TOTAL VENTILATION AREA
1.85 SQ. FT. (267 SQ. IN.) REQUIRED

PROVIDED:
(4) ATTIC VENTS = (4) x 72 SQ. IN. = 288 SQ. IN.
TOTAL: 288 SQ. IN.

ATTIC AREA VENTILATION CALCULATIONS (E)

TOTAL VENTILATION AREA IS ROOF AREA x (1/3000 S.F.)
335 SQ. FT. x (1/3000) = 1.11 SQ. FT. REQUIRED

UPPER AREA VENTS (ROOF VENTS) IS TOTAL VENTILATION AREA
1.11 x 0.5 = .55 SQ. FT. (80 SQ. IN.) REQUIRED

PROVIDED:
(2) VENTS = (2) x 72 SQ. IN. = 144 SQ. IN.
TOTAL: 144 SQ. IN.

LOWER AREA VENTS (EAVE VENTS) IS TOTAL VENTILATION AREA
1.11 x 0.5 = .55 SQ. FT. (80 SQ. IN.) REQUIRED

PROVIDED:
6 LINEAR FT. OF SOFFIT VENT = (15 SQ. IN. / 1 LINEAR FT.) x 6 FT. = 90 SQ. IN.
TOTAL: 90 SQ. IN.

ATTIC AREA VENTILATION CALCULATIONS (F)

TOTAL VENTILATION AREA IS ROOF AREA x (1/3000 S.F.)
168 SQ. FT. x (1/3000) = .56 SQ. FT. REQUIRED

UPPER AREA VENTS (ROOF VENTS) IS TOTAL VENTILATION AREA
.56 x 0.5 = .28 SQ. FT. (41 SQ. IN.) REQUIRED

PROVIDED:
(1) VENTS = (1) x 72 SQ. IN. = 72 SQ. IN.
TOTAL: 72 SQ. IN.

LOWER AREA VENTS (EAVE VENTS) IS TOTAL VENTILATION AREA
.56 x 0.5 = .28 SQ. FT. (41 SQ. IN.) REQUIRED

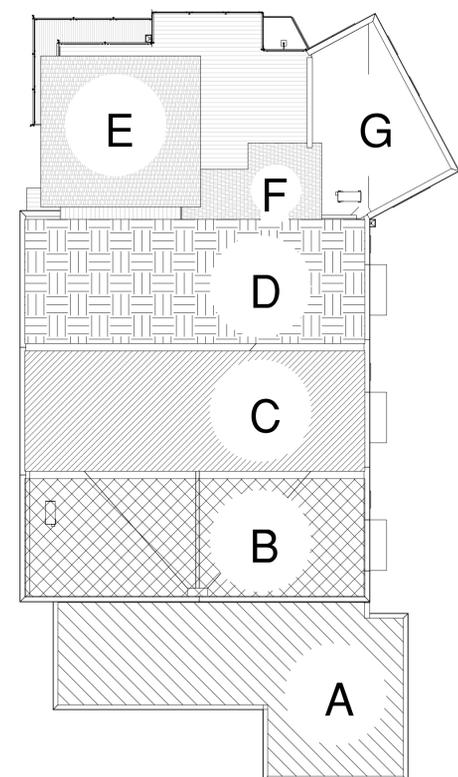
PROVIDED:
3 LINEAR FT. OF SOFFIT VENT = (15 SQ. IN. / 1 LINEAR FT.) x 3 FT. = 45 SQ. IN.
TOTAL: 45 SQ. IN.

ATTIC AREA VENTILATION CALCULATIONS (G)

TOTAL VENTILATION AREA IS ROOF AREA x (1/3000 S.F.)
298 SQ. FT. x (1/3000) = .99 SQ. FT. REQUIRED

UPPER AREA VENTS (ROOF VENTS) IS TOTAL VENTILATION AREA
.99 SQ. FT. (139 SQ. IN.) REQUIRED

PROVIDED:
(2) ATTIC VENTS = (2) x 72 SQ. IN. = 144 SQ. IN.
TOTAL: 144 SQ. IN.



2 BUILDING A - ROOF PLAN - AREA
1" = 10'-0"

REVISIONS

3	CITY PLAN CHECK	09/15/17
9	CIVIL GRADE COORDINATION	01/26/18
14	CITY REVIEW	05/08/19

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DATE: 04/16/18

DRAWN BY: AW

PROJECT #: ECP16-4

LICENSED ARCHITECT AR-2084

DOUGLAS LINCOLN GIBSON
STATE OF IDAHO

DG GROUP ARCHITECTURE PLLC

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PROJECT

BRIDGE TOWNHOMES BUILDING A

WATERFRONT DISTRICT - GARDEN CITY, ID.

GARDEN CITY, ID.

A6.1

CONSTRUCTION SET - 02/22/18

REVISIONS

2	OWNER COMMENTS	08/16/17
6	OWNER COMMENTS	12/05/17
15	CITY REVIEW	09/06/19

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DATE

01/25/18

DRAWN BY

AW

PROJECT #

ECP16-4



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LICENSED ARCHITECT AR-2084

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STATE OF IDAHO

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GARDEN CITY, ID

BRIDGE TOWNHOMES
BUILDING B

PROJECT

WATERFRONT DISTRICT 35TH ST.

CONSTRUCTION SET - 02/22/18

A3.1

GENERAL NOTES

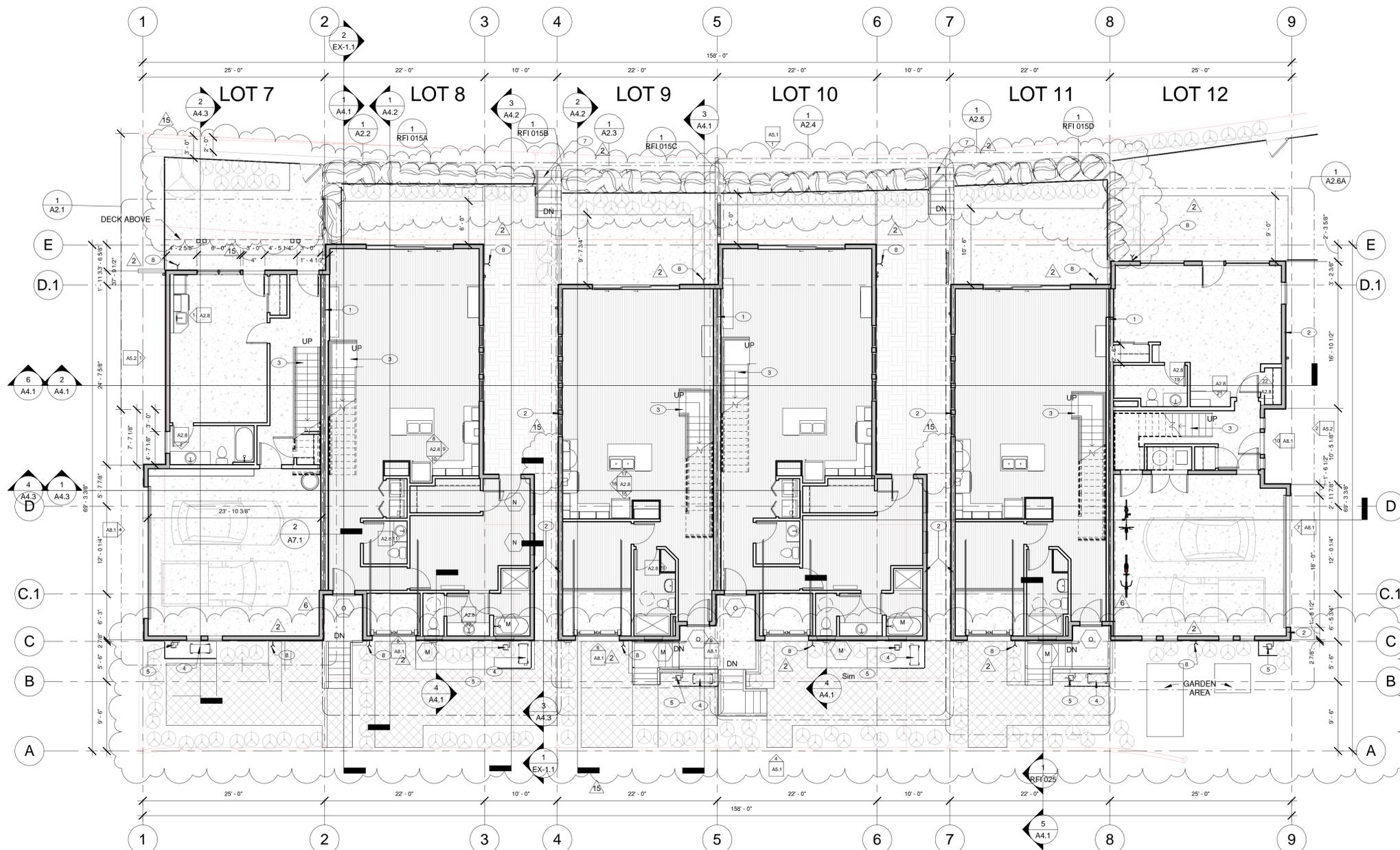
- REFER TO SHEETS A2.1 - A2.6 FOR DETAILED FLOOR PLANS FOR TYPICAL UNIT TYPES.
- REFER TO STRUCTURAL DRAWINGS SERIES FOR ADDITIONAL INFORMATION.
- PROVIDE FULL WALL BATT INSULATION ISOLATING RESTROOMS FROM ALL ADJACENT SPACES.
- DRAFTSTOP PER 2013 IBC SECTION 718.4 - SEE STRUCTURAL DETAIL, SIM. CONDITION AT SHEARWALL, MIN. MATERIAL THICKNESS PER 2013 IBC 718.3.1, RE: ROOF PLANS.
- PROVIDE FIRE BLOCKING IN CONCEALED SPACES, STUD WALLS AT THE CEILING AND FLOOR LEVELS, AND AT 10'-0" INTERVALS BOTH VERTICAL AND HORIZONTAL.
- PROVIDE BACKING FOR FUTURE GRAB BARS IN ALL RESTROOMS AT ALL GROUND FLOOR UNITS AS PER HUD FAIR HOUSING GUIDELINES.
- REFER TO ARCHITECTURAL SITE PLAN FOR EXTERIOR AMENITIES, PATIO SPECIFICATIONS, AND APPURTENANCES.
- SEE DETAIL SHEET FOR MORE INFORMATION AND BUILDING DETAILS.
- ALL WALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
- VERIFY DIMENSIONS OF ALL FIXTURES AND EQUIPMENT PROVIDED BY OWNER OR OWNER'S AGENTS.
- PROVIDE BLOCKING AT ALL HAND RAILS, GRAB BARS, AND RELATED ASSEMBLIES AS INDICATED.
- ALL AREAS RECEIVING GYP. BOARD ARE TO BE TAPED AND RECEIVE FINISH AS NOTED ON FINISH SCHEDULE AND/OR SPECIFICATIONS.
- SEE SPECIFICATION SECTIONS 11.30.00 FOR CONTRACTOR PROVIDED RESIDENTIAL EQUIPMENT. VERIFY WITH PLUMBING & ELECTRICAL DRAWING SERIES PRESENCE OF GAS AND POWER FOR APPLIANCES.
- GENERAL CONTRACTOR TO INSTALL FIRE EXTINGUISHER(S) & CABINET(S) PER LOCAL FIRE DEPARTMENT REGULATIONS. GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL FIRE DEPARTMENT FOR REQUIREMENTS, CABINETS TO BE RECESSED AND ESTABLISHED AT HEIGHTS CONSISTENT WITH INTENDED USES. PROVIDE FIRE-RATED CABINETS WHERE REQUIRED TO MAINTAIN RATINGS OF WALL.
- G.C. TO INSTALL PORTABLE FIRE EXTINGUISHERS PER 2013 IBC, SECTION 906.1.
- ADDRESS AND BUILDING NUMBERS OR BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY. 2013 IBC, SECTION 11B.703.5.5. G.C. TO COORDINATE LOCATION AND NUMBERS WITH ALL LOCAL JURISDICTIONAL AUTHORITIES. MOUNTING HEIGHT AND ORIENTATION SHALL BE CONFIRMED WITH LOCAL JURISDICTIONAL AUTHORITIES.
- AT ALL SHOWERS, CAULK ENTIRE EDGE AROUND TUB. SHOWER PRIOR TO PAINT FOR WATER PROOF CONSTRUCTION. INSTALL TOP SET BASE AT VINYL FLOORING PER SPECIFICATIONS.
- AT ALL SINKS, SEALANT/ TYP. BOARD PATCH FOR FINISHED APPEARANCE AT ALL PLUMBING PENETRATIONS BENEATH SINKS.
- AT ALL PLATES INSTALL SWELLSTOP WATERSTOP 1" x 3/4" SILL PLATE SEALANT
- SEAL ALL PENETRATIONS IN BUILDING ENVELOPE PER CALIFORNIA TITLE 24 REQUIREMENTS.
- SEE ROOF PLANS FOR LOCATIONS & SPECIFICATIONS ON ATTIC ACCESS PANELS. COORDINATE LOCATIONS W/ ROOF TRUSSES. WHERE ATTIC ACCESS IS TO BE INSTALLED IN 1-HOUR CEILING PROVIDE RATED ASSEMBLY.
- SEE UNIT PLANS FOR DROPPED CEILING LOCATIONS.
- THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 1/2" FOR OTHER DOORS PER IBC 2013 1008.1.7.
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- INSTALL FIRE SUPPRESSION EQUIPMENT THAT DOES NOT CONTAIN HALON PER THE CALIFORNIA GREEN BUILDING CODES STANDARDS 5.508.1.2.
- G.C. TO PROVIDE CRAWL SPACE VENTING PER IRC CODE SECTION R408.2, R408.3 AND R408.4.

KEY NOTES

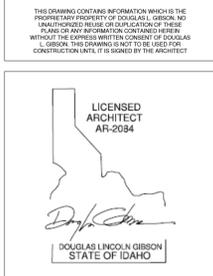
- 2-HOUR UNIT SEPARATION WALL. SEE DETAIL 1/A9.1.
- 1-HOUR WALL. SEE DETAIL 3/A9.1.
- PRE-MANUFACTURED METAL STAIRS W/ WOOD TREADS. SEE DEFERRED SUBMITTAL LIST ON SHEET T.1.
- CONDENSER UNIT TO INDOOR DUCTLESS WALL MOUNTED AIR UNITS.
- GAS METERS. WINDOW OPENINGS MUST BE A MIN. OF 3'-0" FROM GAS METERS. SEE MEP SHEETS FOR INFORMATION.
- ELECTRICAL PANEL. G.C. TO COORDINATE.
- STONE SLAB ON GRADE STAIRS. SEE LANDSCAPE SERIES.
- HOSE BIB. G.C. TO COORDINATE PLUMBING.
- TELECOM ROOM. G.C. TO COORDINATE.

	= CARPET		= SMOKE DETECTOR
	= VCT		= CARBON MONOXIDE DETECTOR
	= WOOD FLOORING		
	= CONCRETE		

HATCH LEGEND



1 BUILDING B - 1ST FLOOR PLAN
1/8" = 1'-0"

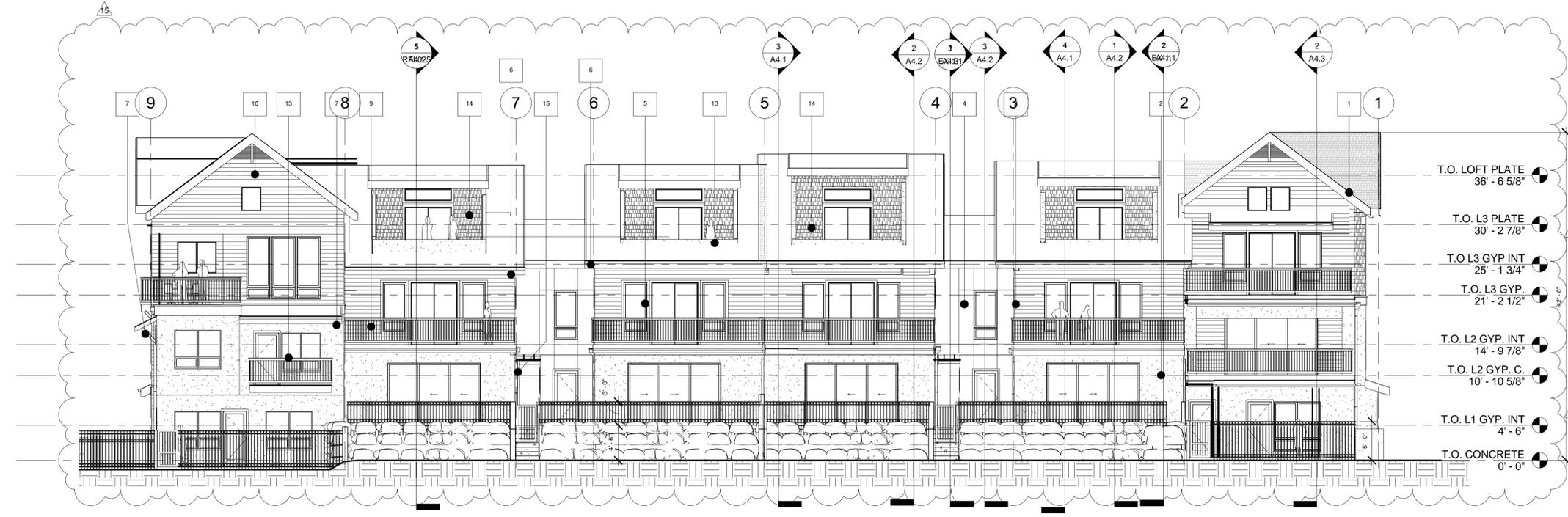


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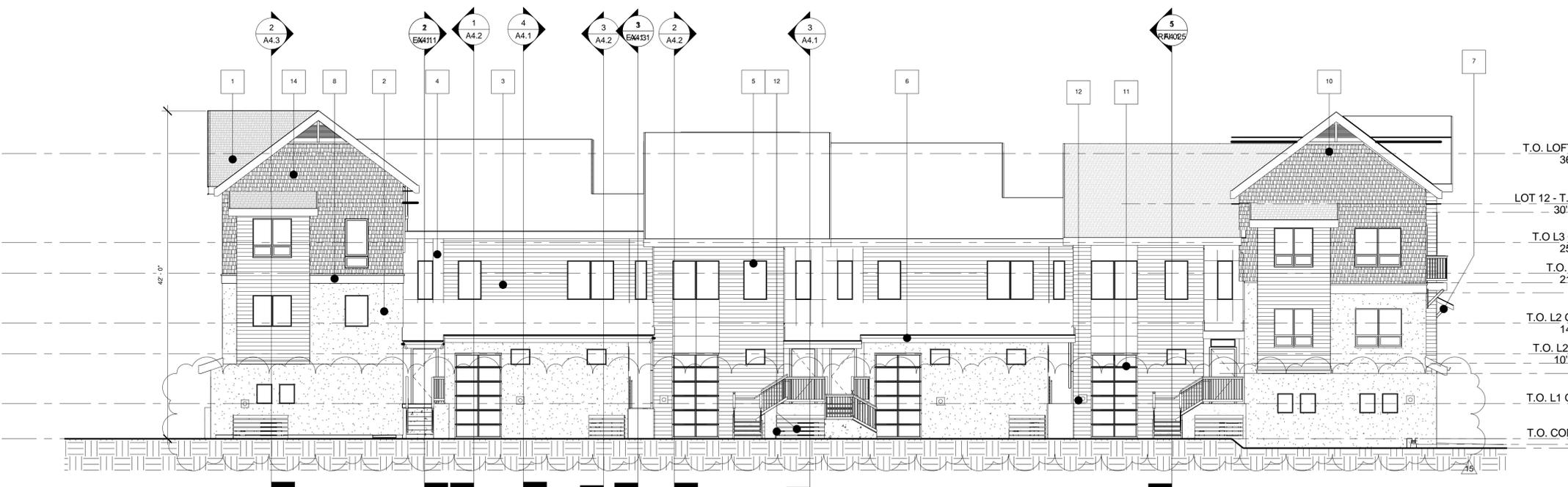
PROJECT: BRIDGE TOWNHOMES BUILDING B
 WATERFRONT DISTRICT 35TH ST. GARDEN CITY, ID
 CONSTRUCTION SET - 02/22/18
 A5.1

- GENERAL NOTES**
- SEE BUILDING SECTIONS AND STRUCTURAL SERIES FOR PLATE HEIGHTS.
 - ELEVATION (0'-0") IS FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR ELEVATIONS.
 - SEE ROOF PLANS FOR ATTIC VENTILATION REQUIREMENTS, SLOPES, AND OVERBUILD AREAS.
 - SEE STRUCTURAL DRAWINGS FOR FRAMING AND FOUNDATION PLANS/ DETAILS.
 - SEE CIVIL, PLUMBING, ELECTRICAL AND JOINT TRENCH DRAWINGS FOR LOCATIONS OF EXTERIOR MOUNTED UTILITIES AND METER BANKS.
 - SEE SPECIFICATIONS FOR APPROVED MANUFACTURERS. NO SUBSTITUTIONS ALLOWED W/ OUT PRIOR APPROVAL BY ARCHITECT OR ENGINEER OF RECORD.
 - GENERAL CONTRACTOR TO COORDINATE LOCATIONS OF ALL WINDOWS, VENTS, UTILITY METERS, AND EXTERIOR FINISHES WITH OWNER DESIGNATED THIRD-PARTY SUBCONTRACTOR FOR SOLAR GENERATION ENERGY SYSTEM.
 - ALL GALVANIZED IRON CAPS AT HALF-WALLS AND COUNTER FLASHING TRIM AT PATIOS SHALL BE PAINTED TO MATCH ACCENT COLOR NOTED.
 - ALL EXPOSED ROOF TOP PENETRATIONS, INCLUDING, BUT NOT LIMITED TO VENT STACKS FOR SEWER, ATTIC VENTS, AND EXHAUST GAS HOUSING SHALL BE PAINTED IN THE FIELD TO MATCH ADJACENT MAIN FIELD COLOR OF CONCRETE ROOFING.
 - EXTERIOR UTILITY ENCLOSURE CABINETS TO BE PER LOCAL UTILITY PROVIDER'S SPECIFICATIONS FOR SIZE, ORIENTATION, AND INSTALLATION REQUIREMENTS. PROVIDE FINISH AT ENCLOSURE TO MATCH ADJACENT SIDING. COORDINATE LOCAL TO NOT ACCESS PATHS AND PASS WITH CIVIL AND LANDSCAPE DRAWING SERIES.
 - AT LOCATIONS OF ELECTRICAL PANEL INSTALLATION AT EXTERIOR STUCCO, PROVIDE COUNTER FLASHING AND EXPOSED SUBSTRATE PER MFR. RECOMMENDATIONS.

- KEY NOTES**
- 30 YEAR TYPE 'A' COMPOSITE SHINGLE, TYP.
 - CEMENT STUCCO SYSTEM, TEXTURE HEAVY SAND.
 - 6" HORIZONTAL SHIPLAP SIDING. PROVIDED BEADED CORNER TRIM AT CORNER LOCATIONS. AVOID VERTICAL TRIM BOARDS.
 - HARDI PANEL SIDING
 - WINDOW SYSTEM, STOREFRONT GLAZING AND VINYL WINDOW COMBINATION
 - PRE-FINISHED METAL GUTTER. SEE ROOF PLAN FOR EXTENT. COLOR AS NOTED. DOWNSPOUT TO MATCH.
 - PRE-MANUFACTURED VINYL OUTRIGGER.
 - 14" RAISED STUCCO TRIM BANDS, COLOR SHOWN.
 - METAL RAILING SYSTEM. COLOR AS NOTED.
 - ARCHITECTURAL GABLE END VENT, PAINT AS NOTED.
 - SECTIONAL OVERHEAD GARAGE DOOR W/ OPAQUE AND TRANSLUCENT PANELS.
 - EXTERIOR MEP EQUIPMENT W/ METAL SLAT SCREENING. SEE MEP PLANS FOR MORE INFORMATION. PAINT TO MATCH ADJACENT MATERIAL AND COLOR.
 - GLASS RAILING.
 - SHAKE SIDING, COLOR AS NOTED. PROVIDED BEADED CORNER TRIM AT CORNER LOCATIONS. AVOID VERTICAL TRIM BOARDS.
 - VERTICAL TRELLIS SYSTEM. SEE LANDSCAPE SERIES.
 - FOUR LEAF SLIDING DOOR SYSTEM.



1 BUILDING B - NORTHEAST ELEVATION
 1/8" = 1'-0"



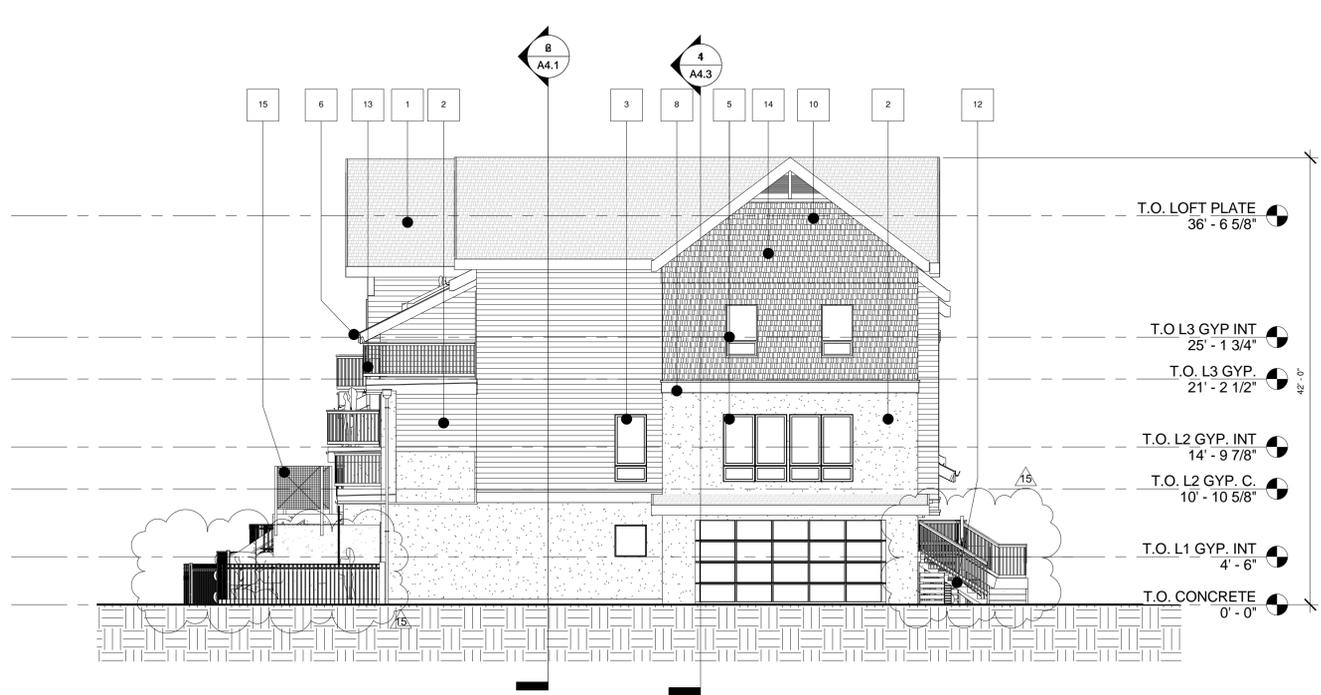
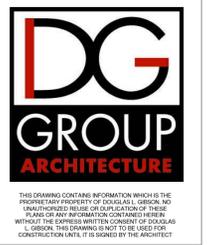
4 BUILDING B - SOUTHWEST ELEVATION
 1/8" = 1'-0"

- GENERAL NOTES**
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 - SEE ROOF PLANS FOR ATTIC VENTILATION REQUIREMENTS, SLOPES, AND OVERBUILD AREAS.
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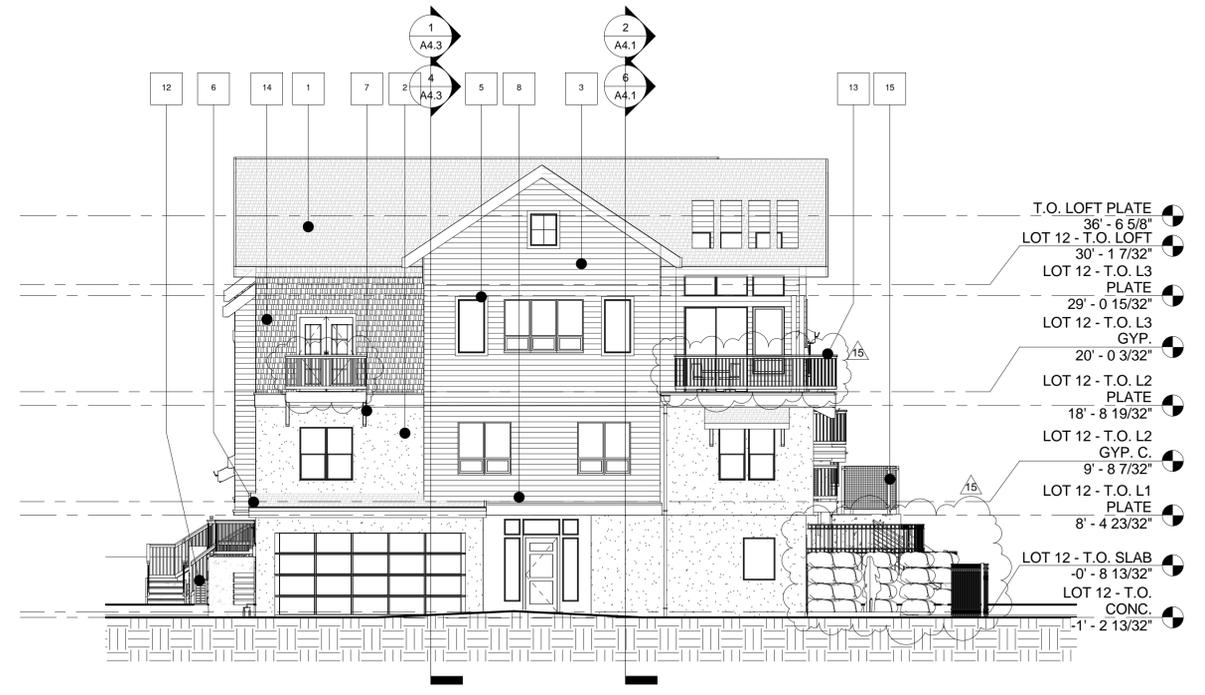
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 - VERTICAL TRELLIS SYSTEM. SEE LANDSCAPE SERIES.
 - FOUR LEAF SLIDING DOOR SYSTEM.

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 15 CITY REVIEW 05/08/19
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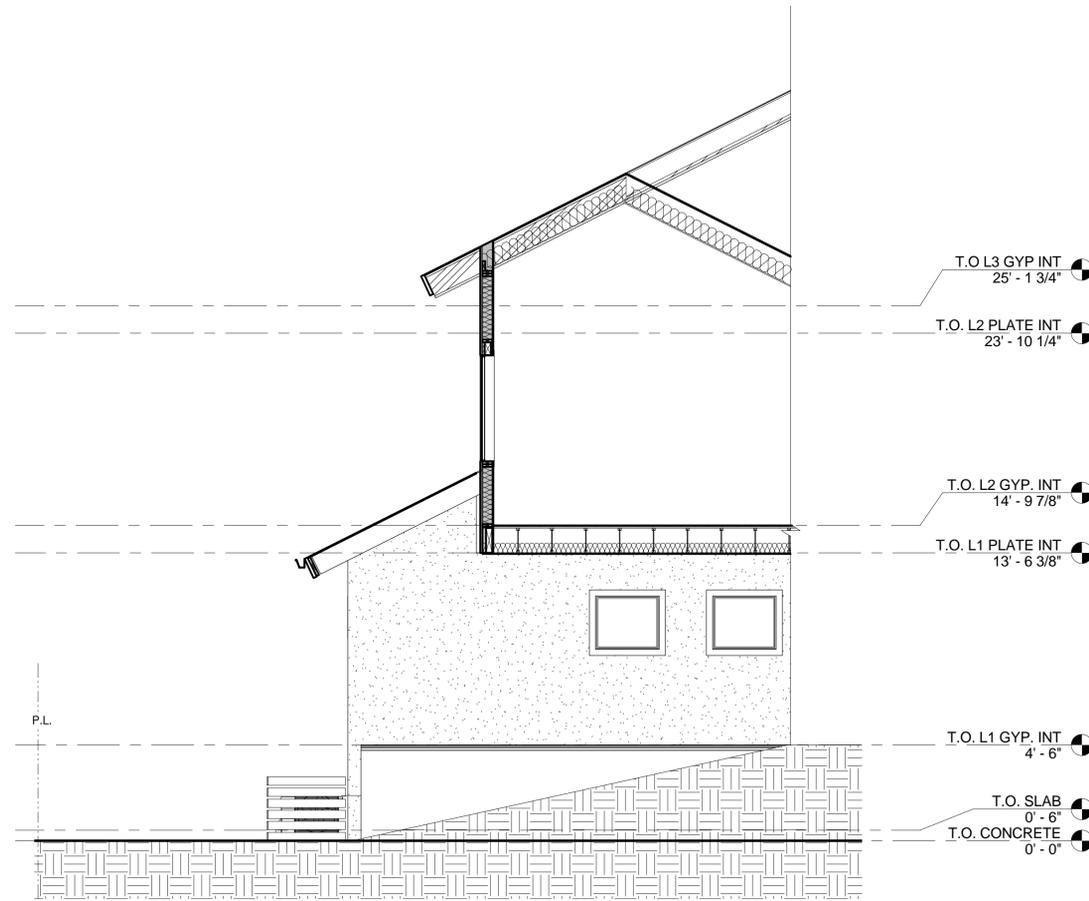
1 BUILDING B - NORTHWEST ELEVATION
 1/8" = 1'-0"



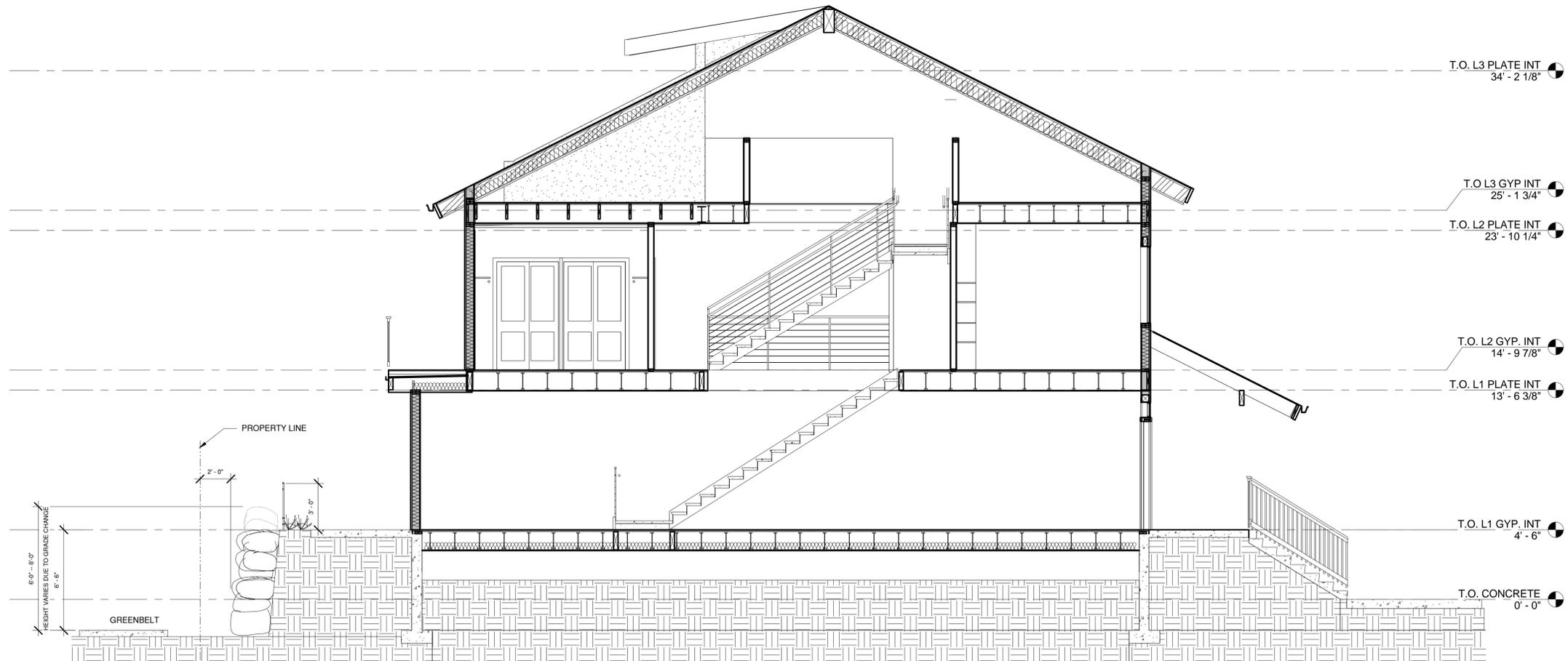
2 BUILDING B - SOUTHEAST ELEVATION
 1/8" = 1'-0"

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 BRIDGE TOWNHOMES
 BUILDING B
 WATERFRONT DISTRICT 35TH ST.
 GARDEN CITY, ID
 A5.2
 CONSTRUCTION SET - 02/22/18



① BUILDING B - SITE SECTION BREEZWAY
1/4" = 1'-0"



② BUILDING B - SITE SECTION
1/4" = 1'-0"

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PROJECT

BRIDGE TOWNHOMES
BUILDING B

GARDEN CITY, ID

WATERFRONT DISTRICT 35TH ST.

EX-1.1

CONSTRUCTION SET - 02/22/18



EXISTING PHOTOS OF GREENBELT FENCING

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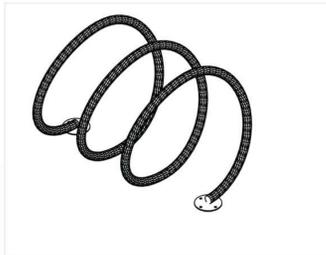
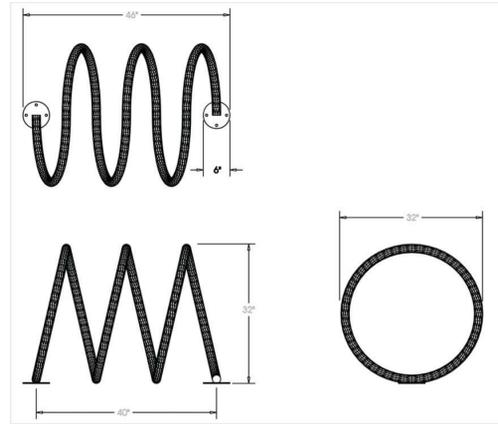
CONSTRUCTION SET - 02/22/18

EX-1.2



thepark
AND FACILITIES
CATALOG

Bike-Coil 6 Bike Rack
Surface Mount



Capacity:
6 Bicycles Max. (3 per side)

Materials:
1.9" x 0.095" Wall In-Line Galvanized Steel
Tube
7 Ga. (3/16") Steel Plate

Finish:
Polyester Powder Coating Top Coat
over E-Coat Primer.

Note: Anchoring Hardware Not Included

1 BIKE RACK PRODUCT SPECIFICATION
1 1/2" = 1'-0"



2 MAILBOX PRODUCT SPECIFICATION
1 1/2" = 1'-0"

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15
EX-1.3

CONSTRUCTION SET - 02/22/18



EXISTING PHOTOS OF GREENBELT BOULDER WALL

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PROJECT
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EX-1.4